

# JH Architects, Inc.

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5120-B Nike Drive  
Hilliard, Ohio 43026  
614-527-7590  
Fax 614-527-7592

## Project Narrative

The project consists of a two story office building located on Lots 9 & 10 on Gateway Circle. The building will be approximately 14,000 SF per floor and designed for office space, call center, break room, meeting rooms, marketing, IT area and restrooms. The exterior will consist of Dri-Design metal panel system, Dry-Vit insulated wall system, Kawneer aluminum window system with gray tinted glass and a standing seam metal roof.

The site consists of landscaped areas with walking track and 128 parking spaces. An underground system is used for storm water detention. A sidewalk will be placed at the right of way line along Gateway Circle. The site is designed to accommodate a future expansion up to 14,000 SF per floor/two floors. No building signage is wanted or included only small signs at each curb entry to the site indicating employee parking and visitor/delivery parking.

Also included is a small 900 SF site maintenance building with an enclosed screened trash area. The building exterior shall be Dry-Vit to match to main building and a standing seam metal roof.

NEW BUILDING FOR:

# HEALTH CARE LOGISTICS

## GATEWAY PROFESSIONAL PARK

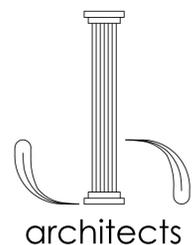
□□□□ GATEWAY CIRCLE

GROVE CITY, OH □□21□

JAY-CAR CONSTRUCTION CO., INC.

15933 U.S. 62

MOUNT STERLING, OHIO 45143



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#### GENERAL CONSTRUCTION NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OHIO REVISED CODE AND ALL LOCAL CODES, FEDERAL CODES AND LOCAL ZONING.

ALL WORK IS TO BE PERFORMED BY CRAFTSMAN THOROUGHLY EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES.

THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND THE OWNER FOR ALL NECESSARY INSTALLATION WORK AND SO AS NOT TO DELAY THE PROJECT.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION BUILD-OUTS THAT ARE INSTALLED PRIOR TO PERMIT BEING ISSUED FOR THE PROJECT.

ALL ITEMS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURERS RECOMMENDATIONS, THE STANDARDS OF THE RESPECTIVE INDUSTRIAL / TRADE ASSOCIATION AND GOOD GENERAL ENGINEERING PRACTICES.

ALL CONTRACTORS ARE TO VISIT, INSPECT AND VERIFY EXISTING BUILDING SITE CONDITIONS TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AND DETERMINE HOW THEY AFFECT EXECUTION OF THEIR WORK.

EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP OF ALL TRASH AND DEBRIS AND PLACE THEM IN THE PROPER CONTAINERS ON SITE.

ANY INCONSISTENCIES IN PLANS / SPECIFICATIONS OR EXISTING CONDITIONS, OR CHANGES IN PLANS AND DETAILS WITH AFFECT WORK TO BE PERFORMED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.

ALL INTERIOR MATERIAL, FINISHES, COLORS, CASEGOODS, MILLWORK AND MISCELLANEOUS DETAILING SHALL BE REVIEWED AND APPROVED BY OWNER. OWNER SHALL MAKE FINAL MATERIAL AND PRODUCT SELECTIONS, CONTRACTOR TO MAKE AND DIVULGE ALLOWANCES AND / OR UNIT COST FOR THE SAME.

THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS TO OBTAIN A CERTIFICATE OF OCCUPANCY.

ALL FLOOR PLAN DIMENSIONS ARE DIMENSIONED FROM STUD TO STUD.

City Administrator \_\_\_\_\_  
Service Director \_\_\_\_\_  
Review for the City of Grove City \_\_\_\_\_  
Fire Department Jackson Township \_\_\_\_\_

#### SHEET INDEX

- A□ TITLE SHEET
- CIVIL DRAWINGS
- C1 CIVIL TITLE SHEET
- C2 SITE PLAN
- C□ UTILITY PLAN
- C□ SITE GRADING PLAN
- C□ MISC. DETAILS
- C6 LANDSCAPE PLAN
- C□ BOUNDARY SURVEY
- C□ TOPOGRAPHICAL SURVEY

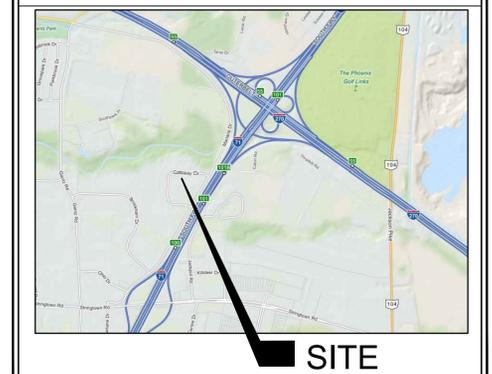
#### ARCHITECTURAL DRAWINGS

- SP1 ARCHITECTURAL SITE PLAN
- A1 1ST FLOOR PLAN
- A2 2ND FLOOR PLAN
- EL1 EXTERIOR ELEVATIONS
- EL2 EXTERIOR ELEVATIONS
- EL□ MAINT. BLDG. & DUMPTER PLANS
- ES1 PHOTOMETRIC PLAN & DETAILS

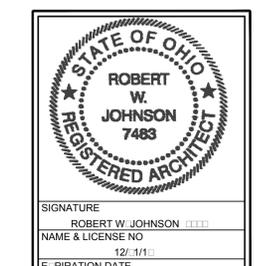
#### BUILDING DATA

1. CONSTRUCTION TYPE: 2B UNPROTECTED
2. USE GROUP: "B" SALES OFFICE
3. AREA: FIRST FLOOR = 13,926 SQ. FT.  
SECOND FLOOR = 13,926 SQ. FT.  
TOTAL AREA = 27,852 SQ. FT.
4. OCCUPANCY LOAD: BUSINESS - 27,852 / 100 = 279
5. BLDG. SHALL BE SPRINKLERED:
6. ALLOWABLE AREA = 23,000 SQ. FT.  
(WITH SPRINKLER INCREASE = 46,000 SQ. FT.)
7. GOVERNING CODES: 2012 OHIO BLDG. CODE  
2002 NATIONAL ELEC. CODE  
2012 INTL. PLUMBING CODE  
2012 INTL. MECHANICAL CODE  
2012 INTL. FUEL GAS CODE
8. DESIGN LOADS (SEE STRUCTURAL DRAWINGS)
9. RESTROOMS OCCUPANT REQUIREMENTS:  
REQUIRED: (3) WC & (2) LAVS FOR MALE & FEMALE  
(3) DRINKING FOUNTAINS & (1) SERVICE SINK  
PROVIDED: MALES = (4) WATER CLOSETS  
(4) URINALS  
(6) LAVS  
FEMALES = (8) WATER CLOSETS  
(6) LAVS  
(4) DRINKING FOUNTAINS  
AND (1) SERVICE SINK

