

May 2, 2016

Development Department  
4035 Broadway  
Grove City, Ohio 43123

**Grove City Planning Commission  
Final Development Plan Application**

Dear Kimberly Shields,

Rite Rug Flooring is proposing to build a new showroom at the northeast corner of London Groveport Road and Summit Way, on a site that is 1.356 acres. This will be a 10,802 square foot commercial building, with the primary use being a salesroom for flooring products but also includes an area, under 2,500 square feet, in the back of the building to store these products. The main façade of the building will be facing south towards London Groveport Road.

This single floor building will be constructed of single wythe masonry walls with steel framing for the roof structure. The front façade will receive EIFS (exterior insulation finish system) and storefront frames will be bronze and are covered with red standing seam metal canopies as illustrated on the included renderings and elevations.

Site lighting as indicated on the included photometric plan is pole mounted, cut-off LED and building mounted LED fixtures. The pole mounted fixtures are attached to 23' tall poles and the two building mounted fixtures on the north building elevation are mounted at 19'.

The proposed monument sign will be located along London Groveport Road and is an 8' tall double sided backlit sign with a smaller, programmable LED screen below that. The signage information included with this development plan is being provided for illustrative purposes. A complete sign package will be submitted at a later date to include all wall, ground, pylon, and monument sign dimensions and details.

Best Regards,



Dave Kaldy  
Architectural Alliance  
165 North Fifth Street  
Columbus, Ohio 43215  
p: 614.469.7500 ext: 110  
dkaldy@archall.com

# RITERUG

LONDON GROVEPORT ROAD, GROVE CITY, OHIO 43123

## FINAL DEVELOPMENT PLAN 05 | 02 | 2016



# archall

ARCHITECTURAL ALLIANCE

165 NORTH FIFTH STREET | COLUMBUS OHIO 43215  
P 614.469.7500 | F 614.469.0500 | www.archall.com

think. create. do.

### SET INFORMATION

DRAWING SET PROJECT NUMBER **A15-072**

- 05 | 02 | 2016 preliminary
- check
- bid
- permit
- construction

DRAWING SET **FINAL DEVELOPMENT PLAN**

REVISIONS

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SEAL

**NOT FOR  
CONSTRUCTION**

CIVIL ENGINEER /  
LANDSCAPE DESIGNER

**MANNIK SMITH  
GROUP**

Steve Hermiller  
Jeffrey Dietrich

815 Grandview Avenue, Suite 650  
Columbus, Ohio 43215  
t + 614 441 8824 / 614 441 8702  
f + 888 488 7340

STRUCTURAL ENGINEER

**SCHAEFER**

John Millea

815 Grandview Ave, Suite 250  
Dublin, Ohio 43215  
t + 614 428 4400

MEP ENGINEER

**EM ENGINEERING**

John Eschenbrenner

143 E. Main St.  
Columbus, OH 43215  
t + 614 225 1580  
f + 614 461 1305

### SHEET INDEX

NO.	SHEET TITLE	1	2	3	4	5	6	Current Revision Date
A0.00	COVER SHEET / SHEET INDEX							
C-1	TITLE SHEET							
C-2	SITE PLAN							
C-3	UTILITY PLAN							
C-4	GRADING PLAN							
C-5	LANDSCAPE PLAN							
C-6	MISCELLANEOUS DETAILS							
A1.01	ARCHITECTURAL SITE PLAN							
A1.02	SITE DETAILS							
SL-1.0	SITE PHOTOMETRIC LIGHTING PLAN							
SL-1.1	SITE LIGHTING CUT SHEETS							
A3.05	FLOOR PLAN - OVERALL							
A4.00	BUILDING ELEVATIONS							
A4.01	BUILDING ELEVATIONS							
A4.02	3D							
A4.03	3D							
A4.04	3D ELEVATION VIEWS							

● SYMBOL INDICATES A REVISED SHEET  
○ SYMBOL INDICATES A NEW SHEET

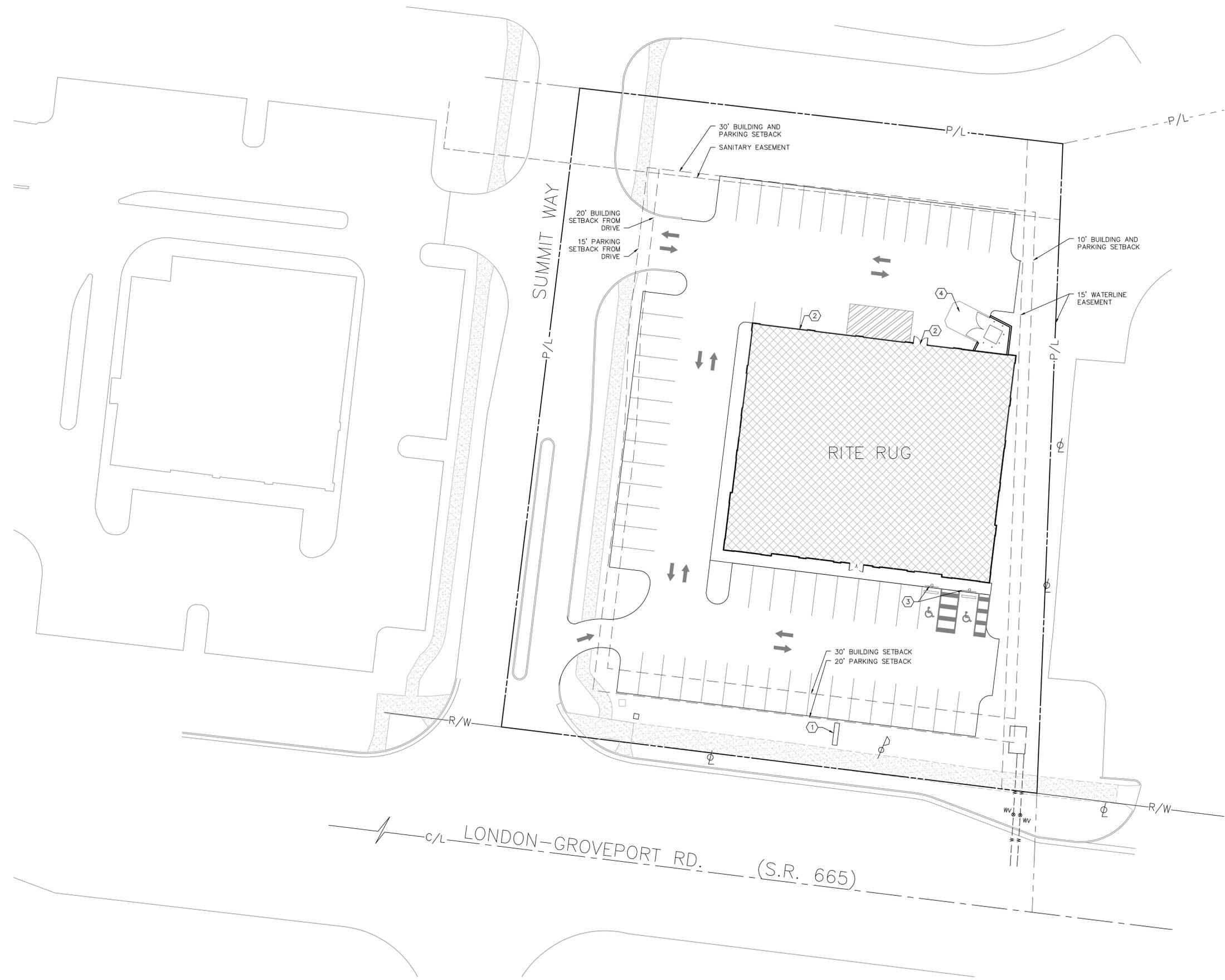
**A15-072**

**RITERUG**  
LONDON GROVEPORT ROAD, GROVE CITY, OHIO 43123

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ARCHITECTURAL ALLIANCE

**SITE PLAN NOTES**

1. ROAD SIGN - SEE DETAILS 2 AND 3/A1.01
2. SITE LIGHTING - COLOR TO BE BRONZE - SEE ELECTRICAL DRAWINGS
3. HANDICAP PARKING SIGN
4. CONCRETE APRON - SEE CIVIL DRAWINGS



**RITE RUG**  
 LONDON GROVEPORT ROAD, GROVE CITY, OH 43123

DRAWING SET

■	06.1.02.1.2016	preliminary
□		check
▣		bid
▤		permit
▥		construction

REVISIONS

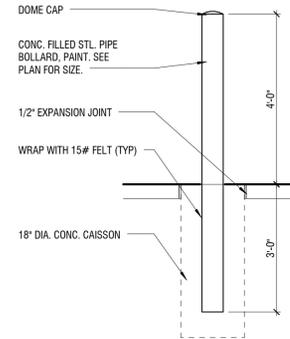
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SEAL

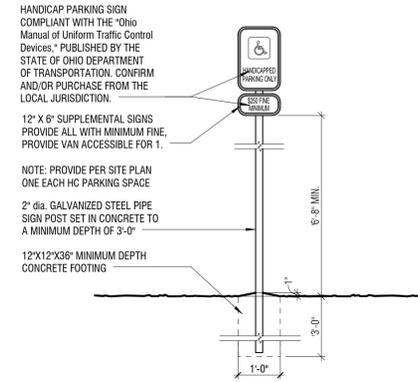
**NOT FOR CONSTRUCTION**

PROJECT NUMBER	A15-016
SHEET TITLE	ARCHITECTURAL SITE PLAN
SHEET NUMBER	

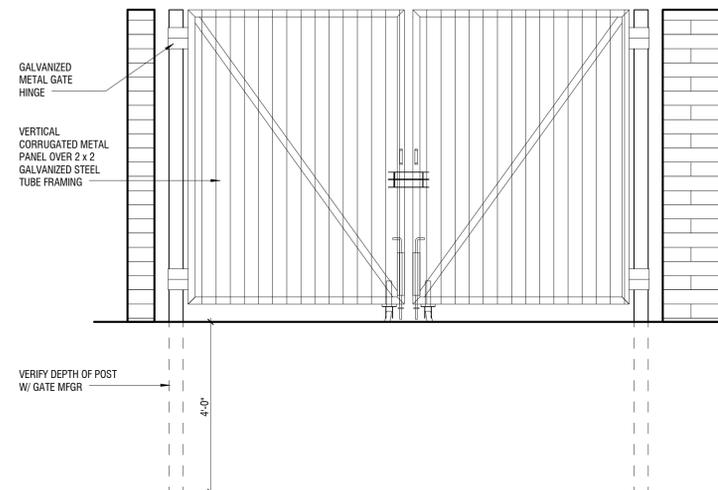
**SITE PLAN**  
 SCALE 1" = 30'



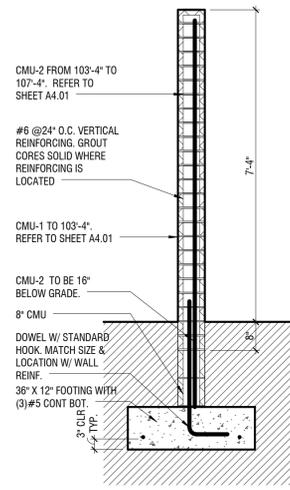
**6 BOLLARD**  
SCALE 1/2" = 1'-0"



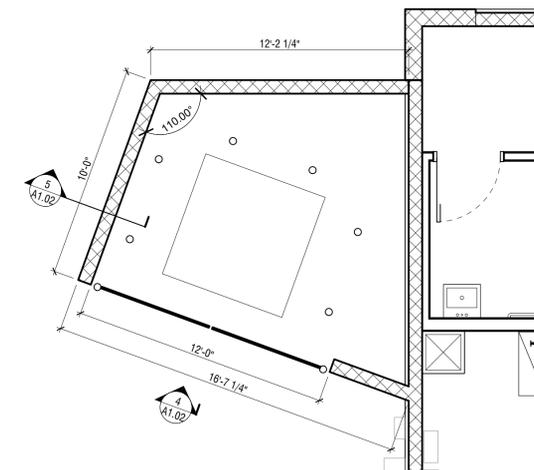
**7 HANDICAP SIGN**  
SCALE 1/2" = 1'-0"