#### SITE LOCATION



ISSUE DATES	
PRELIMINARY -	12.2.16
BIDDING -	
PERMIT -	
CONSTRUCTION -	
REVISIONS	
△	
△	
△	
△	

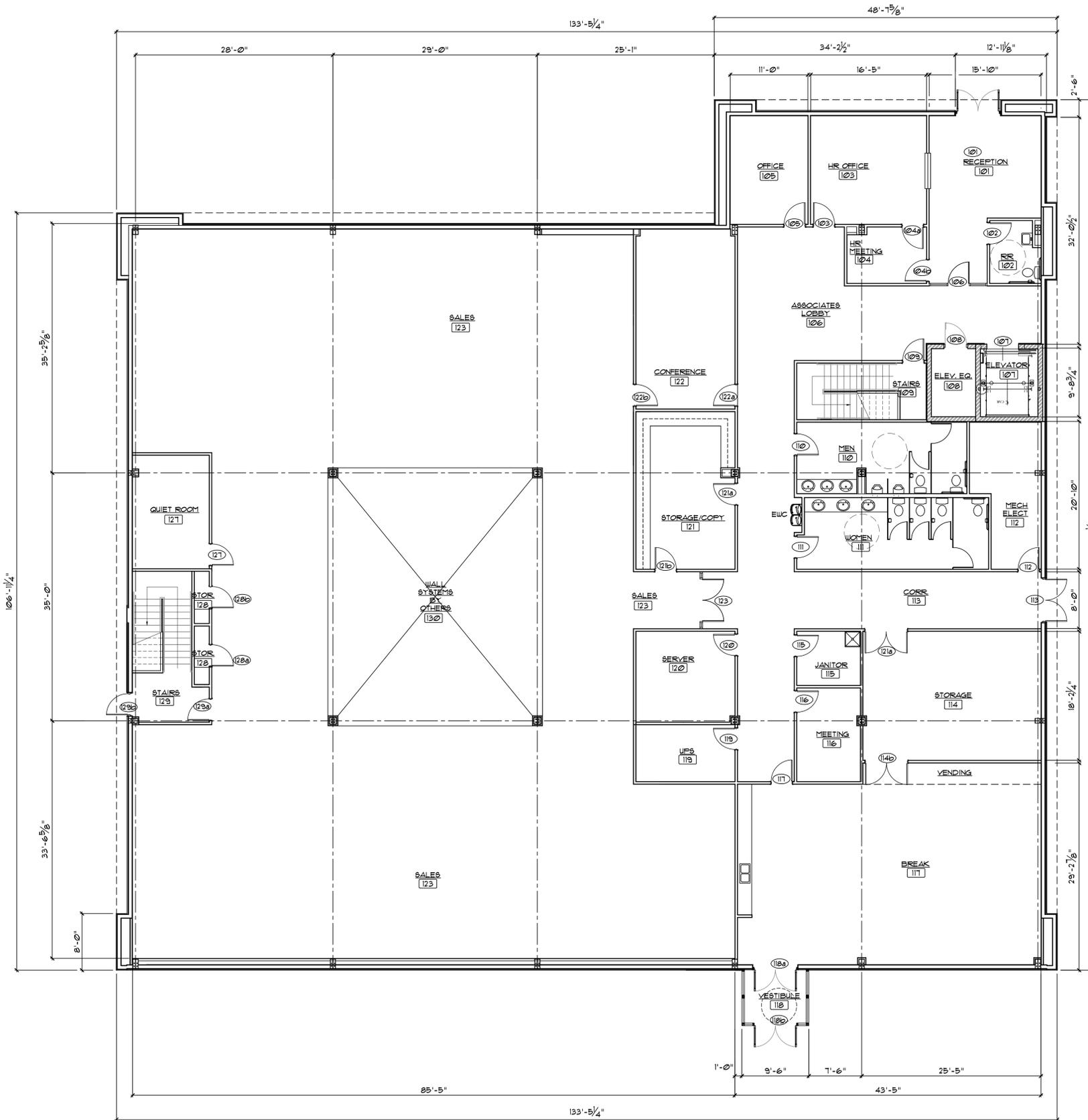


GATEWAY PROFESSIONAL PARK  
LOTS 9 & 10, GATEWAY CIRCLE  
GROVE CITY, OH 43213

HEALTH CARE LOGISTICS

PROJECT NO. 16-110  
DATE: 12/2/16  
PROJECT NO. 16-110

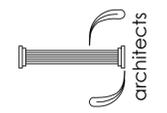




**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

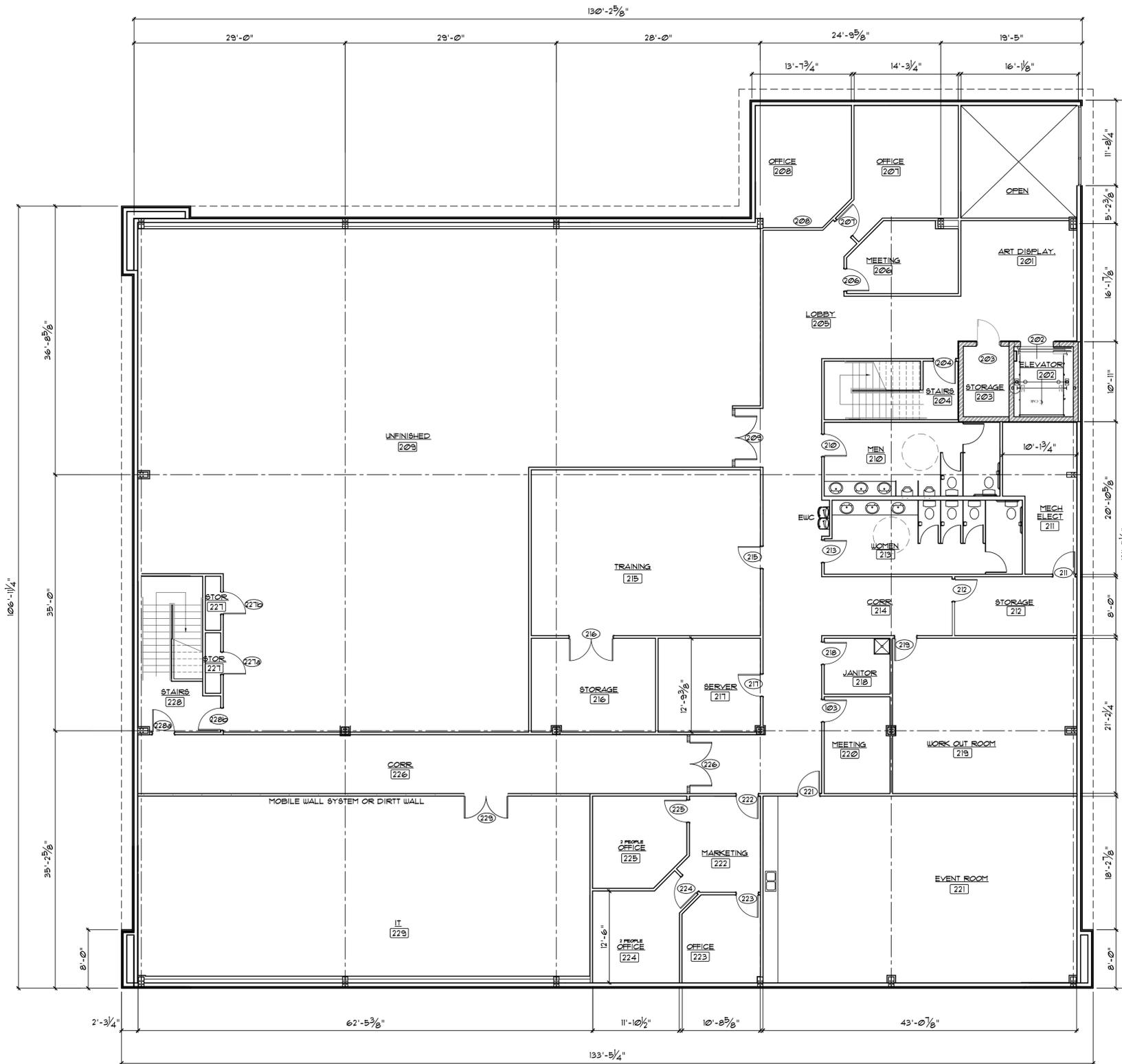
**HEALTH CARE LOGISTICS**  
 LOTS 9 & 10, GATEWAY PROFESSIONAL PARK  
 GROVE CITY, OH 43213

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16010  
 4-20-16

A1

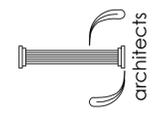


**A**  
**A2** **SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



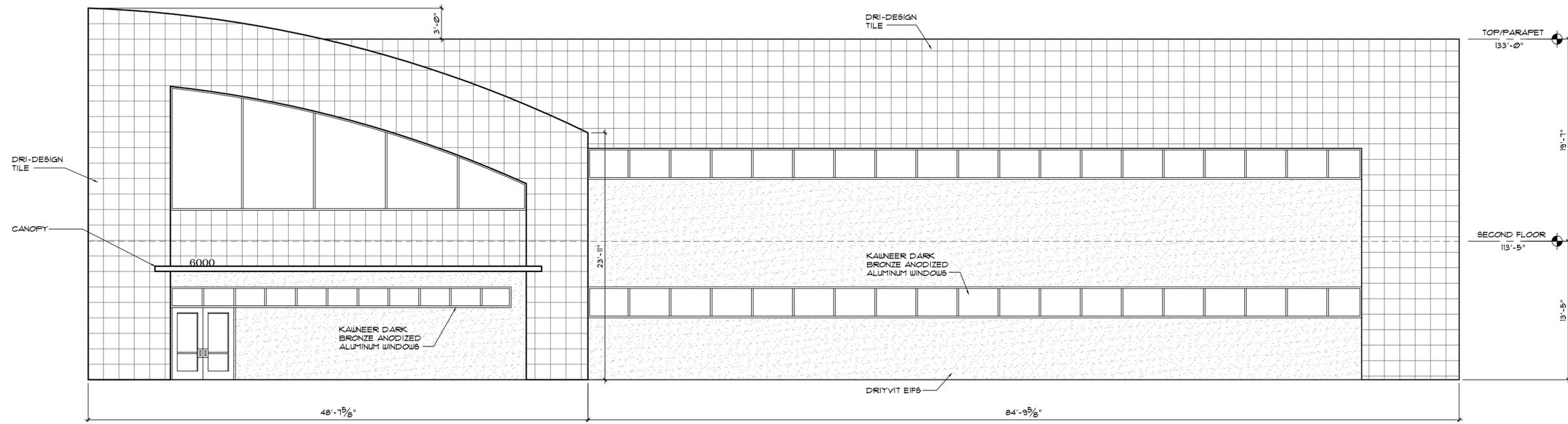
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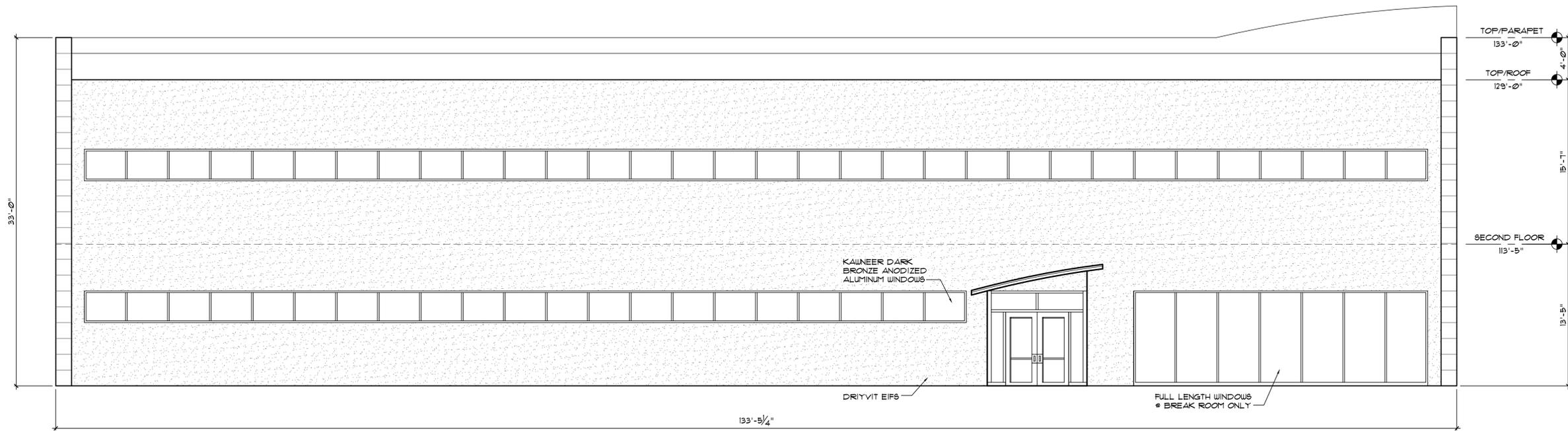


16010  
4-20-16

A2



**A**  
**NORTH (FRONT) ELEVATION**  
 ELI SCALE: 3/8" = 1'-0"

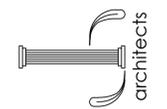


**B**  
**SOUTH (BACK) ELEVATION**  
 ELI SCALE: 3/8" = 1'-0"

**HEALTH CARE LOGISTICS**  
 LOTS 9 & 10, GATEWAY PROFESSIONAL PARK  
 GROVE CITY, OH 43213

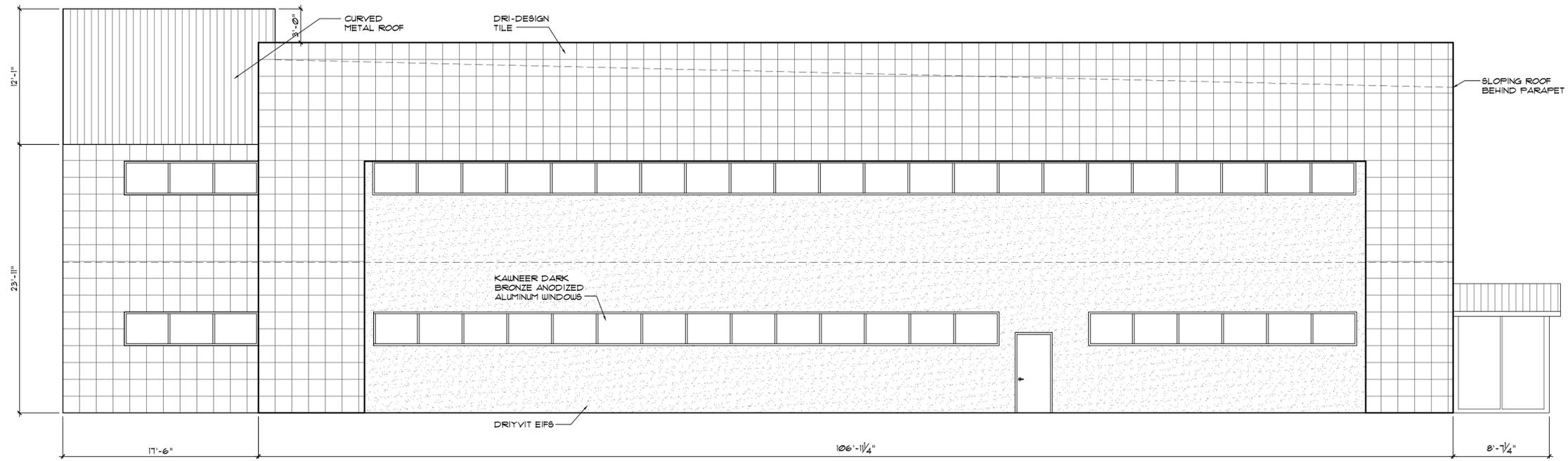
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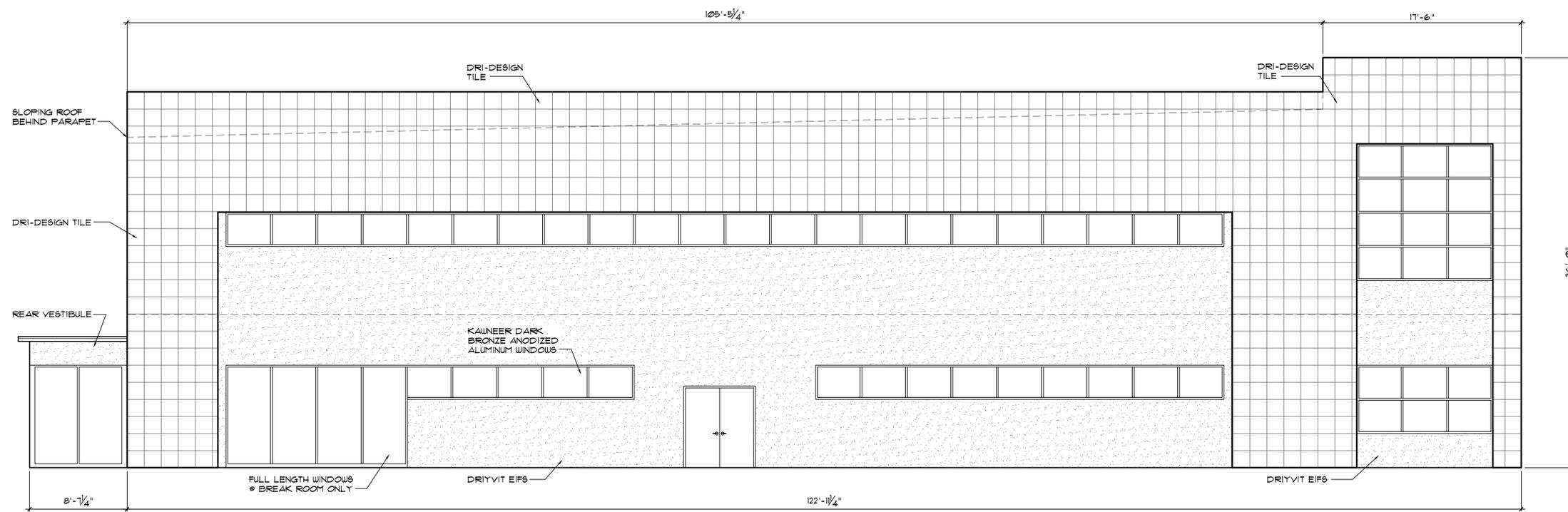


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 4-20-16

ELI

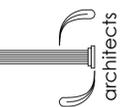


**A WEST ELEVATION**  
 EL2 SCALE: 3/8" = 1'-0"



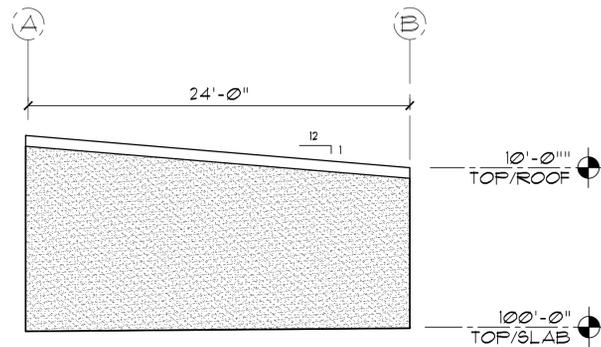
**B EAST ELEVATION**  
 EL2 SCALE: 3/8" = 1'-0"



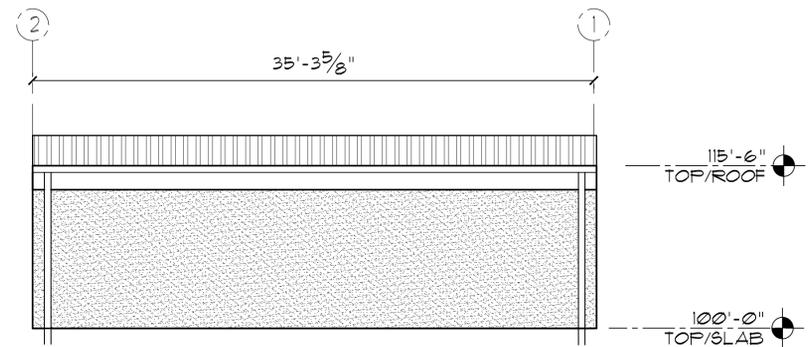


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4-20-16

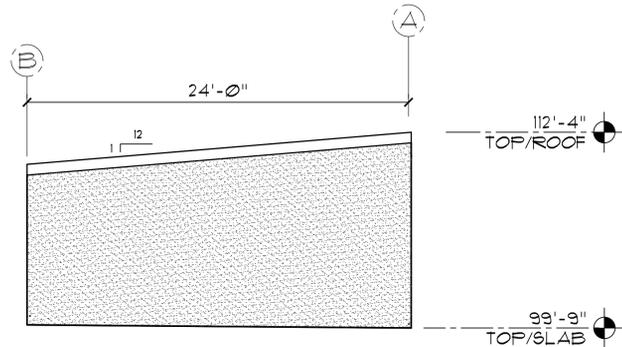
EL3



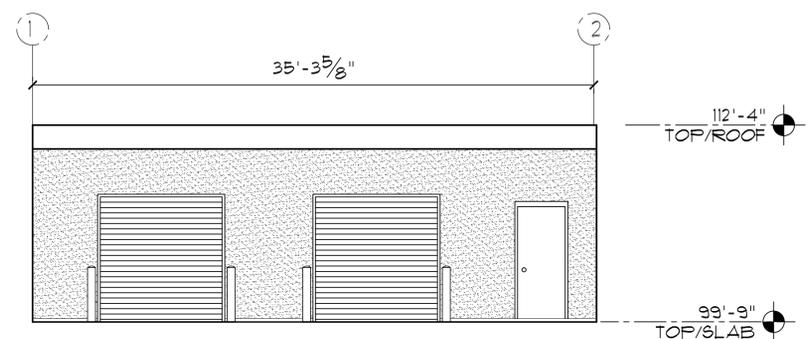
**D MAINT. BLDG. RIGHT ELEV.**  
 EL3 SCALE: 3/16" = 1'-0"