**4 DUMPSTER ENCLOSURE GATE**  
SCALE 1/2" = 1'-0"



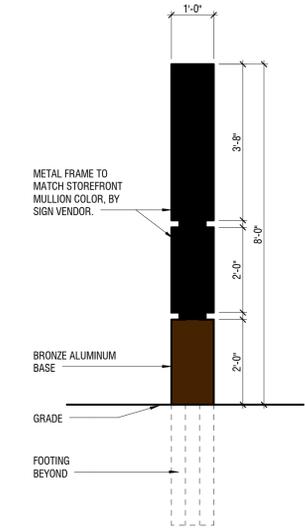
**5 DUMPSTER ENCLOSURE WALL**  
SCALE 1/2" = 1'-0"



**1 DUMPSTER ENCLOSURE PLAN**  
SCALE 1/4" = 1'-0"



**2 ROAD SIGN ELEVATION**  
SCALE 1/2" = 1'-0"



**3 ROAD SIGN ELEVATION**  
SCALE 1/2" = 1'-0"

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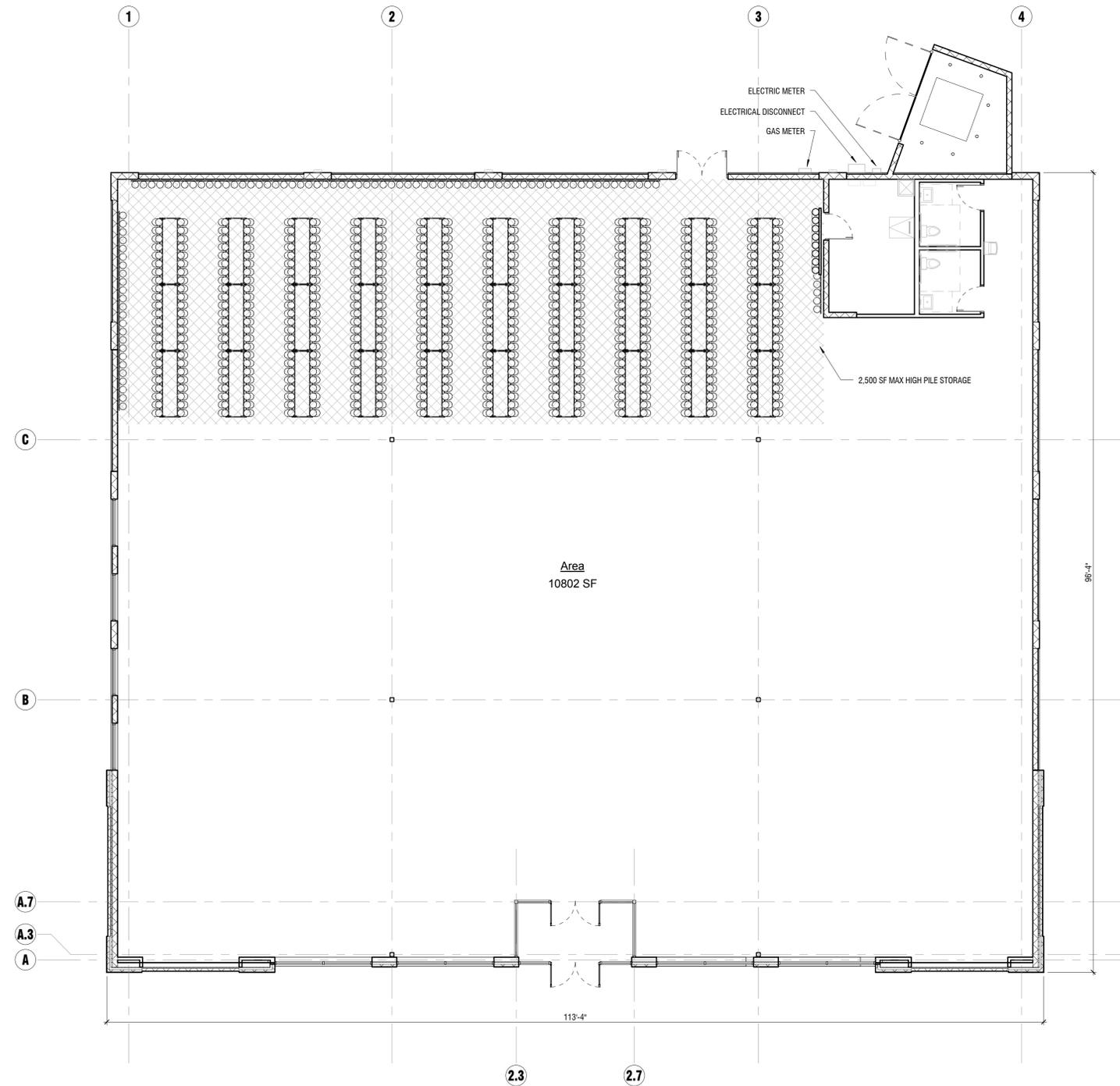
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SEAL

**NOT FOR CONSTRUCTION**

PROJECT NUMBER: A15-075  
SHEET TITLE: SITE DETAILS  
SHEET NUMBER:

**A1.02**



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SEAL

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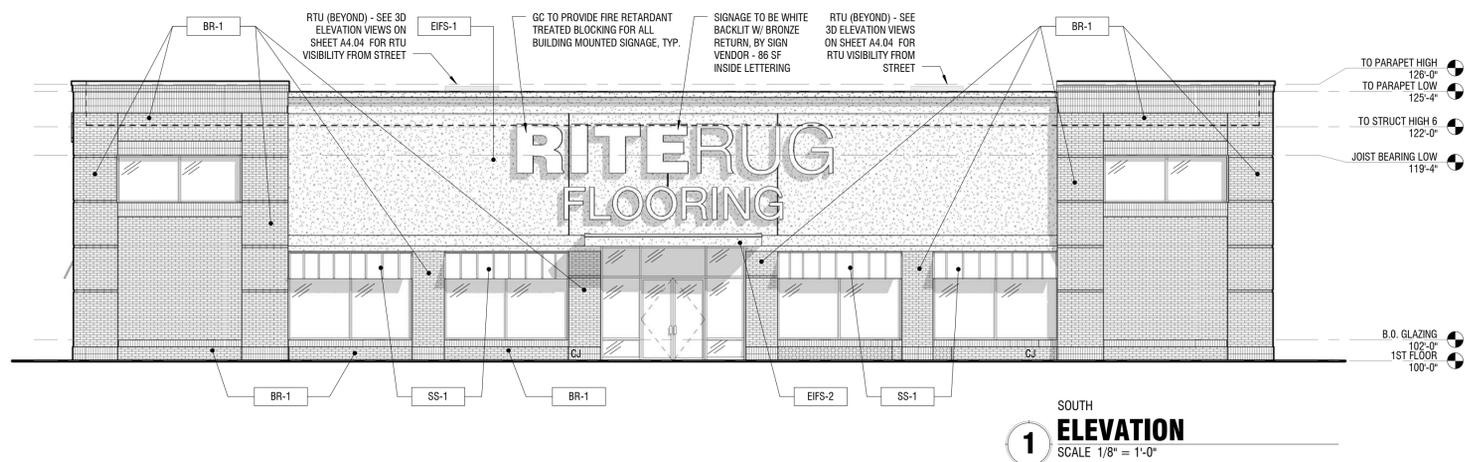
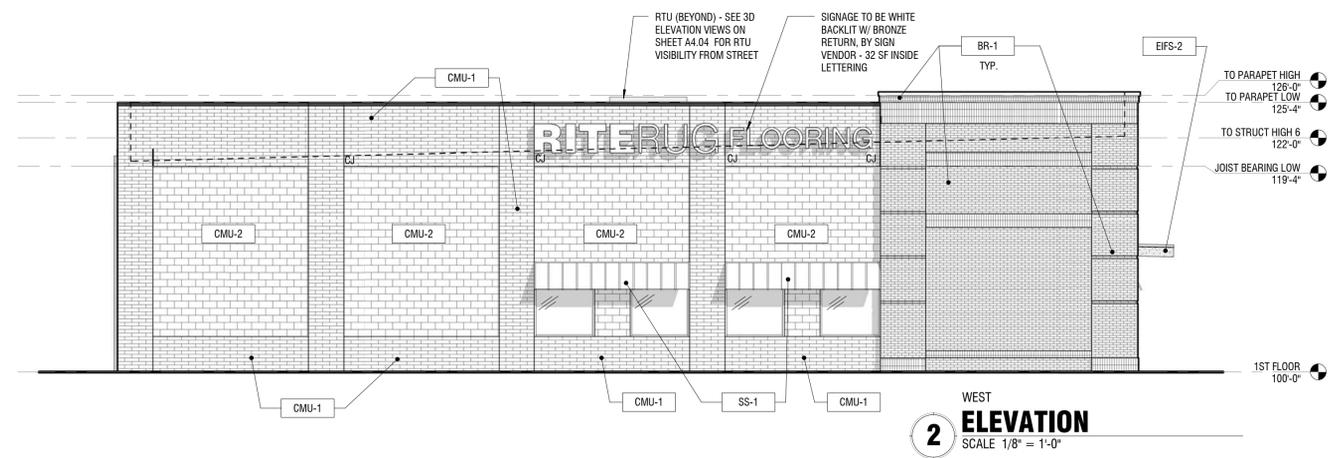
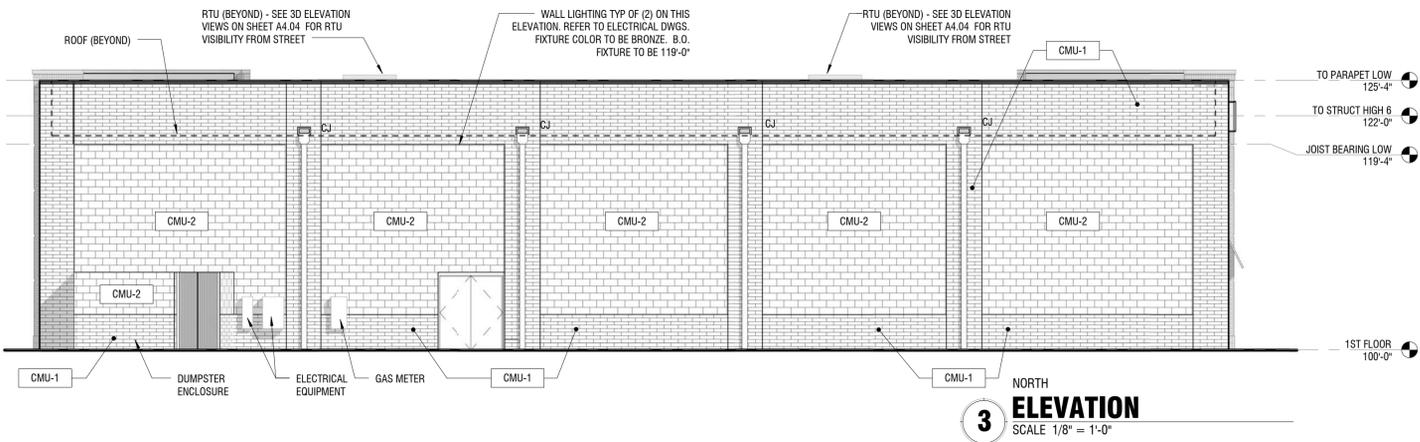
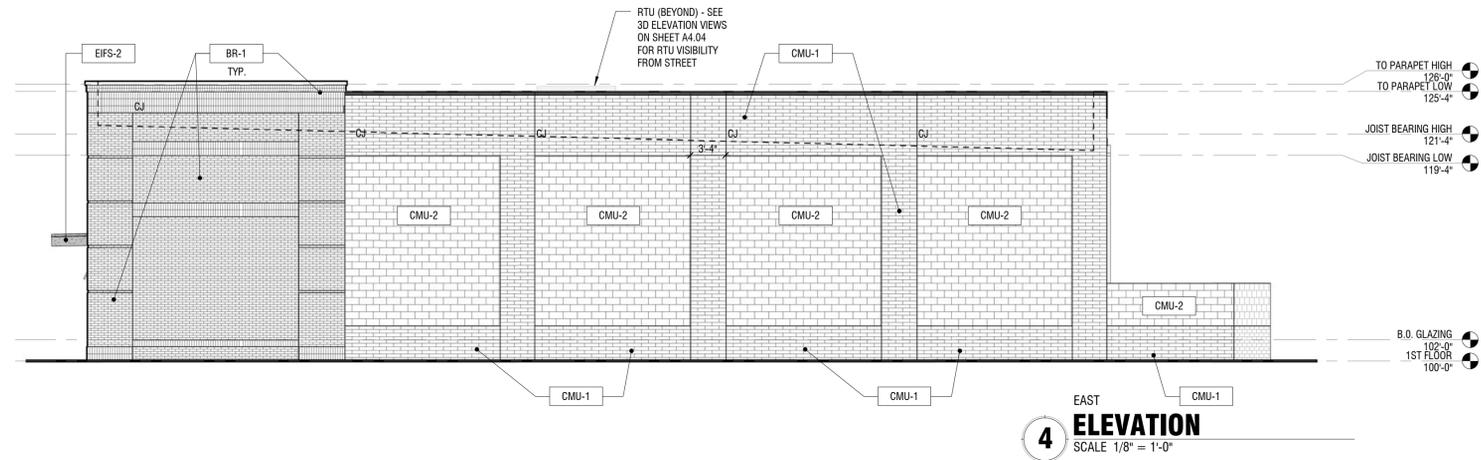
A15-075