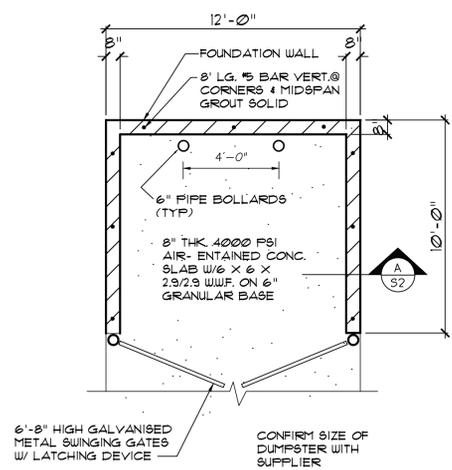
**C MAINT. BLDG. REAR ELEV.**  
 EL3 SCALE: 3/16" = 1'-0"



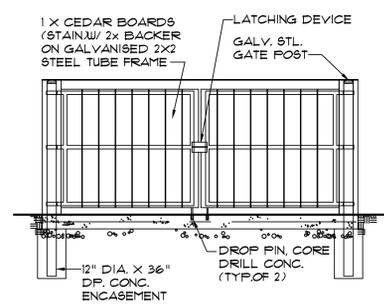
**E MAINT. BLDG. LEFT ELEV.**  
 EL3 SCALE: 3/16" = 1'-0"



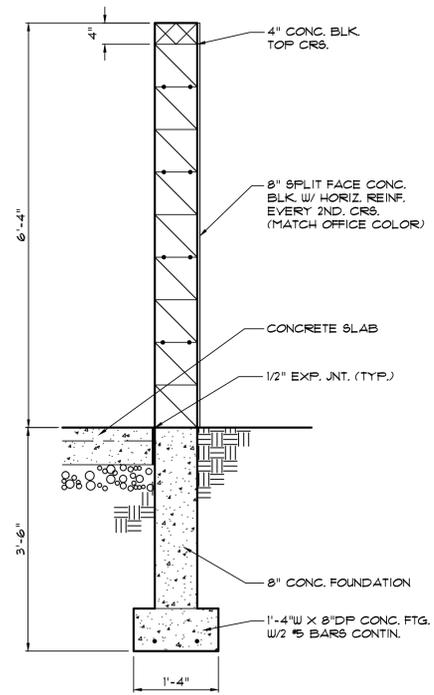
**B MAINT. BLDG. FRONT ELEV.**  
 EL3 SCALE: 3/16" = 1'-0"



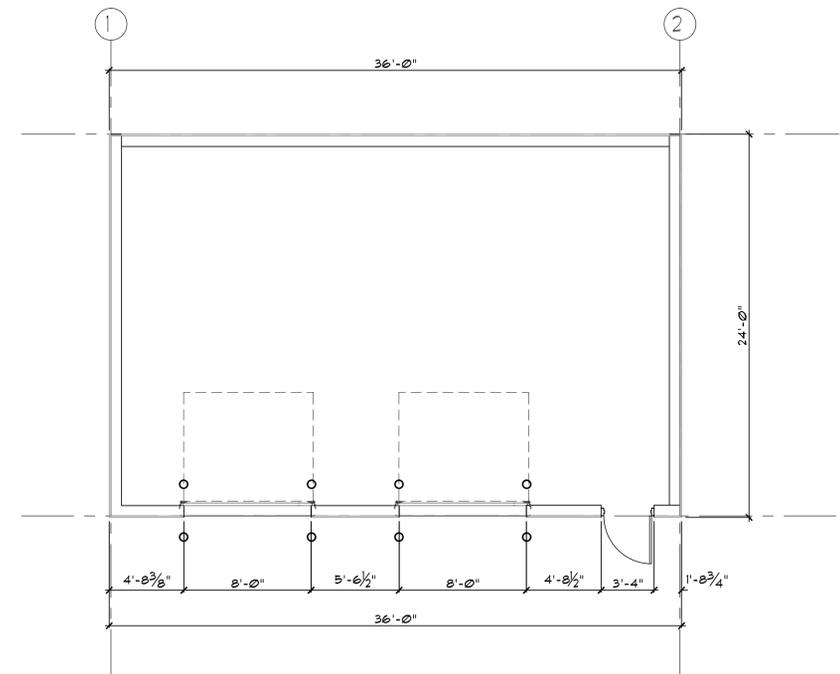
**G DUMPSTER FLOOR PLAN**  
 EL3 SCALE: 1/4" = 1'-0"



**F DUMPSTER ELEVATION**  
 EL3 SCALE: 1/4" = 1'-0"



**E DUMPSTER WALL SECT.**  
 EL3 SCALE: 3/4" = 1'-0"

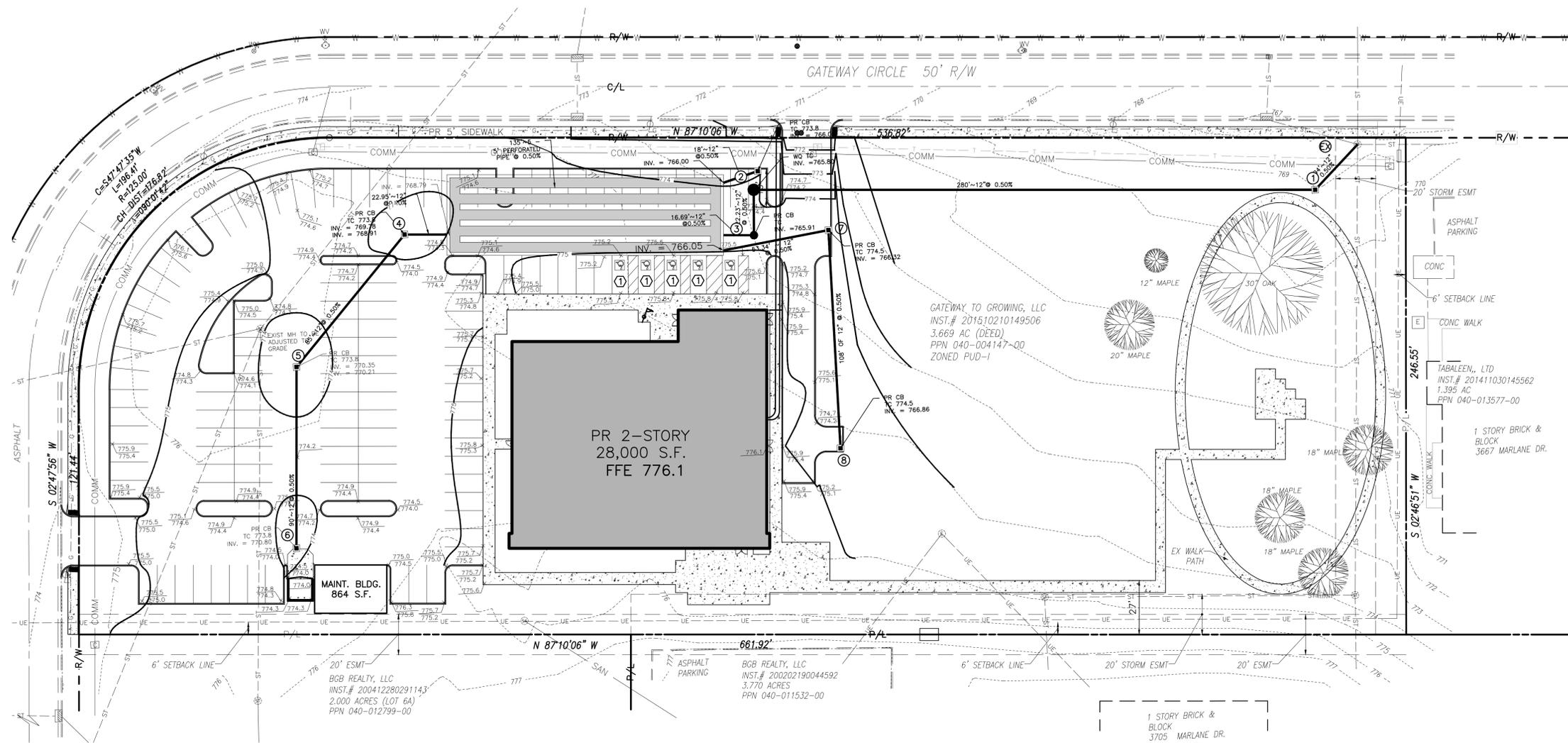


**A MAINT. BUILDING PLAN**  
 EL3 SCALE: 3/16" = 1'-0"





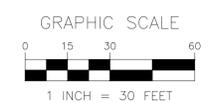




- LEGEND**
- EX FIRE HYDRANT
  - EX STORM MANHOLE
  - EX STORM CATCH BASIN
  - EX CURB INLET
  - EX SANITARY MANHOLE
  - PR MANHOLE
  - PR CATCH BASIN
  - PR STORM STRUCTURE NUMBER
  - PR PARKING COUNT
  - PR CONCRETE

- NOTES**
1. ALL SPOTS ARE PAVEMENT ELEVATION, UNLESS OTHERWISE NOTED.
  2. ADD 0.5' TO PAVEMENT SPOT TO DETERMINE TOP OF CURB ELEVATION.
  3. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING. ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
  4. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
  5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.
  6. REFERENCE THE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS RELATED TO STOOPS AND PATIOS AT BUILDING.

- KEYED NOTES**
- ① HANDICAP PARKING AREA SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.



NO.	DATE	BY	DESCRIPTION

DATE: 05/02/2016  
 JOB#: J1340013  
 DRAWN BY: PSN  
 CHECKED BY: SEF

TECHNICAL SKILL  
 CREATIVE SPIRIT.

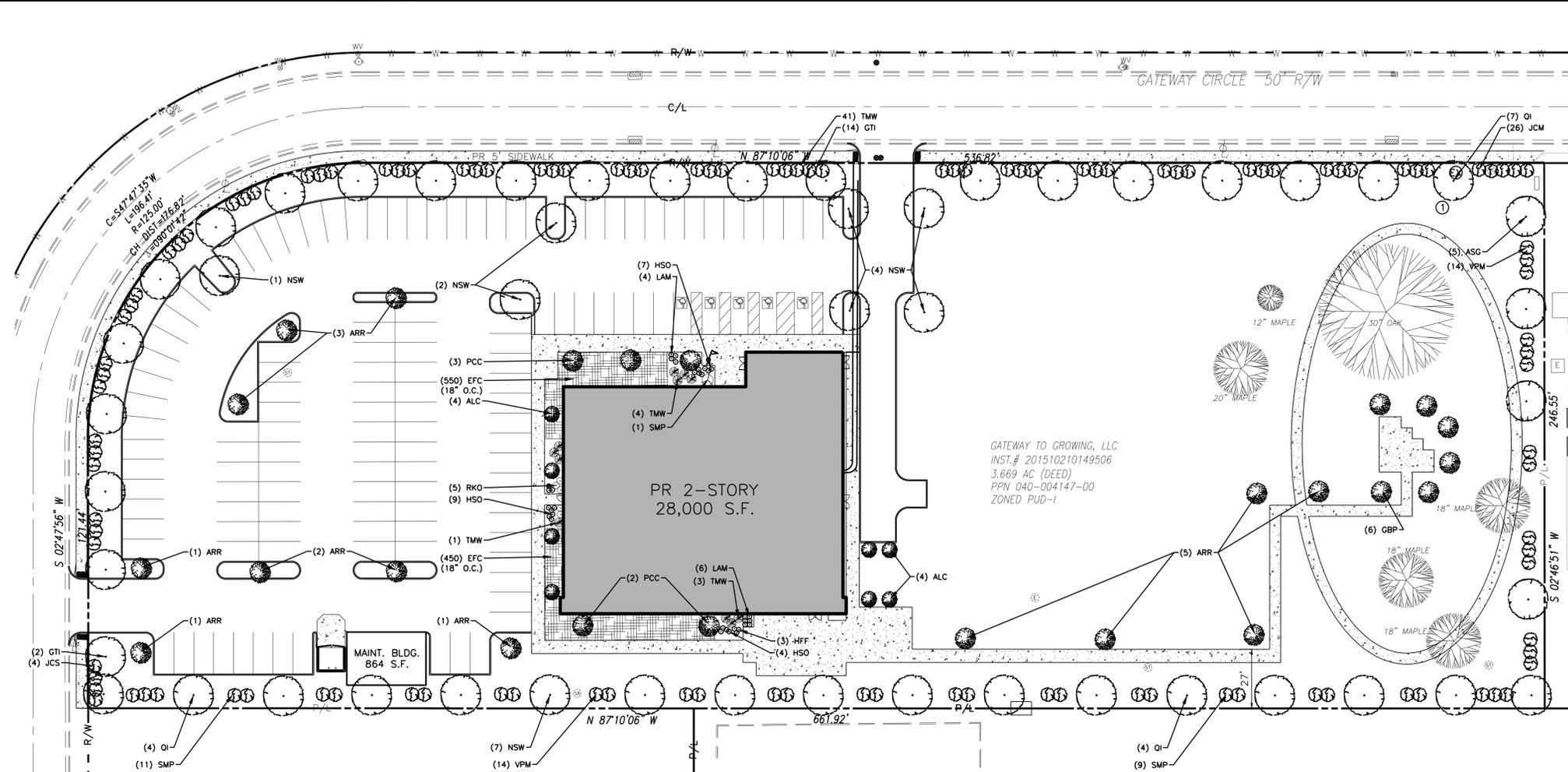
**Mannik Smith GROUP**  
 www.MannikSmithGroup.com

PREPARED FOR:  
**JH ARCHITECTS**  
 51218 NIKE DRIVE  
 COLUMBUS, OHIO

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
 FINAL DEVELOPMENT PLAN  
 FOR  
**HEALTH CARE LOGISTICS**  
 GATEWAY CIRCLE

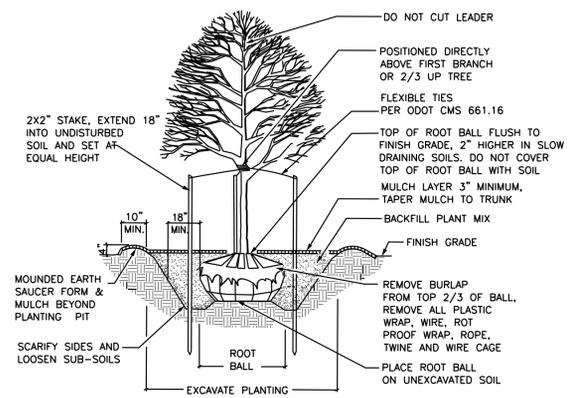
**GRADING PLAN**



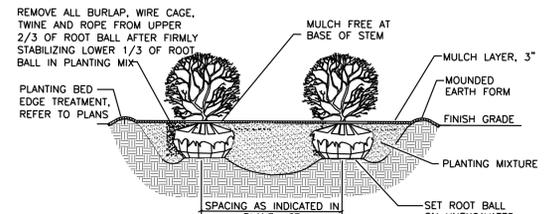


**LEGEND**

- PR SITE DECIDUOUS TREE
- PR EVERGREEN TREE
- PR SHRUB



**DECIDUOUS TREE PLANTING DETAIL**



**NOTES:**

- ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.
- SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

**MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)**

**LANDSCAPE IRRIGATION SYSTEM**

LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A LANDSCAPE IRRIGATION SYSTEM WITH COVERS THE ENTIRE SITE PROPERTY. LAWNS, TREES AND LANDSCAPE BEDS SHALL BE IRRIGATED ON SEPARATE ZONES. IRRIGATION SYSTEM SHALL INCLUDE A SMART ELECTRONIC CONTROLLER WITH WEATHER SENSOR, RAIN DELAY SEASONAL ADJUST AND WATER BUDGET FEATURES. A SEPARATE IRRIGATION METER AND BACKFLOW PREVENTOR PER CITY REQUIREMENTS AND ANY PERMITS SHALL BE INCLUDED. PROVIDE COMPLETE IRRIGATION DESIGN DRAWINGS AND SPECS FOR OWNER REVIEW PRIOR TO INSTALLATION. A COMPLETE SINGLE SOURCE IRRIGATION SYSTEM FROM HUNTER, RAINBIRD AND TORO WILL ONLY BE ACCEPTED.

**GENERAL LANDSCAPE PLANTING NOTES**

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE SCHEMATIC PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF ODOT CONSTRUCTION.
4. ALL PLANTING MATERIALS: SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
6. BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
  - A. ONE PART EXCAVATED SOIL.
  - B. ONE PART EPA RATED CLASS IV COMPOST.
  - C. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
  - D. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.
 NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS: ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS.
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUND COVER (SODDING, SEEDING AND SEED MULCHING): ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:
 

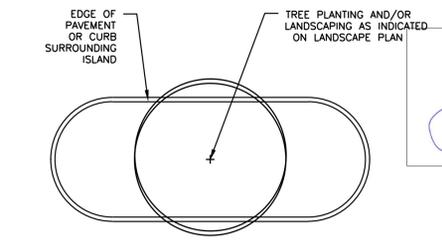
TITAN TALL-TYPE TURF FESCUE	70%
SR 4100 PERENNIAL RYEGRASS	20%
MERIT KENTUCKY BLUEGRASS	10%