SHEET TITLE

FLOOR PLAN - OVERALL

SHEET NUMBER

**A3.05**



**GENERAL NOTES**

- ALL COPING AND BREAK METAL TO MATCH ADJACENT WALL COLOR
- ALL DOWNSPOUTS AND OVERFLOW PENETRATIONS TO BE BRONZE
- SEE BUILDING SECTIONS FOR MORE INFORMATION
- SEE DOOR SCHEDULE NOTES FOR SIGNAGE REQUIREMENTS
- MAX SIGNAGE = 1 SF OF SIGNAGE PER 1 LINEAL FOOT OF BUILDING FRONTAGE (MAX. 200 SF)
- SOUTH ELEVATION: 113 LINEAL FEET OF FRONTAGE
- SOUTH ELEVATION SIGN: 86 SF (113 SF MAX.)
- WEST ELEVATION: 96 LINEAL FEET OF FRONTAGE
- WEST ELEVATION SIGN: 32 SF (96 SF MAX.)

**X CODED NOTES - ELEVATION**

- EIFS-1** EIFS  
CORBLE BROWN SW602 | PAREX OR APPROVED EQUAL  
- COLOR TO MATCH CMU-1  
- REFER TO WALL SECTIONS
- EIFS-2** EIFS  
COLOR: RED TO MATCH STANDING SEAM METAL ROOFING | PAREX OR APPD EQUAL  
- SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL  
- REFER TO WALL SECTIONS
- BR-1** BRICK  
WALNUT BLEND #597 | CONTINENTAL BRICK COMPANY  
X-10 LIGHT GRAY FLAMINGO-BRIXMONT MORTAR OAE  
- REFER TO WALL SECTIONS  
- ALL CMU BACK-UP WALLS TO BE 8", COLOR TO MATCH CMU-1.
- CMU-1** CMU - 10X4X16  
PROVIDE ALTERNATE PRICING FOR 10X8X16 SYRACUSE BLEND | OBERFIELDS LLC; DESIGN BLOK SPEC-BRIK  
-MORTAR: SPEC MIX - SM400 MEDIUM BUFF  
-INTEGRAL BLOCK SEALER + POST APPLIED BLOCK SEALER  
-ALL CORES FROM FINISH FLOOR HAVE FACTORY INSTALLED KORFIL EPS "ICON" SHAPED FOAM INSERTS EXCEPT IN INSTANCES WHERE THE CORES ARE TO BE GROUDED SOLID DUE TO BOND BEAMS, LINTELS, CMU PIERS, AND AT EACH SIDE OF THE WINDOWS AT THE EAST WALL WITH REINFORCING AT BOTH FACES.  
-PROVIDE "BLOCKFLASH" WEEP SYSTEM.  
-REFER TO WALL SECTIONS FOR MORE INFORMATION.
- CMU-2** CMU-MILLED STONE 8X8X16  
BUFF BLEND #2201B SMOOTH | OBERFIELDS LLC; DESIGN BLOK MILLED STONE  
-MORTAR: SPEC MIX - SM400 MEDIUM BUFF  
-SEE WALL SECTION NOTES FOR ADDITIONAL SPECIFICATIONS.  
- ALL CORES FROM FINISH FLOOR HAVE FACTORY INSTALLED KORFIL EPS "ICON" SHAPED FOAM INSERTS EXCEPT IN INSTANCES WHERE THE CORES ARE TO BE GROUDED SOLID DUE TO BOND BEAMS, LINTELS, CMU PIERS, AND AT EACH SIDE OF THE WINDOWS AT THE EAST WALL WITH REINFORCING AT BOTH FACES.  
-REFER TO WALL SECTIONS FOR MORE INFORMATION  
-PROVIDE "BLOCKFLASH" WEEP SYSTEM.  
-REFER TO WALL SECTIONS FOR MORE INFORMATION.
- SS-1** STANDING SEAM METAL AWNING  
ATAS 1" FIELD LOK - 17 BRITE RED, 3 COAT W/ CLEAR  
- BRONZE METAL FRAME  
- AWNING VENDOR TO PROVIDE MATERIAL SAMPLES TO ARCHITECT FOR APPROVAL.

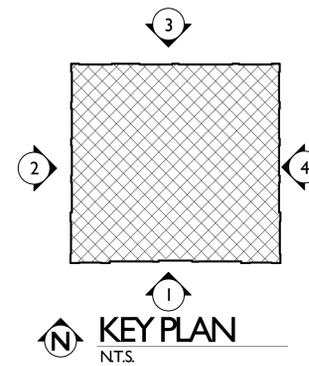
**RITERUG**  
LONDON GROVEPORT ROAD, GROVE CITY, OHIO 43123

**DRAWING SET**

- 05 | 02 | 2016 preliminary
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**REVISIONS**

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SEAL

**NOT FOR CONSTRUCTION**

PROJECT NUMBER

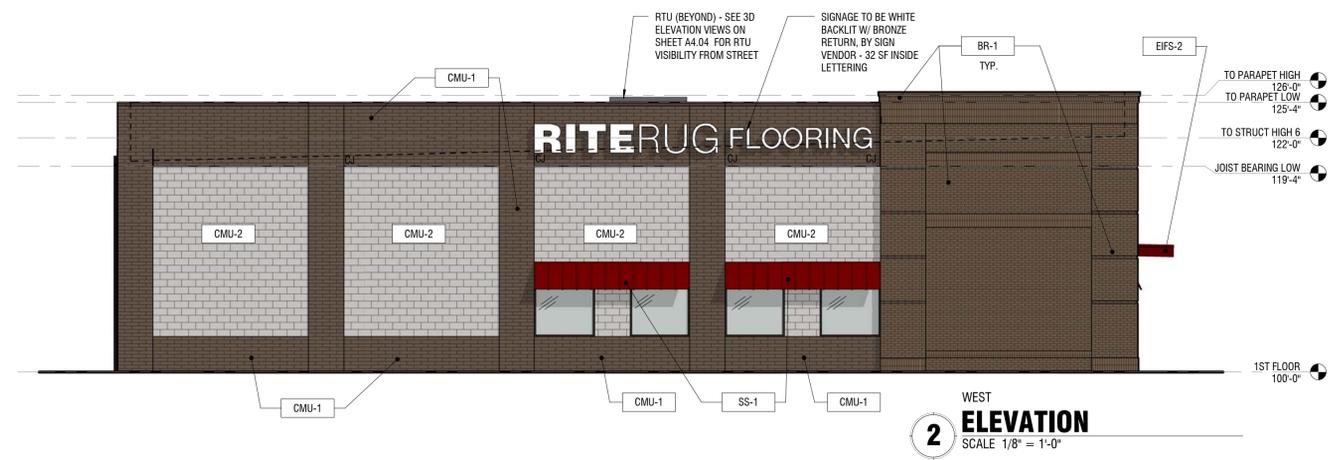
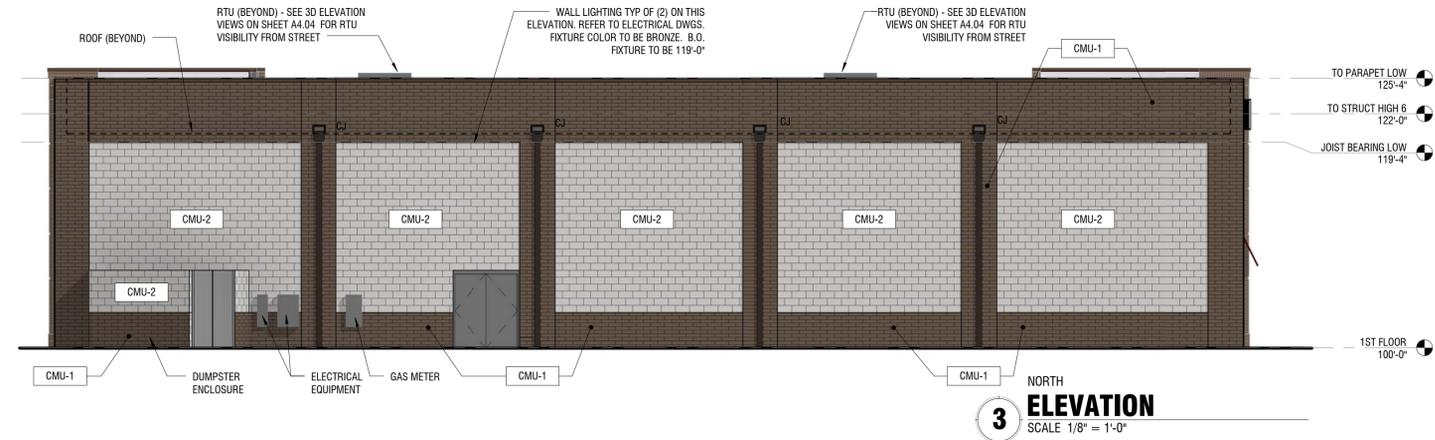
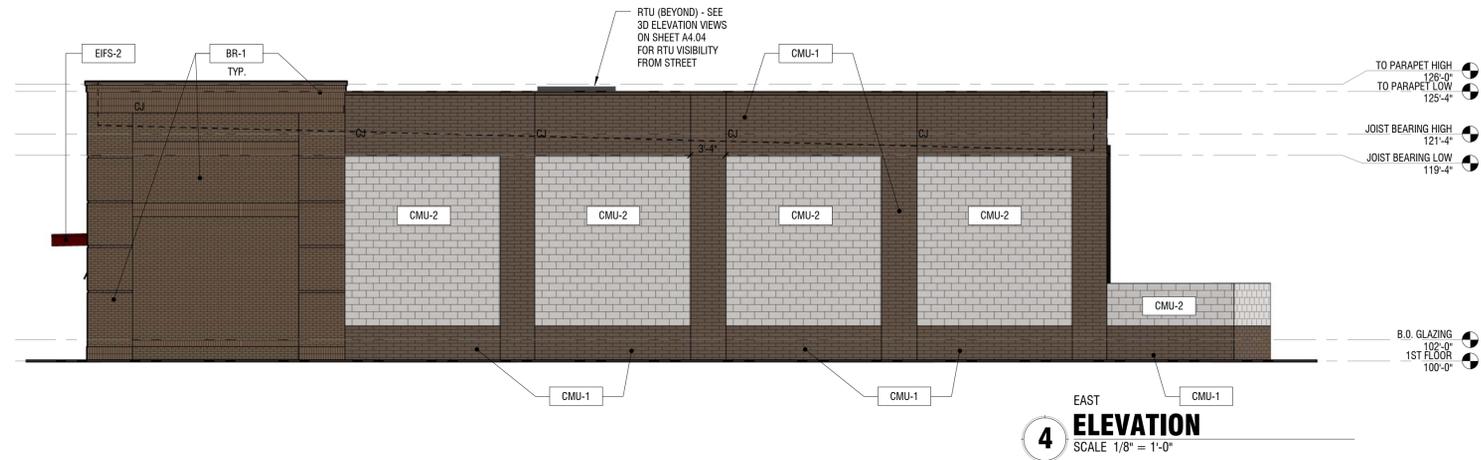
A15-072

SHEET TITLE

**BUILDING ELEVATIONS**

SHEET NUMBER

**A4.00**



**GENERAL NOTES**

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- WEST ELEVATION SIGN: 32 SF (96 SF MAX.)