**LANDSCAPE PLANT LIST**

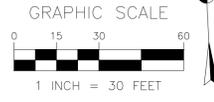
ABRV.	QUAN.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
<b>TREES</b>						
ALC	8	AMELANCHIER LEAVIS 'CUMULUS'	CUMULUS SERVICEBERRY	2" CALIPER	B&B	DECIDUOUS
ASG	5	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2" CALIPER	B&B	DECIDUOUS
ARR	13	ACER RUBRUM 'RED ROCKET'	RED ROCKET MAPLE	2" CALIPER	B&B	DECIDUOUS
GBP	6	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2" CALIPER	B&B	DECIDUOUS
GTI	16	GLEDITSIA TRI INERMIS 'IMPERIAL'	IMPERIAL HONEY LOCUST	2" CALIPER	B&B	DECIDUOUS
NSW	14	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	2" CALIPER	B&B	DECIDUOUS
PCC	5	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	2" CALIPER	B&B	DECIDUOUS
QI	15	QUERCUS IMBRICARIA	SHINGLE OAK	2" CALIPER	B&B	DECIDUOUS
<b>SHRUB</b>						
RKO	5	ROSA SP. 'KNOCK-OUT'	KNOCK-OUT ROSE	3 GALLON	CONTAINER	DECIDUOUS
SMP	12	SYRINGA MEYERI 'PALIBINIANA'	DWARF KOREAN LILAC	24" HEIGHT	B&B	DECIDUOUS
VPW	37	VIBURNUM PLICATUM TOM. 'MARESH'	MARESH DOUBLEFILE VIBURNUM	24" HEIGHT	B&B	DECIDUOUS
JCM	30	JUNIPERUS CHINENSIS 'MINT JULEP'	MINT JULEP JUNIPER	24" HEIGHT	CONTAINER	EVERGREEN
TMW	49	TAXUS MEDIA 'WARD'	WARD JAPANESE YEW	24" HEIGHT	B&B	EVERGREEN
<b>GROUND COVER &amp; PERENNIALS</b>						
EFC	1000	EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	2-1/4" PP	CONTAINER	GROUND COVER
HSF	3	HOSTA SIEBOLDIANA 'FRANCEE'	FRANCEE HOSTA	2 GALLON	CONTAINER	PERENNIAL
HSD	20	HEMEROCALLIS SP. 'STELLA D'ORO'	STELLA D'ORO DAYLILY	2 GALLON	CONTAINER	PERENNIAL
LAM	10	LAVANDULA AUGUSTIFOLIA 'MUNSTED'	MUNSTED LAVENDER	2 GALLON	CONTAINER	PERENNIAL

**LANDSCAPE REQUIREMENTS**

SECTION	REQUIRED	PROVIDED
<b>SECTION 1136.06.A FRONTAGE ALONG PUBLIC STREETS</b>		
GATEWAY CIRCLE FRONTAGE - 854.7 L.F.	REQUIRED	PROVIDED
ONE (1) 2" CAL. MED.**OR LRG.** SPECIES TREE PLANTED FOR EVERY 35' L.F. OF FRONTAGE AND A CONTINUOUS 3' HEIGHT EVERGREEN HEDGE.	25 CONT. 3' HEIGHT EVERGREEN HEDGE.	25 CONT. 3' HEIGHT EVERGREEN HEDGE.
<b>SECTION 1136.06.B REAR &amp; SIDE YARDS ADJACENT COMPATIBLE USES</b>		
SOUTHERN SIDE YARD (COMPATIBLE) - 662 L.F.		
ONE (1) 2" CAL. MED.**OR LRG.** SPECIES TREE AND TWO (2) 18" HEIGHT DECIDUOUS SHRUBS PLANTED FOR EVERY 40' LINEAL FEET OF PROPERTY LINE	17 TREES 34 SHRUBS	17 TREES 34 SHRUBS
<b>SECTION 1136.06.B REAR &amp; SIDE YARDS ADJACENT COMPATIBLE USES</b>		
WESTERN SIDE YARD (COMPATIBLE) - 247 L.F.		
ONE (1) 2" CAL. MED.**OR LRG.** SPECIES TREE AND TWO (2) 18" HEIGHT DECIDUOUS SHRUBS PLANTED FOR EVERY 40' LINEAL FEET OF PROPERTY LINE	7 TREES 14 SHRUBS	7 TREES (5 NEW - 2 EX) 14 SHRUBS
<b>SECTION 1136.06.D INTERIOR VEHICULAR USE AREAS</b>		
INTERIOR VEH. AREA 117 PARKING SPACES		
EACH PENINSULA ISLAND, AISLE END ISLAND OR PLANTING AREA IS TO CONTAIN AT LEAST ONE (1) 2" CAL. MED.**OR LRG.** SPECIES TREE, TWO TREES FOR 60 PARKING SPACES AND 1 TREE FOR EVERY 15 SPACES ABOVE 60.	6 ISLANDS 6 TREES	8 ISLANDS 9 TREES



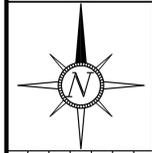
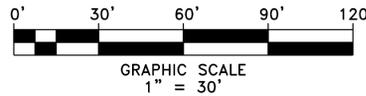
**TYPICAL ISLAND MULCHING DETAIL**



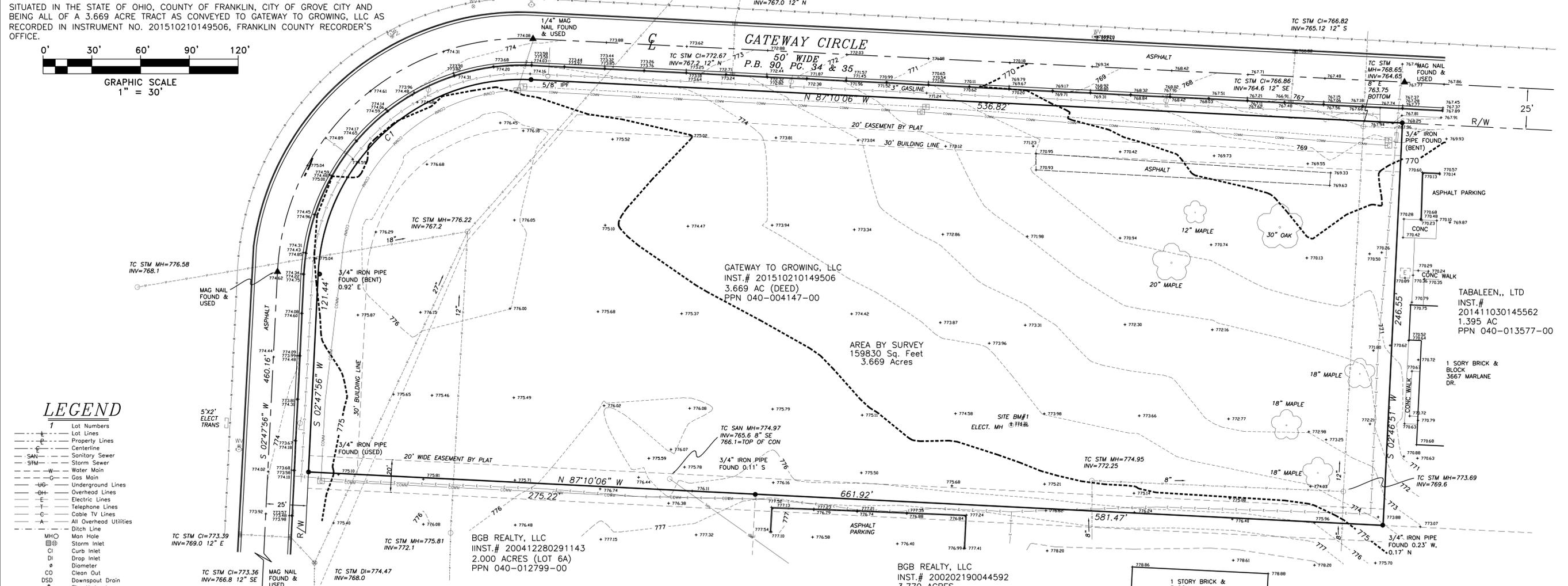
DATE: 05/02/2016  
 JOB#: J1340013  
 DRAWN BY: PSN  
 CHECKED BY: SEF  
 PREPARED FOR: JH ARCHITECTS  
 CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
 FINAL DEVELOPMENT PLAN FOR HEALTH CARE LOGISTICS GATEWAY CIRCLE  
 5120B NIKE DRIVE COLUMBUS, OHIO  
 LANDSCAPE PLAN  
 C-6

# BOUNDARY & TOPOGRAPHIC SURVEY OF 3.669 ACRES ALONG GATEWAY CIRCLE IN GROVE CITY, OH

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF GROVE CITY AND BEING ALL OF A 3.669 ACRE TRACT AS CONVEYED TO GATEWAY TO GROWING, LLC AS RECORDED IN INSTRUMENT NO. 201510210149506, FRANKLIN COUNTY RECORDER'S OFFICE.



DATE	BY	REVISIONS
04/25/16	JWW	Final location of ug. elect. line
03/30/16	JWW	one
	JWW	two
	JWW	three
	JWW	four
	JWW	five
	JWW	six
	JWW	seven
	JWW	eight
	JWW	nine
	JWW	ten



- ### LEGEND
- 1 Lot Numbers
  - Property Lines
  - Centerline
  - SAN Sanitary Sewer
  - STM Storm Sewer
  - W Water Main
  - G Gas Main
  - HG Overhead Lines
  - OH Overhead Lines
  - E Electric Lines
  - T Telephone Lines
  - C Cable TV Lines
  - A All Overhead Utilities
  - Ditch Line
  - MHO Man Hole
  - SI Storm Inlet
  - CI Curb Inlet
  - DI Drop Inlet
  - Ø Diameter
  - CD Clean Out
  - DSD Downspout Drain
  - FD Fire Hydrant
  - VB Valve Box
  - GM Gas Meter
  - GV Gas Valve
  - WM Water Meter
  - WV Water Valve
  - EM Electric Meter
  - UP Utility Pole
  - GW Guy Wire
  - # Pole Numbers
  - o Gas Line Marker
  - o Light Pole
  - o Yard or Flood Light
  - o Telephone Closure
  - o Electric Closure
  - o Cable Signal Closure
  - o Traffic Signal Pole
  - o Bollard
  - o Utility Pull Box
  - o Handicap
  - o Fence
  - o Sign
  - o Concrete
  - o Evergreen Tree
  - o Deciduous Tree
  - o Stone Found
  - o Monument Box
  - o Iron Pin Set
  - o Iron Pin Found
  - o MAG Nail Set
  - o Railroad Spike Found
  - o Dead Volume
  - o Official Record
  - o Instrument Number
  - o IPF Iron Pin Found
  - o IRF Iron Pipe Found
  - o RRF Railroad Spike Found
  - o MNS MAG Nail Set
  - o DHS Drill Hole Set
- ALL MONUMENTS FOUND ARE NOTED WITH SIZE, CONDITION, AND GRADE. ALL IRON PINS SET ARE 5/8" IN DIAMETER W/ CAP STAMPED "J & J SURVEYING"

**NOTES:**  
 THIS SURVEY MEETS CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS."  
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF GATEWAY CIRCLE AS BEING N 87°10'06" W, BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM, THE STATE PLAIN COORDINATE SYSTEM, OHIO SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83 (2011 ADJUSTMENT).  
 EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.  
 AS OF THE DATE OF THIS SURVEY UNDERGROUND UTILITY LINES WERE NOT MARKED BY OUPS, LOCATION WAS TAKEN FROM PLANS & FILED LOCATION OF UTILITY BOXES & CLOSURES.  
 SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.  
 AS OF THE DATE OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.  
 AS OF THE DATE OF THIS SURVEY, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, NOR ANY OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.  
 AS OF THE DATE OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.  
 THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, THE OHIO UTILITY PROTECTION SERVICE SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.  
**FLOOD ZONE:**  
 ACCORDING TO FIRM MAP OF FRANKLIN COUNTY, OHIO AND INCORPORATED AREAS, PANEL 318 OF 465, MAP NUMBER 39049C0318K EFFECTIVE DATE OF JUNE 17, 2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
**ELEVATIONS:**  
 ELEVATIONS ARE BASED ON GPS OBSERVATION USING THE OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM=NAVD 88 DATUM, SITE BENCHMARK#1= NORTH RM OF ELECTRIC MANHOLE LOCATED NEAR CENTER OF SITE AS SHOWN ON SURVEY ELEVATION=774.60

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	196.41'	125.00'	90°01'42"	N 47°47'35" E	176.82'

THIS DRAWING WAS PREPARED FROM AN ACTUAL FIELD SURVEY MADE BY J & J SURVEYING SERVICES, INC. ON 03/30/2016, AND REPRESENTS THE PREMISES SHOWN HEREON TO THE BEST OF OUR KNOWLEDGE.

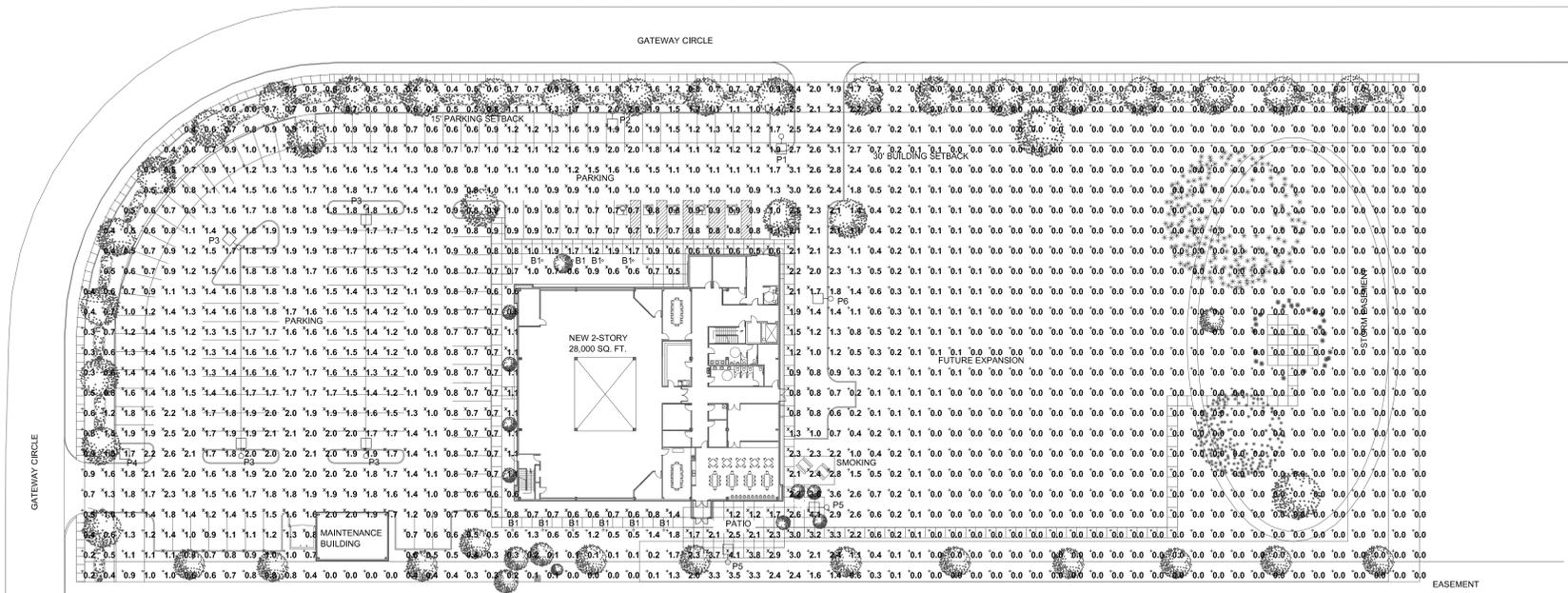
JOHN W. WETHERILL REG. SURV. 7811 DATE 04/25/16

2 WORKING DAYS BEFORE YOU DIG  
 CALL TOLL FREE 800-362-2764  
 OHIO UTILITIES PROTECTION SERVICE

BOUNDARY & TOPOGRAPHIC SURVEY OF 3.669 ACRES ALONG GATEWAY CIRCLE IN GROVE CITY, OH

J. & J. SURVEYING SERVICES, INC.  
 7509 EAST MAIN ST. SUITE 104  
 REYNOLDSBURG, OHIO 43068  
 PH# (614) 866-9158  
 JOE.WOOD@JJSURVEYINGOHIO.COM  
 JOHN.WETHERILL@JJSURVEYINGOHIO.COM  
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**SITE PLAN**  
SCALE: 1"=40'

### LIGHTING FIXTURE SCHEDULE

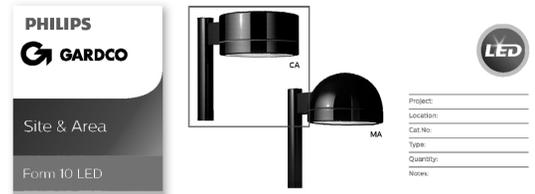
FIXTURE NUMBER	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
B1	GARDCO LIGHTING	BRM834-42-CWL-NW-180-UNIV-BRP	LED 80 LUMENS 4500K, 75 CRI	
P1	GARDCO LIGHTING	CA22L-1-2-160LA-NW-UNIV-BRP	LED 15,000 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 30'
P2	GARDCO LIGHTING	CA22L-1-4-160LA-NW-UNIV-BRP	LED 15,000 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 30'
P3	GARDCO LIGHTING	CA22L-1-5-160LA-NW-UNIV-BRP	LED 15,000 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 30'
P4	GARDCO LIGHTING	C172L-1-2-85LA-NW-UNIV-BRP	LED 9,000 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 14'
P5	GARDCO LIGHTING	CA17L-1-3-70LA-NW-UNIV-BRP	LED 7,200 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 14'
P6	GARDCO LIGHTING	CA17L-1-2-70LA-NW-UNIV-BRP	LED 7,200 LUMENS 4000K, 70 CRI	MOUNTING HEIGHT - 30'

### STATISTICS

	OVERALL SITE	PARKING LOT/SIDEWALKS
AVERAGE	0.7 FOOT-CANDLES	1.4 FOOT-CANDLES
MAXIMUM	4.1 FOOT-CANDLES	4.1 FOOT-CANDLES
MINIMUM	0.0 FOOT-CANDLES	0.5 FOOT-CANDLES
MAX/MIN	N/A	8:2:1
AVG/MIN	N/A	2:8:1

### GENERAL NOTES

- ALL FIXTURES ARE CUT-OFF TYPE.
- MAINTAIN A MINIMUM CLEARANCE OF 3'-0" HORIZONTAL AND 1'-0" VERTICAL CLEARANCE FROM ALL WATER AND SEWER LINES.
- POLES SHALL BE INSTALLED A MINIMUM OF 3'-0" FROM CENTER OF POLE BASE TO BACK OF CURB.



PHILIPS GARDCO Form 10 LED round arm mount luminaires are cutoff area luminaires featuring LED arrays. These products provide performance excellence and feature advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer the potential for energy savings up to 50% when compared to HID systems.