**X CODED NOTES - ELEVATION**

- EIFS-1** EIFS  
CORBLE BROWN SW6082 | PAREX OR APPROVED EQUAL  
- COLOR TO MATCH CMU-1  
- REFER TO WALL SECTIONS
- EIFS-2** EIFS  
COLOR: RED TO MATCH STANDING SEAM METAL ROOFING | PAREX OR APPD EQUAL  
- SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL  
- REFER TO WALL SECTIONS
- BR-1** BRICK  
WALNUT BLEND #597 | CONTINENTAL BRICK COMPANY  
X-10 LIGHT GRAY FLAMINGO-BRIMONT MORTAR OAE  
- REFER TO WALL SECTIONS  
- ALL CMU BACK-UP WALLS TO BE 8", COLOR TO MATCH CMU-1.
- CMU-1** CMU - 10X16  
PROVIDE ALTERNATE PRICING FOR 10X16 SYRACUSE BLEND | OBERFIELDS LLC. DESIGN BLOK SPEC-BRIK  
-MORTAR: SPEC MIX - SM400 MEDIUM BUFF  
-INTEGRAL BLOCK SEALER + POST APPLIED BLOCK SEALER  
-ALL CORES FROM FINISH FLOOR HAVE FACTORY INSTALLED KORFIL EPS "ICON" SHAPED FOAM INSERTS EXCEPT IN INSTANCES WHERE THE CORES ARE TO BE GROUDED SOLID DUE TO BOND BEAMS, LINTELS, CMU PIERS, AND AT EACH SIDE OF THE WINDOWS AT THE EAST WALL WITH REINFORCING AT BOTH FACES.  
-PROVIDE "BLOCKFLASH" WEEP SYSTEM.  
-REFER TO WALL SECTIONS FOR MORE INFORMATION.
- CMU-2** CMU-MILLED STONE 8X8X16  
BUFF BLEND #22018 SMOOTH | OBERFIELDS LLC. DESIGN BLOK MILLED STONE  
-MORTAR: SPEC MIX - SM400 MEDIUM BUFF  
-SEE WALL SECTION NOTES FOR ADDITIONAL SPECIFICATIONS.  
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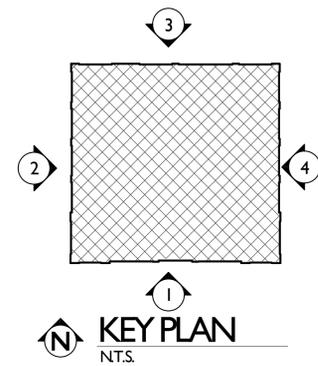
**RITERUG**  
LONDON GROVEPORT ROAD, GROVE CITY, OHIO 43123

**DRAWING SET**

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**REVISIONS**

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SEAL

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PROJECT NUMBER

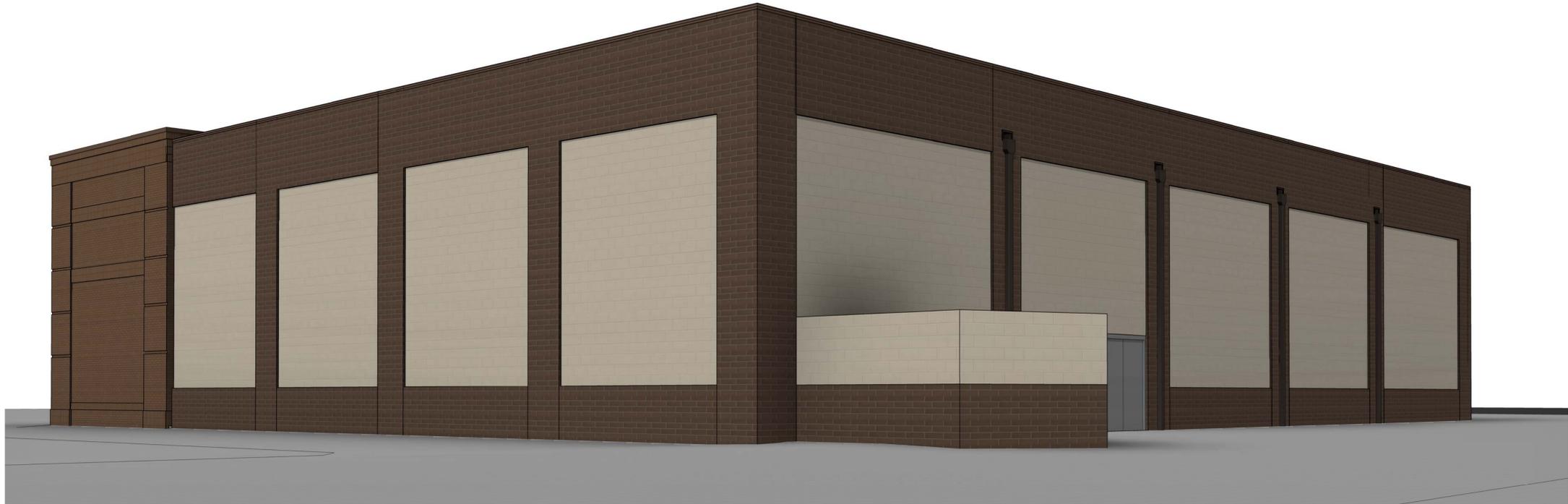
A15-072

SHEET TITLE

**BUILDING ELEVATIONS**

SHEET NUMBER

**A4.01**



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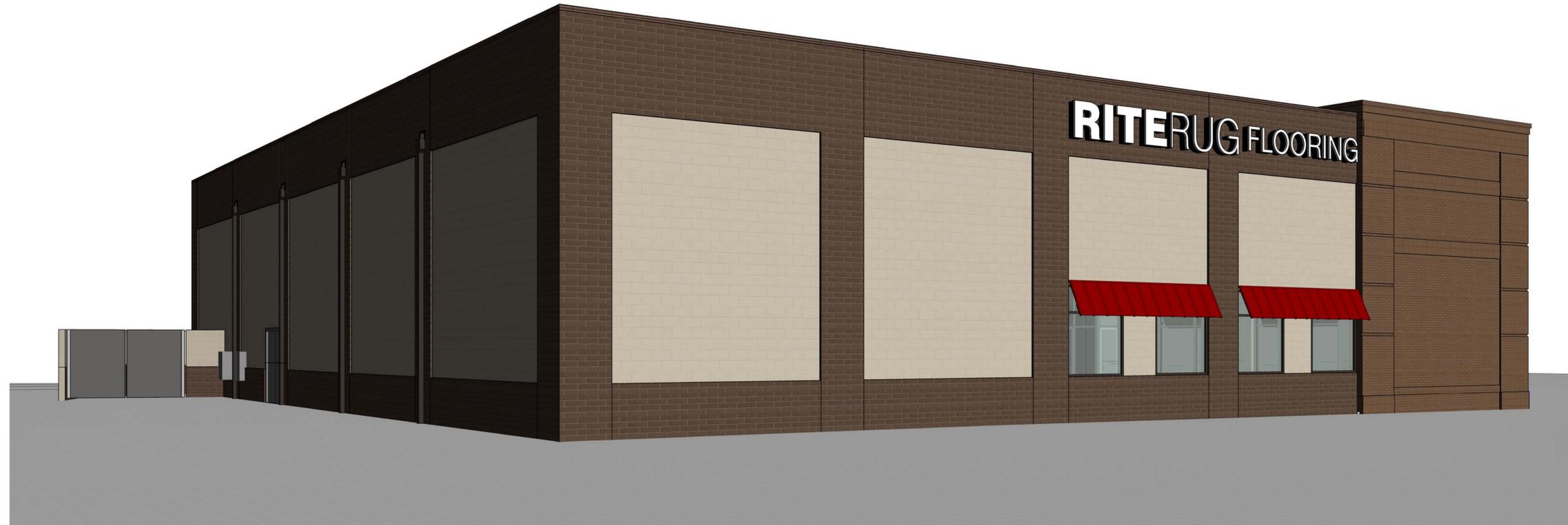
A15-075

SHEET TITLE

3D

SHEET NUMBER

**A4.02**



**RITERUG**  
 LONDON GROVEPORT ROAD, GROVE CITY, OHIO 43123

DRAWING SET

- 05 | 02 | 2016 preliminary
- check
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- permit
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REVISIONS

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SEAL

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PROJECT NUMBER

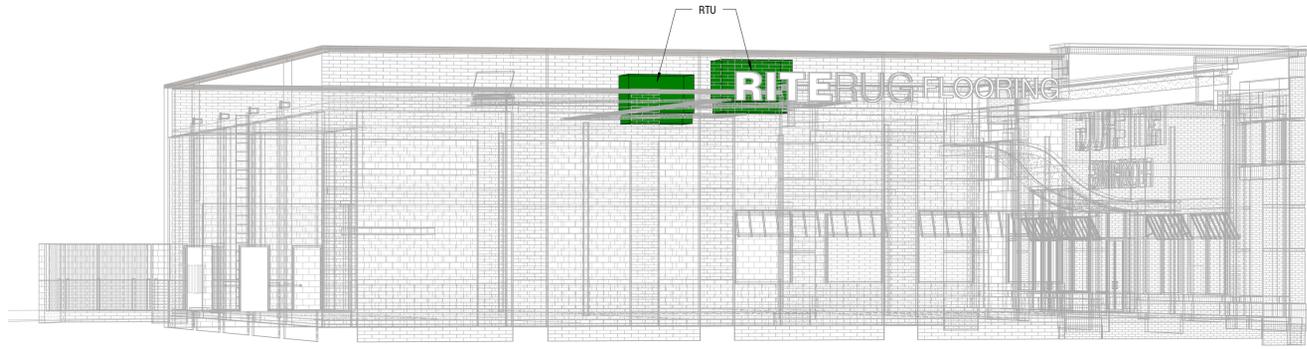
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SHEET TITLE

3D

SHEET NUMBER

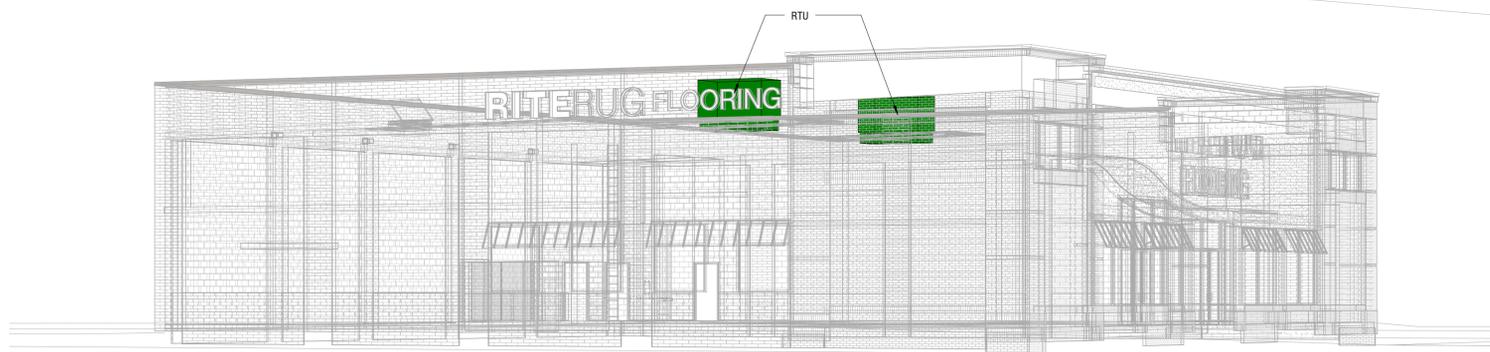
**A4.03**



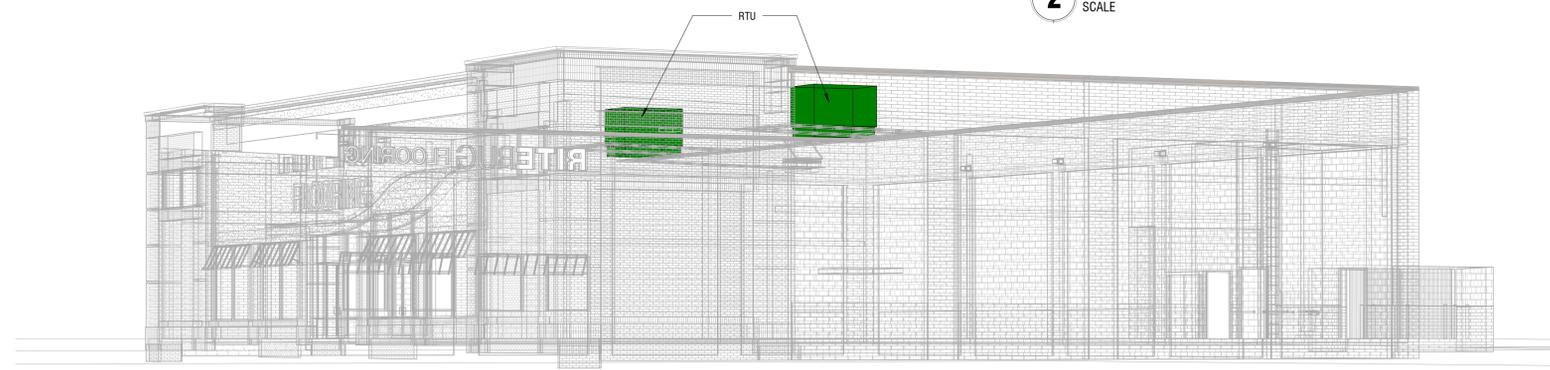
**4 NORTHWEST PERSPECTIVE**  
 SCALE



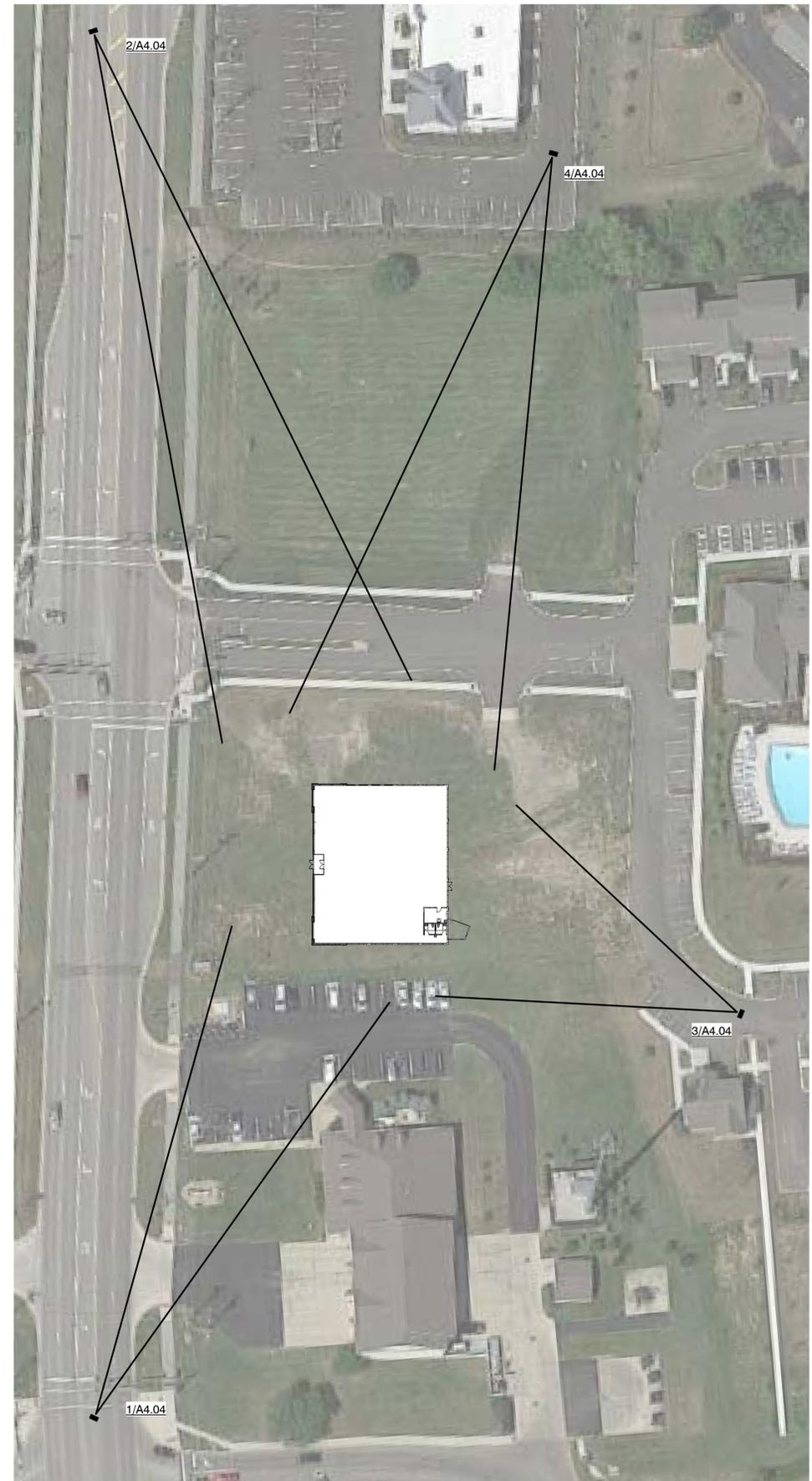
**3 NORTHEAST PERSPECTIVE**  
 SCALE



**2 SOUTHWEST PERSPECTIVE**  
 SCALE



**1 SOUTHEAST PERSPECTIVE**  
 SCALE



**A KEY PLAN**  
 SCALE 1" = 50'-0"



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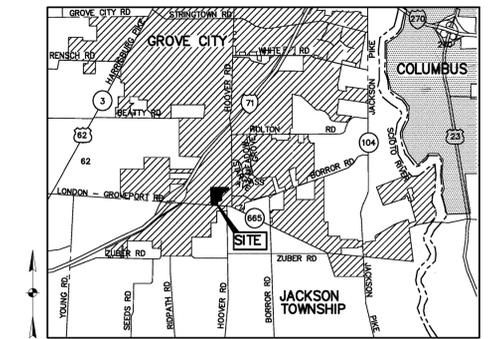
PROJECT NUMBER **A15-075**

SHEET TITLE **3D ELEVATION VIEWS**

SHEET NUMBER

**A4.04**

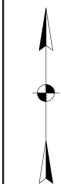
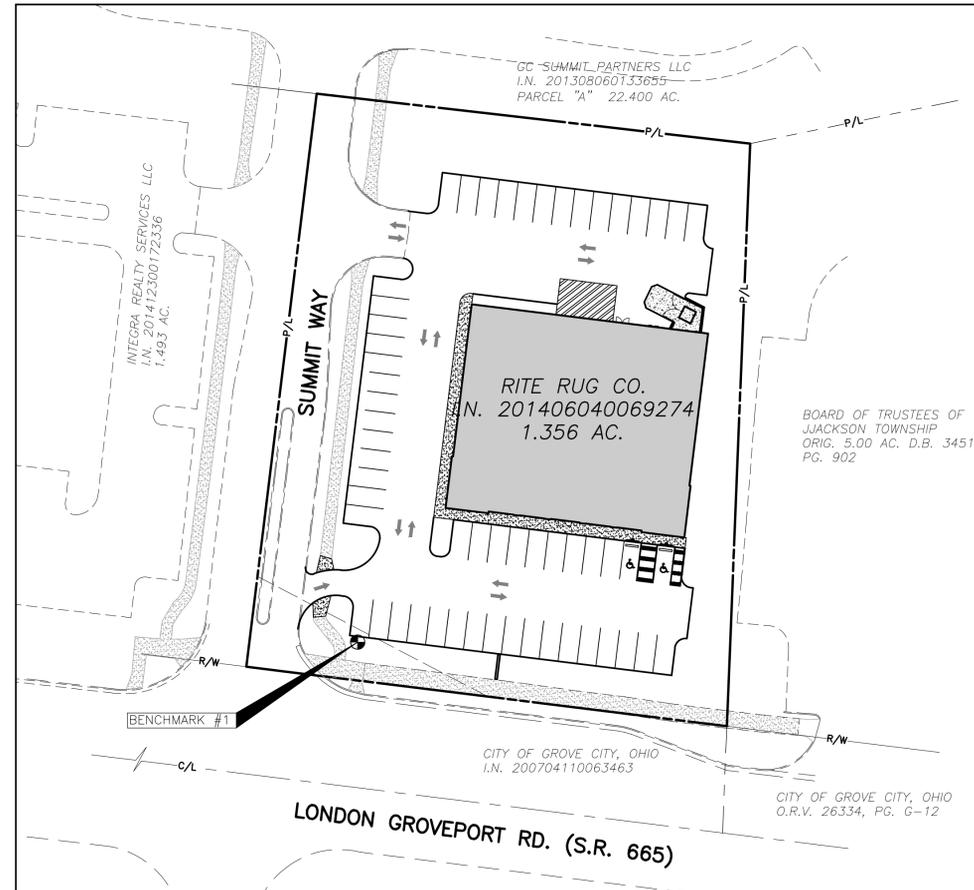
# CITY OF GROVE CITY, OHIO RITE RUG CO. LONDON GROVEPORT ROAD & SUMMIT WAY SITE DEVELOPMENT PLAN 2016



**LOCATION MAP**  
NOT TO SCALE

**GENERAL DEVELOPMENT STANDARDS**

PROPOSED SUB AREA	SUB-AREA, PUD-C
AREA	1.356 ACRES
PERMITTED USES	USES PERMITTED C-1 AND C-C AND UNDER (PSO) PROFESSIONAL SERVICES,(OLR) OFFICE LAB RESEARCH IN CHAPTER 1135.09
DENSITY	8,000 S.F./ACRE (MAX.) (10,848 S.F. ALLOWED) 10,802 S.F. PROPOSED
MAXIMUM BUILDING HEIGHT	35' HEIGHT (MEASURED FROM GRADE TO THE MIDDLE POINT OF THE ROOF MASSING BETWEEN THE EAVES OF THE PEAK)
OFF STREET PARKING	PER GROVE CITY REQUIREMENTS FOR USE SECTION 1135.12
R.O.W.	100' LONDON GROVEPORT RD
SET BACKS:	
PUBLIC ROAD	20' PARKING SETBACK 30' BUILDING SETBACK
SIDE	10' BUILDING AND PARKING SETBACK
REAR	30' BUILDING AND PARKING SETBACK (ADJOINING SUB SUB-AREA "I")



**SHEET INDEX**

TITLE SHEET.....	C-1
SITE PLAN.....	C-2
UTILITY PLAN.....	C-3
GRADING PLAN.....	C-4
LANDSCAPE PLAN.....	C-5
MISCELLANEOUS DETAILS.....	C-6

**ENGINEER**

THE MANNIK & SMITH GROUP, INC.  
815 GRANDVIEW AVENUE, SUITE 650  
COLUMBUS, OHIO 43215  
CONTACT: STEVEN E. FOX, P.E.  
PHONE: 614-441-4222  
EMAIL: SFOX@MANNIKSMITHGROUP.COM

**DEVELOPER / OWNER**

NATIONAL UC REALTY  
5401 W. KENWOOD BLVD #540  
TAMPA, FL 33609  
CONTACT: MICHAEL ZELNIK  
PHONE: 614-309-3288  
EMAIL: MIKE@NATIONALUCR.COM

NO.	DATE	BY	DESCRIPTION
1	05/02/2016	STJ	ISSUED FOR PERMIT

**TECHNICAL SKILL  
CREATIVE SPIRIT.**

www.MannikSmithGroup.com

CITY OF GROVE CITY, OHIO  
RITE RUG RETAIL STORE  
SITE DEVELOPMENT PLAN  
LONDON GROVEPORT RD  
GROVE CITY, OHIO 43123

TITLE SHEET

C-1

**INDEX MAP**  
SCALE: 1"=50'

SITE DATA	
TOTAL SITE AREA:	1.356± AC (59,072 S.F.) (BY SURVEY)
BUILDING AREA:	10,802 S.F.
BUILDING HEIGHT:	26'-4"
CURRENTLY ZONED:	PUD-C
PARKING DATA	
PARKING SPACES REQUIRED:	54 SPACES REQ'D
RETAIL 10,802 S.F. (1 PER 200):	
TOTAL PARKING SPACES PROVIDED:	57 SPACES
H/C PARKING SPACES PROVIDED:	2 SPACES
LOT COVERAGE	
BUILDING:	10,802 S.F. (18.3%)
PAVEMENT AND WALK:	31,679 S.F. (53.6%)
LANDSCAPING/OPENSOURCE:	16,591 S.F. (28.1%)

**BENCH MARKS**

ELEVATIONS ARE BASE ON FRANKLIN COUNTY SURVEY CONTROL MONUMENT "PTSNO.5Y" BRASS PLUG ON A CONCRETE PLATFORM AT THE SOUTHEAST CORNER OF HOOVER ROAD AND LONDON GROVEPORT ROAD, IN FRONT OF THE FORMER CONCORD CHURCH, 55 FEET EAST OF THE CENTERLINE OF HOOVER ROAD, 54.8 FEET SOUTHEAST OF A TRAFFIC SIGNAL POLE, 60 FEET SOUTHWEST OF A POWER POLE. ELEVATION 810.63 NAVD 88 DATUM.