Ordering guide

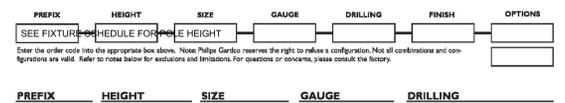
Prefix	Controls	Mounting	Optical System	Wattage	Color Temp	Voltage	Finish	Options
CA22L	17" Circular Luminaire LED - Constant Voltage	1 Single	2 Type 2	100A 10W, 350mA	HP White	100	BLP Black Paint	P Prime Painted
MA2L	17" Semi-Spherical Luminaire LED - Constant Voltage	2 2 @ 90°	3 Type 3	BSLA 50W, 350mA	WP White Paint	240	WP White Paint	PC* Photocured and Recapsule (Includes PCB)
CA22L	22" Spherical Luminaire LED - Constant Voltage	3 3 @ 90°	4 Type 4	HOLA 100W, 350mA	SW Cool White 5000K	277	SW Cool White 5000K	PC* Photocured and Recapsule (Includes PCB)
MA2L	22" Semi-Spherical Luminaire LED - Constant Voltage	4 4 @ 90°	5 Type 5	BSLA 100W, 350mA	HP White	340	HP White	AP* Aperture Filter - Requires a 3/8" O.D. nut arm.

1. Available in 100A and 350A wattages only.  
2. Available in 100A and 350A wattages only.  
3. Type 2, Type 3, and Type 4 optics are not interchangeable.  
4. In these optics feature utilizes only.  
5. Available in 100A and 350A wattages only.  
6. Not available in 48V. Provide specific input voltage.  
7. Requires 2.0W maximum. Not available in MA2L.  
8. In these optics feature utilizes only.

### Poles

#### 4" Straight Square Steel

The Philips Gardco SSS straight steel pole consists of a one-piece square fabricated steel lighting standard. The carbon steel base plate is secured to the shaft with a continuous circumferential weld providing excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured TGIC polyester powdercoat. All poles include anchor bolts, full base cover, hand hole, ground lug and top cap.



PREFIX	HEIGHT	SIZE	GAUGE	DRILLING
SS4	10'	4"	7	D1 1 Way
	12'			D2 2 Way
	14'			D3 3 Way
	15'			D3@90 2 Way at 90°
	18'			D4 4 Way
	20'			T2 2.38" O.D. Temon
	24'			T4 4" O.D. Temon

FINISH	OPTIONS
PP Prime Painted	FES Faston Outlet For Faston Outlet and Additional Hand Hole, indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.
BRP Bronze Paint	AHH Additional Hand Hole
BLP Black Paint	Coastlines Indicate size (1/2", 3/4", 1", 1 1/4", 1 1/2"). Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.
WP White Paint	CL Coupling - Internal thread
NP Natural Aluminum Paint	MSM Motion Sensor Provision for LED Luminaires available with Motion Response
CV Galvanized (Hot Dip)	MSM Motion Sensor Provision for LED Luminaires available with Motion Response
FGV Galvanized (powder coat)	MSM Motion Sensor Provision for LED Luminaires available with Motion Response
OC Optional Color Paint Specify color and finish. See Pole Orientation Information on Page 4.	MSM Motion Sensor Provision for LED Luminaires available with Motion Response
SC Special Color Paint Specify color and finish.	MSM Motion Sensor Provision for LED Luminaires available with Motion Response

Refer to Steel Pole Accessories sheet 79415-26 for additional accessories.

1811 Clovis Barber Road, San Marcos, TX 78666  
(800) 237-9738 (512) 753-1000 FAX: (512) 753-7855 [atslighting.com](http://www.atslighting.com)  
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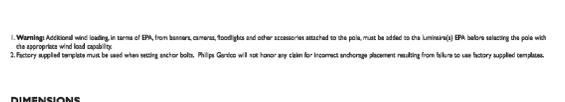
### Poles

#### 4" Straight Square Steel

Page 2 of 4

CATALOG NUMBER	POLE SIZE	MAXIMUM LUMINAIRE LOADING*						ANCHOR BOLT DATA†							
		HIGH WIND CONDITIONS			NORMAL WIND CONDITIONS			BOLT CIRCLES (inches)	BOLT SIZE (inches)	MAX PROJ. (inches)					
PREFIX	HEIGHT (FT)	GAUGE	EPA (FT)	Max Weight (lbs)	EPA (FT)	Max Weight (lbs)	EPA (FT)				EPA (FT)	EPA (FT)			
SSS	10	4	11	9.9	248	12.0	300	14.5	363	18.9	23.9	30.6	8.0"	3/4 x 17 x 3	4.0"
SSS	12	4	11	7.4	185	9.2	230	11.3	283	14.8	18.8	24.4	8.0"	3/4 x 17 x 3	4.0"
SSS	14	4	11	5.5	138	7.0	175	8.8	220	11.7	15.1	19.9	8.0"	3/4 x 17 x 3	4.0"
SSS	15	4	11	3.8	95	5.0	125	6.7	168	8.9	11.8	15.9	8.0"	3/4 x 17 x 3	4.0"
SSS	18	4	11	2.3	58	3.5	88	4.8	120	6.7	9.2	13.4	8.0"	3/4 x 17 x 3	4.0"
SSS	20	4	11	-	-	1.9	48	3.3	83	4.5	6.7	9.6	8.0"	3/4 x 17 x 3	4.0"
SSS	20	4	7	4.3	108	5.6	140	7.4	185	8.8	11.8	16.0	8.0"	3/4 x 17 x 3	4.0"
SSS	25	4	11	-	-	-	-	-	1.0	2.6	4.8	8.0"	3/4 x 17 x 3	4.0"	
SSS	25	4	7	1.8	40	2.6	65	3.8	95	5.4	7.7	10.8	8.0"	3/4 x 17 x 3	4.0"
SSS	30	4	7	-	-	-	-	1.2	50	2.6	4.4	6.7	8.0"	3/4 x 17 x 3	4.0"

\* Warning: Additional wind loading in terms of EPA, from banners, cameras, floodlights and other accessories attached to the pole, must be added to the luminaire's EPA before selecting the pole with the appropriate wind load capability.  
† Footing applied to poles must be used when setting anchor bolts. Philips Gardco will not honor any claims for incorrect anchorage placement resulting from failure to use factory supplied templates.



NOTE: Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement from failure to use factory supplied templates.  
\* Anchor Bolt Lock Washers are not normally required and are not included in standard anchor bolt sets. They are available upon request at additional cost.  
† Footing should include a drainage slot or tube (by others) to permit water to drain from the base of the pole. Failure to provide drainage may weaken the pole base structure over time and may result in pole base failure, for which Philips Gardco is not responsible.

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79415-170611



Philips Gardco dome and bevel top luminaire LED bollards provide uniform illumination, superior spacing and solid vandal resistance. Rugged extruded and cast construction with silicone seals and gasketing assure years of durability. Our advanced stack-overflow LED technology and motion response provide maximum light output energy savings.

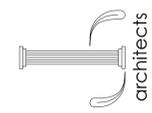
Ordering guide

Prefix	Height	LED Control	LED Selection	Lighted Coverage	Voltage	Finish	Options
BRM830	42"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	BLP Black Paint	SPH Single Footcandle for 100-277V input meeting ANSI C82.4.2
BRM831	36"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	NW 4500K, 75 CRI	180 180° lighted	347 LUMV (100-277V)	WP White Paint	SPH Single Footcandle for 100-277V input meeting ANSI C82.4.2
BRM832	30"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	NW 3000K, 75 CRI	180 180° lighted	347 LUMV (100-277V)	BP Bronze Paint	SPH Single Footcandle for 100-277V input meeting ANSI C82.4.2
BRM833	24"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	NP Natural Aluminum Paint	SPH Single Footcandle for 100-277V input meeting ANSI C82.4.2
BRM834	24"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	OC Optional Color Specify optional color in SW or OC-SP or OC-PAK, 70K.	SC Specify Color Specify. Must apply color dip. See Area before quote.
BRM835	24"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	LP Red	
BRM836	24"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	LP Green	
BRM837	24"	MR Motion Response - LEDs stay on low level/low motion to prevent full light output (4W) when motion detected	CW 6500K, 75 CRI	360 360° lighted	347 LUMV (100-277V)	LP Blue	

1. Not available in 347V.  
2. BRM830 and BRM834 only.  
3. 11" height option to be selected only for "head only" units - (BRM831 and BRM835).  
4. A variation of LED wattage (4W - 8W) may occur due to LED manufacturer's forward volt specification and ambient temperature.  
5. Consult factory for lead times.  
6. 347V bollards require and include a step-down transformer in bollard. Not available in BRM831 or BRM835.  
LED\_Bollard\_BRM830\_837 11/15 page 1 of 3

**HEALTH CARE LOGISTICS**  
LOTS 9 & 10, GATEWAY PROFESSIONAL PARK  
GROVE CITY, OH 43213

**JH Architects, Inc.**  
5120 B Nike Drive  
Hilliard, Ohio 43026  
614-527-7590 Fax 614-527-5792



PRELIMINARY  
NOT FOR CONSTRUCTION

16010  
4-19-16

ES1

## BUILDING EXTERIOR MATERIALS

Exterior Metal Panel: Dri-Design Panel – Berkshire Blue

Exterior Dryvit: Sandblast Dpr Pattern – 443A Canvas Color

Window Frame: Kawneer – Dark Bronze No. 40

Glass: 1” Insulated Bronze Tint

Metal Roof: Galvanized Metal