B.M. #1  
NORTHEAST CORNER OF CONCRETE BASE FOR TRAFFIC SIGNAL POLE LOCATED AT THE SOUTHWEST CORNER OF THE SITE  
ELEV = 820.46  
NORTHING 670541.418  
EASTING 1806234.267

*St. J. Fox*  
REGISTERED ENGINEER \_\_\_\_\_ 5/02/2016  
DATE

CITY OF GROVE CITY APPROVALS  
"CITY OF GROVE CITY" SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

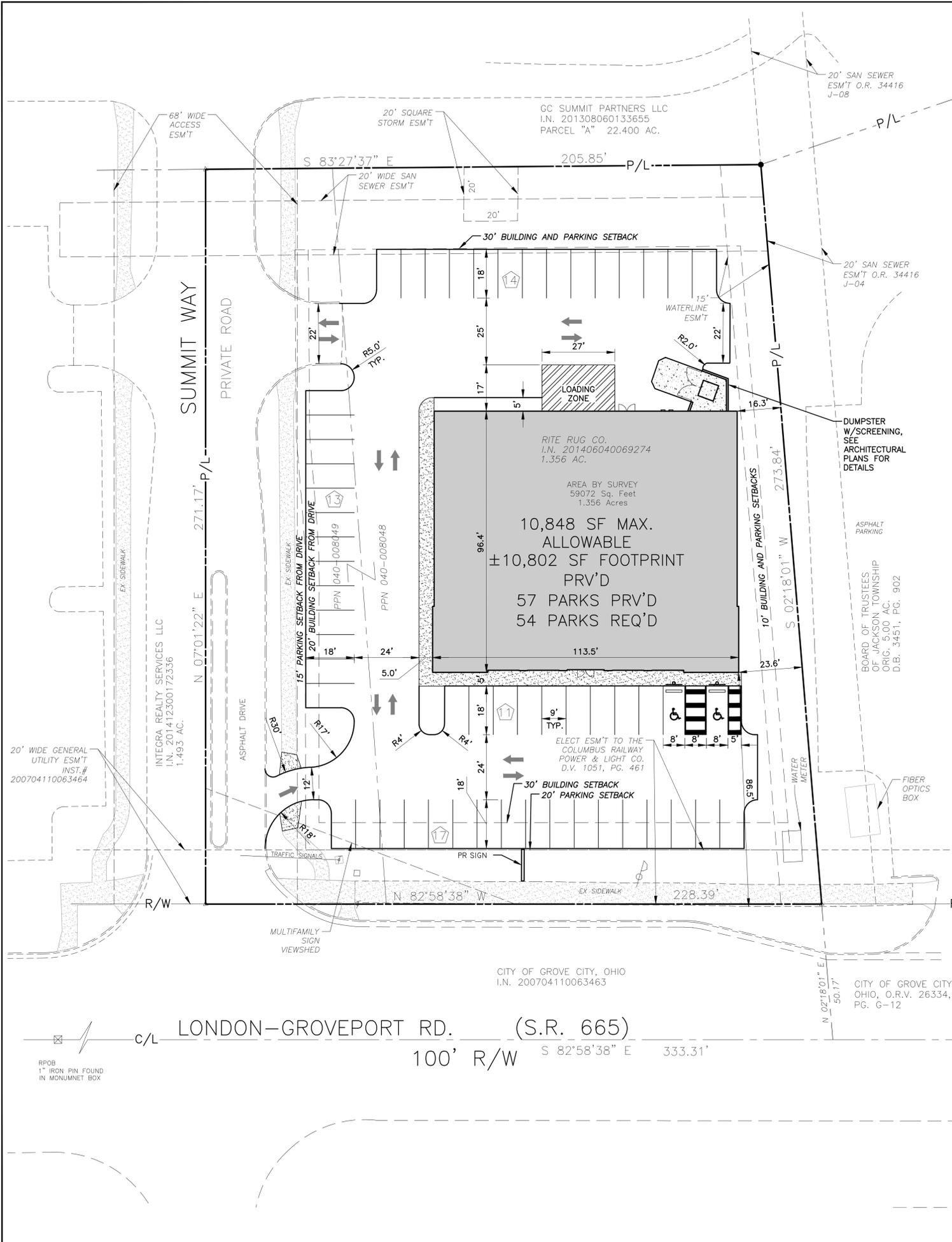
CITY ADMINISTRATOR, CITY OF GROVE CITY \_\_\_\_\_ DATE \_\_\_\_\_

SERVICE DIRECTOR, CITY OF GROVE CITY \_\_\_\_\_ DATE \_\_\_\_\_

REVIEWER FOR THE CITY OF GROVE CITY \_\_\_\_\_ DATE \_\_\_\_\_

JACKSON TOWNSHIP FIRE DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_





**DEVELOPMENT PLAN REQUIREMENTS**

- A TITLE BLOCK IN THE LOWER RIGHT HAND CORNER CONTAINING:
  - "FINAL DEVELOPMENT PLAN"
  - PROJECT TITLE AND CITY PROJECT NO.
  - NAME AND ADDRESS OF OWNER
  - DATE
 TITLE BLOCK SHOWN ON ALL SHEETS WITH REQUIRED INFORMATION PROVIDED.
- LOCATION MAP.  
LOCATION MAP PROVIDED IN THE UPPER RIGHT CORNER OF SHEET 1.
- NORTH ARROW (UP OR TO THE LEFT)  
NORTH ARROW PROVIDED ON ALL SHEETS IN PROPER ORIENTATION.
- THE PROPERTY DIMENSIONS AND BOUNDARY LINES OF THE SITE, INCLUDING TOTAL ACREAGE AND/OR TOTAL SQUARE FOOTAGE OF SITE, AND APPROXIMATE DISTANCE TO THE NEAREST CROSS STREET.  
THE PROPERTY BOUNDARY, TOTAL ACREAGE AND APPROXIMATE DISTANCES ARE SHOWN AND LABELED ON THIS SHEET.
- ALL EXISTING OR PROPOSED BUILDING LOCATIONS ON OR ADJACENT TO THE PROPERTY, EXISTING STRUCTURES PER THE BOCA AND OHIO FIRE CODE AND ACCESS POINTS ON AND ADJACENT TO THE PROPERTY. (CHAP 1511)  
ALL EXISTING BUILDINGS, ACCESS POINTS AND PARKING AREAS ARE SHOWN ON THIS SHEET.
- ALL SETBACKS AND BUILDING LINES. (CHAP. 1135.10)  
BUILDING AND SETBACK LINES ARE SHOWN ON THIS SHEET.
- ALL EXISTING PUBLIC STREETS OR PRIVATE DRIVES WITH STREET NAME, RIGHT-OR-WAY AND PAVEMENT WIDTH, MEDIAN OPENINGS, AND LEFT TURN LINES. (CHAP. 901)  
ALL EXISTING ROADWAYS, BOTH PUBLIC AND PRIVATE ARE SHOWN ON THIS SHEET. RIGHT-OF-WAY WIDTHS, LANE CONFIGURATION AND PAVEMENT WIDTHS ARE ALL LABELED.
- ALL RAILROAD AND UTILITY RIGHT-OR-WAYS, OR EASEMENTS, PARKS OR OTHER PUBLIC/OPEN SPACES AND CORPORATION LINES WITHIN OR ADJACENT TO THE TRACT.  
NO PARKS OR PUBLIC OPEN SPACES ARE TO BE DEDICATED AS A PART OF THIS DEVELOPMENT.
- PROPOSED AREAS OF DEDICATION, IF NECESSARY, INCLUDING STREETS, ALLEYS, EASEMENTS, OR RESERVES BY DEED COVENANT WITH THE CONDITION PROPOSED TO THE TRACT. (CHAP. 1141.01A) NOT APPLICABLE
- POINTS OF INGRESS AND EGRESS TO THE PROPERTY INCLUDING DESIGN AND SPACING OF DRIVEWAYS IN ACCORDANCE WITH CHAPTER 1105 OF THE CODIFIED ORDINANCES.  
ALL INGRESS AND EGRESS POINTS ON THE PROPERTY ARE SHOWN AND LABELED ON THIS SHEET.
- EXISTING GROUND CONFIGURATION, DRAINAGE CHANNELS, WOODED AREAS, WATERCOURSES, AND OTHER SIGNIFICANT PHYSICAL FEATURES. (CHAP. 1136)  
EXISTING GROUND CONTOURS ARE SHOWN ON SHEET 4. THERE ARE CURRENTLY NO WOODED AREAS OR WATER COURSES ON THE PROPOSED SITE.
- PARKING AREA INCLUDING NUMBER AND LAYOUT OF SPACES, AISLE WIDTH, GARBAGE PICK-UP LOCATION (INCLUDING PRIVACY FENCING AROUND DUMPSTER, AREA, WITH GATES), PER OHIO FIRE CODE AND HANDICAPPED PARKING SPACES. CALCULATIONS OF THE PARKING SPACES REQUIRED UP. (CHAP. 1136, 1511)  
PROPOSED PARKING IS SHOWN AND LABELED ON THIS SHEET. AISLE WIDTHS AND NUMBER OF SPACES ARE CLEARLY LABELED.  
PROPOSED DUMPSTER LOCATION AND SCREENING ARE SHOWN ON THIS SHEET WITH ADDITIONAL DETAILS ON ARCHITECTURAL PLANS.  
PARKING SPACES REQUIRED AND PROVIDED ALONG WITH HANDICAP SPACE CALCULATIONS ARE SHOWN IN THE SITE DATA TABLE PROVIDED ON SHEET 1.
- SCREENING WALLS AND LOCATION, TYPE OF SCREENING WALL, EITHER LIVING, MASONRY, OR PRIVACY FENCING. (CHAP. 1136.08)  
SITE SCREENING IS SHOWN ON THE SITE LANDSCAPING PLAN.
- INDICATE ALL AREAS TO BE LANDSCAPED, TYPE OF LANDSCAPING, AND TOTAL SQUARE FOOTAGE OF LANDSCAPED AREAS IN ACCORDANCE WITH CHAPTER 1136 OF THE CODIFIED ORDINANCES.  
SEE SITE LANDSCAPING PLAN FOR DETAILS OF ALL PROPOSED LANDSCAPING FEATURES.
- SHOW ALL MECHANICAL EQUIPMENT TO BE LOCATED ON EXTERIOR OF BUILDINGS (HVAC, EXHAUST VENTS, HOODS, ETC.) (CHAP. 1341)  
EXTERIOR MECHANICAL EQUIPMENT AND PROPOSED SCREENING IS SHOWN AS PART OF THE ARCHITECTURAL PLANS.  
ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED BY RAISED PARAPET.
- EXISTING SEWERS, WATER MAINS, CULVERTS AND OTHER UNDERGROUND FACILITIES WITHIN THE TRACT, ADJACENT TO THE TRACT, OR THAT WILL BE USED IN DEVELOPING THE TRACT, INDICATING PIPE SIZES, GRADES, AND LOCATIONS INCLUDING FIRE HYDRANTS EXISTING AND PROPOSED. (CHAP. 953, 939, 1101)  
REFERENCE SHEET 3 FOR EXISTING STORM SEWER, WATERLINE AND SANITARY SEWER.
- ALL PROPOSED WATER AND SEWER LINES WITH SIZES INDICATED AND LOCATION OF VALVES, FIRE HYDRANTS, MANHOLES, AND OTHER APPURTENANCES OR STRUCTURES SHOWN. (CHAP. 953, 939, 1101)  
PROPOSED WATER AND SEWER LINES ALONG WITH VALVES, HYDRANTS, MANHOLES AND OTHER APPURTENANCES ARE SHOWN ON SHEET 3.
- ALL PROPOSED OR EXISTING WATER AND SEWER CONNECTIONS, METER LOCATIONS, SIZE OF METERS, WITH METER AND/OR DETECTOR CHECK VALVE VAULTS INDICATED. (CHAP. 1101, 1103, 1133, 1307)  
ALL EXISTING AND PROPOSED CONNECTIONS AND METERS ARE SHOWN ON SHEET 3.
- FINISHED FLOOR ELEVATION OF PROPOSED OR EXISTING STRUCTURES ON THE SITE REFERENCED TO SEA LEVEL DATUM. (CHAP. 1101, 1103, 1133, 1307)  
PROPOSED FINISHED FLOOR ELEVATIONS ARE SHOWN ON SHEET 4. ALL ELEVATIONS SHOWN HEREON ARE BASED ON FRANKLIN COUNTY NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- EXISTING AND PROPOSED CONTOURS OF THE TRACT IN INTERVALS OF ONE FOOT OR LESS, REFERENCED TO SEA LEVEL DATUM. (CHAP 1101.05G)  
EXISTING & PROPOSED CONTOURS ARE SHOWN AT ONE FOOT INTERVALS ON SHEET 4.
- PROPOSED OR EXISTING ON AND OFF SITE INLETS, CULVERTS OR OTHER DRAINAGE STRUCTURES.  
ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES ARE SHOWN ON SHEET 3.
- PROPOSED SIGNAGE FOR THE ENTIRE SITE TO INCLUDE PERMITTED SQUARE FOOTAGE OF ALL SIGNS AND PERMITTED HEIGHT AND LOCATION OF POLE SIGNS (HOWEVER, SEPARATE APPLICATION FOR SIGNAGE MUST BE APPROVED AND SIGN PERMIT ISSUED.) (CHAP. 1101.08)  
SIGNAGE SHALL BE IN ACCORDANCE WITH CHAPTER 1145 AND REVIEWED/ APPROVED BY THE BUILDING DIVISION.
- PROPOSED AREA LIGHTING SHOWING DETAIL OF EACH FIXTURE AND HEIGHT (ON BUILDING AND/OR AROUND PARKING AREA). (CHAP. 1139.03)  
PROPOSED LIGHT LOCATIONS AND FIXTURE DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- ZONING OF THE PROPERTY AS IT NOW STANDS AND THE ZONING PROPOSED, IF IT IS BEING REQUESTED TO BE CHANGED. (CHAP. 1101)  
THE SITE IS CURRENTLY ZONED PUD-C
- PROPOSED USE OF THE SITE OR BUILDINGS. (CHAP. 1101.08)  
MULTI-TENANT RETAIL.
- STORM WATER RETENTION IN ACCORDANCE WITH SECTION. (CHAP. 1135.10)  
SITE DETENTION WITH STORM WATER REQUIREMENTS ARE SHOWN ON SHEET 3.
- SIZE OF THE BUILDING (SQUARE FOOTAGE). SEE TABLE 1135.10-1, 1135.12-11 AND THE BUILDING SIZES ARE SHOWN ON THIS SHEET
- HEIGHT OF ALL STRUCTURES INCLUDING SITE LIGHTING. (CHAP. 1101)  
THE BUILDING HEIGHT IS SHOWN ON THE ARCHITECTURAL ELEVATIONS PROVIDED. SITE LIGHTING DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.

- NUMBER OF LIVING UNITS, BY NUMBER OF BEDROOMS, IF APPLICABLE. (CHAP. 1135.10G(7))  
THERE ARE NO RESIDENTIAL LIVING UNITS PROPOSED FOR THIS DEVELOPMENT.
- A CERTIFICATE BY A REGISTERED LAND SURVEYOR OR ENGINEER THAT THE PREMISES COVERED BY THE PLAN HAVE BEEN SURVEYED, THAT THE PLAN IS CORRECT, AND THAT THE MONUMENTS SHOWN ON THE PLAT WILL BE SET IN ACCORDANCE WITH SECTION 1101.051.  
THE LOT LINES REFLECT THE LOT DIMENSIONS ON ALTA SURVEY AS PREPARED BY AN OHIO LICENSED SURVEYOR.
- COLOR RENDERING OF BUILDING(S), COMPLETE WITH LISTING OF ALL COLORS, INCLUDING PANTONE 1999-2000 REFERENCE NUMBERS OR IF PANTONE IS NOT AVAILABLE, THE MANUFACTURER'S REFERENCE/SERIAL NUMBER WITH SAMPLE, AND MATERIALS, WITH SAMPLES TO BE USED. (C-39-00; PASSED 5/12/00)  
COLOR RENDERINGS ARE INCLUDED.
- COMPLIANCE TO NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANELS NO. 390173-0001 THROUGH 4, SHOW 100-YEAR FLOOD PLAIN. (CHAP. 1329)  
THE PROPOSED SITE LIES WITHIN ZONE X - AREA DETERMINED TO BE OUTSIDE THE 100-YEAR & 500-YEAR FLOODPLAIN PER FEMA PANEL #39049C0404K, DATED JUNE 17, 2008.
- SITE PLAN TO BE SIGNED BY AN ENGINEER OR SURVEYOR REGISTERED IN THE STATE OF OHIO. (CHAP. 1101.05)  
REGISTERED ENGINEER SIGNATURE PROVIDED ON SHEET 1.
- SIGNATURE BLOCK.  
SIGNATURE BLOCK PROVIDED ON SHEET 1 WITH REQUIRED MUNICIPAL SIGNATURE BLOCKS.
- COMPLIANCE WITH HISTORICAL PRESERVATION AREA REQUIREMENTS, IF APPLICABLE, CHAPTER 1138 OF THE CODIFIED ORDINANCES.  
NOT APPLICABLE
- A NARRATIVE DESCRIPTION OF THE PROJECT OF AT LEAST ONE PARAGRAPH IN LENGTH.  
PROJECT NARRATIVE ATTACHED WITH SUBMITTAL.

**SITE PLAN NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED TO CONFORM WITH ASTM A36 OR ASTM A441 AND SHOULD BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE OF 50° MINIMUM. APPLY TWO (2) COATS.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS.
- DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.

**SITE SUMMARY**

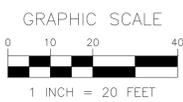
ADDRESS:	LONDON GROVEPORT RD
PID:	040-008048-00 AND 040-008049-00
TOTAL SITE AREA:	1.356 AC
ZONING:	PUD-C
PARKING:	REQUIRED SPACE: 1 PER 200 SF 10,802 / 200 = 54 PROPOSED SPACES: 57
SETBACKS:	LONDON GROVEPORT RD. FRONT 30' SIDE 10' REAR 30' BUILDING 30' PARKING 20' 10' 30'

**LEGEND**

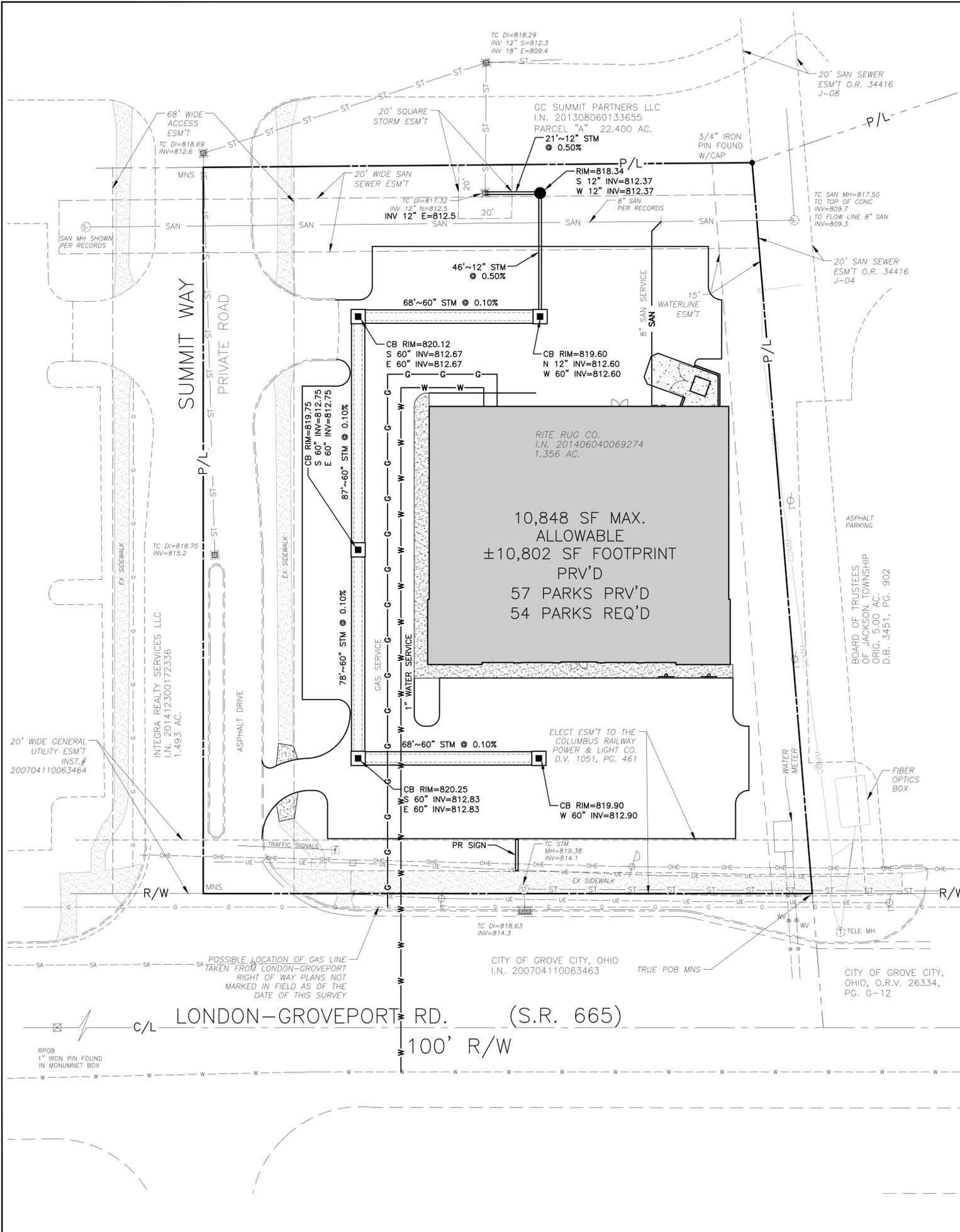
- EX FIRE HYDRANT
- EX STORM MANHOLE
- EX STORM CATCH BASIN
- EX CURB INLET
- EX SANITARY MANHOLE
- EX LIGHT POLE
- EX WATER VALVE
- EX POWER POLE
- EX SIDEWALK
- EX EDGE OF PAVEMENT
- PR LIGHT POLE
- PR STRUCTURE NUMBER
- PR PARKING COUNT
- PR HEAVY DUTY PAVEMENT
- PR CONCRETE
- PR SIDEWALK

**FLOOD NOTE**

BY GRAPHIC PLOTTING THIS PROPERTY IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39049C0404K, WITH AN EFFECTIVE DATE OF JUNE 17, 2008, IN FRANKLIN COUNTY, OHIO. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



NO.	DATE	BY	DESCRIPTION
1	05/02/2016	[Signature]	[Description]
<b>TECHNICAL SKILL</b> <b>CREATIVE SPIRIT.</b>			
<b>DATE:</b> 05/02/2016 <b>JOB#:</b> N1810001 <b>DRAWN BY:</b> DES <b>CHECKED BY:</b> RJT			
<b>CITY OF GROVE CITY, OHIO</b> <b>RITE RUG RETAIL STORE</b> <b>SITE DEVELOPMENT PLAN</b> LONDON GROVEPORT RD GROVE CITY, OHIO 43123			
<b>SITE PLAN</b>			
<b>C-2</b>			



**LEGEND**

--- COMM ---	EX COMMUNICATIONS LINE	▣	EX CATCH BASIN
--- UE ---	EX UNDERGROUND ELECTRIC	▣	EX CURB INLET
--- G ---	EX GAS LINE	⊙	EX SANITARY MANHOLE
--- SAN ---	EX SANITARY LINE	▣	PR CATCH BASIN
--- ST ---	EX STORM LINE	⊙	PR STORM STRUCTURE #
--- W ---	EX WATER LINE	●	PR MANHOLE
⊙	EX FIRE HYDRANT	⊙	PR LIGHT POLE
⊙	EX WATER VALVE	CO	CLEAN OUT

**ABBREVIATIONS**

EX	EXISTING	STM	STORM
PR	PROPOSED	ESMT	EASEMENT
R/W	RIGHT-OF-WAY	INV	INVERT
TC	TOP OF CASTING	FF	FINISHED FLOOR
SAN	SANITARY		

**NOTES**

- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.
- THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. EXISTING SITE DATA WAS PROVIDED TO MSG BY THE CLIENT. INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICES, OUPS, AT 811 OR 1-800-362-2764 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE MINIMUM CLEARANCES OF 1.0' VERTICAL AND 3.0' HORIZONTAL BETWEEN ALL UNDERGROUND UTILITIES. WATER, SANITARY AND STORM UTILITIES REQUIRE MINIMUM CLEARANCES OF 1.5' VERTICAL AND 10.0' HORIZONTAL. NO FACILITY SHALL BE INSTALLED WITH LESS THAN THESE MINIMUM CLEARANCES WITHOUT THE WRITTEN APPROVAL OF THE OWNERS OF THE OTHER FACILITIES INVOLVED. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL CLEARANCES WITH PROPOSED CONSTRUCTION. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS. THE FLOW OF ALL SEWERS, DRAINS AND WATER COURSES ENCOUNTERED AND DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK SHALL BE RESTORED BY THE CONTRACTOR TO A SATISFACTORY CONDITION. PAYMENT FOR THIS ITEM SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS. THE CITY OF POWELL ENGINEERING OFFICE SHALL BE NOTIFIED IMMEDIATELY FOR ANY DISTURBANCES.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MSG OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS OR FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRIC CIRCUITRY.

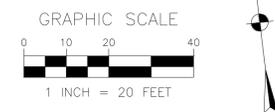
NO.	DATE	BY	DESCRIPTION
1	05/02/2016	JA	

DATE: 05/02/2016  
 JOB#: N1810001  
 DRAWN BY: DES  
 CHECKED BY: RJT

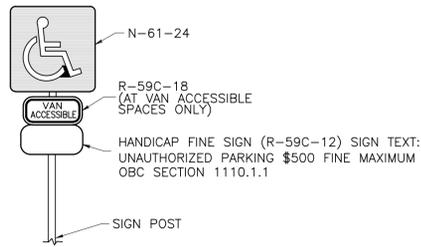
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 TECHNICAL SKILL  
 CREATIVE SPIRIT.  
 www.MannikSmithGroup.com

CITY OF GROVE CITY, OHIO  
**RITE RUG RETAIL STORE  
 SITE DEVELOPMENT PLAN**  
 LONDON GROVEPORT RD  
 GROVE CITY, OHIO 43123

**UTILITY PLAN**

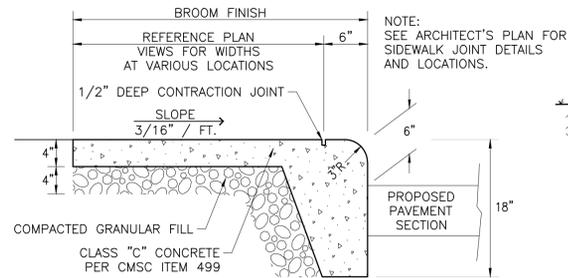






NOTE:  
HANDICAP PARKING SIGN SHALL  
CONFORM WITH CURRENT STATE AND  
LOCAL CODES AND REGULATIONS.

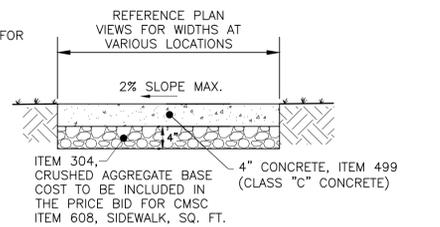
**HANDICAP PARKING AND VAN ACCESSIBLE SIGN**  
NOT TO SCALE



NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH  
CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A  
PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

OPTION: CONTRACTOR MAY POUR CURB AND WALK  
SEPARATELY. SEE DETAIL FOR 18\"/>

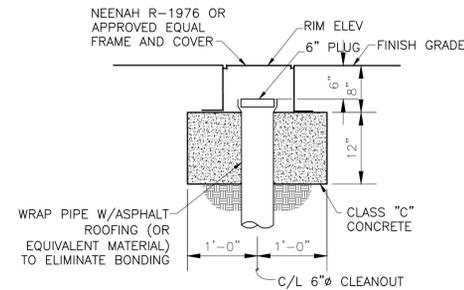
**COMBINED CURB AND WALK**  
NOT TO SCALE



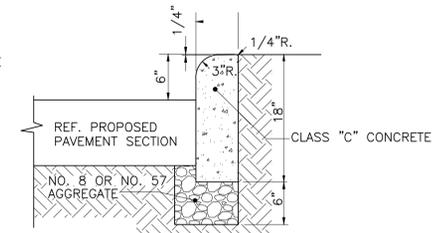
ALL WORK SHALL BE DONE IN ACCORDANCE WITH CMS ITEM 608.

SIDEWALK JOINTS (PRICE SHALL BE INCLUDED W/ITEM 608)  
SHALL BE IN ACCORDANCE WITH CMS ITEM 608.03 UNLESS  
OTHERWISE DETAILED AS A PART OF THE ARCHITECTURAL PLANS.

**TYPICAL SIDEWALK SECTION**  
NOT TO SCALE

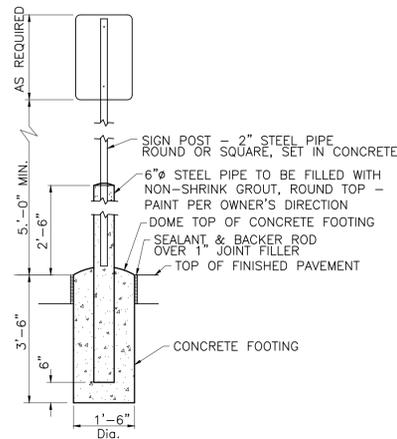


**CLEANOUT DETAIL**  
NOT TO SCALE



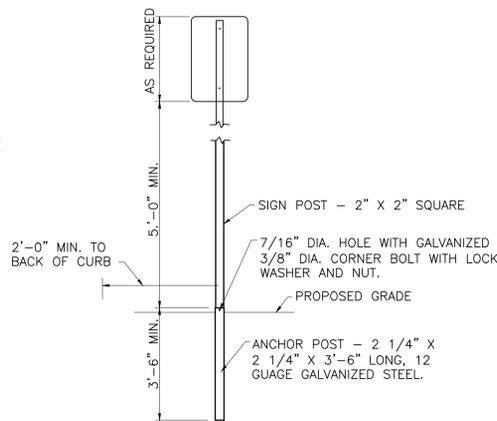
**STRAIGHT 18\"/>**

CONTRACTOR SHALL CONFIRM LIMITS  
SHOWN ON THE SITE PLAN WITH OWNER.

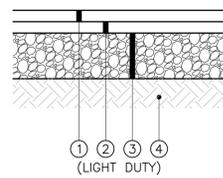


**IN PAVEMENT**

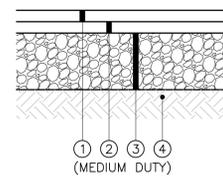
**TYPICAL SIGN POST**  
NOT TO SCALE



**IN GRASS**



- ① ITEM 448, 1.5\"/>

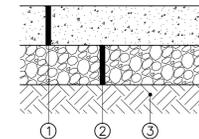


- ① ITEM 448, 1.5\"/>

ALL PAVEMENT MATERIALS SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS TOGETHER WITH THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

PAVEMENT SECTION AS RECOMMENDED BY TERRACON CONSULTANTS, INC WITHIN THE GEOTECHNICAL REPORT DATED DECEMBER 8, 2014.

**PAVEMENT SECTIONS**  
NOT TO SCALE

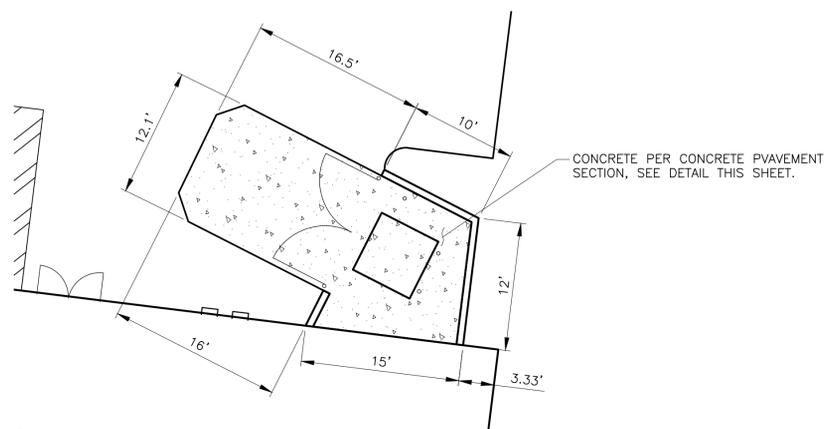


- ① ITEM 452, 8\"/>

NOTE:  
CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

1. 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
2. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
3. CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
4. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
5. CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.

**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



**DUMPSTER DETAIL**  
NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
1	05/02/2016		

DATE: 05/02/2016  
JOB#: N1810001  
DRAWN BY: DES  
CHECKED BY: RJT

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CITY OF GROVE CITY, OHIO  
**RITE RUG RETAIL STORE**  
SITE DEVELOPMENT PLAN  
LONDON GROVEPORT RD  
GROVE CITY, OHIO 43123

MISCELLANEOUS  
DETAILS



## LEGAL DESCRIPTION

Situated in the State of Ohio, County of Franklin, City of Grove City, in Virginia Military Surveys No. 1434 and 6115, being part of Parcels I and II conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument No. 200611290238122, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at a 1" solid pin found in the centerline of London-Groveport Road (State Route #665) said monument shown as P.I. Station 134+78.64 on right of way plans "London-Groveport Road (S.R. 665)" dated October, 2006, sheet 2 of 20;

Thence, along the centerline of said London-Groveport Road, South 82 deg. 58' 38" East, 333.31 feet to a point;

Thence, North 02 deg. 18' 01" East, 50.17 feet to a set MAG nail in the existing northerly right-of-way of London-Groveport Road and the TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

Thence, along the said right-of-way, (City of Grove City, 0.513 acre, Instrument Number 200704110063463), North 82 deg. 58' 38" West, 228.39 feet to a set MAG nail;

Thence, across said Parcel II, North 07 deg. 01' 22" East, 271.17 feet to a set iron pipe;

Thence, continuing across said Parcels II and I, South 83 deg. 27' 37" East, 205.85 feet to a found 1" iron pipe at the southwest corner of the 2.131 acre tract conveyed to The Buckeye Ranch Foundation, Inc. (Instrument Number 200903120035028) and the northwest corner of the residual of the original 5.00 acre tract conveyed the Board of Trustees of Jackson Township (Deed Book 3451, Page 90);

Thence, along the west line of said trustee tract, South 02 deg. 18' 01" West, 273.84 feet to the place of beginning CONTAINING 1.356 ACRES (59,076 square feet), subject however, to all legal highways, easements, leases and restrictions of record. Of the above described 1.356 acre tract, 0.389 acres is part of parcel 040-008049 and 0.967 acres is part of parcel 040-008048.

The forgoing description is based on a field survey made by Myers Surveying Company, Inc. in December 202. Iron pins set are 30" X 1" (O.D.) with an orange plastic cap inscribed "MYERS P.S. 6579". Bearings are based on the centerline of London-Groveport Road held as South 83 deg. 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, as shown on sheet 2 of 20, right of way plans, "London-Groveport Road (S.R. 665)", dated October 2006, prepared by Evans, Mechwart, Hambelton & Tilton, Inc., on file in the City of Grove City's Engineer's Office.

Subject to all legal highways, easements, covenants, restrictions and rights-of-way of record, if any.

# ORDINANCE C-14-13

## AN ORDINANCE FOR THE REZONING OF 27+ ACRES LOCATED NORTH OF LONDON-GROVEPORT RD AND WEST OF HOOVER FROM SD-1 & CF TO PUD-R & PUD-C

WHEREAS, a petition was filed with the Planning Commission of the City of Grove City praying for the recommendation of said Commission in regard to the rezoning of certain premises hereinafter described; and

WHEREAS, the Planning Commission approved the rezoning on February 5, 2013; and

WHEREAS, a copy of the ordinance, together with a map and plat and the report of the Planning Commission has been on file in the Clerk's office for thirty days for public inspection.

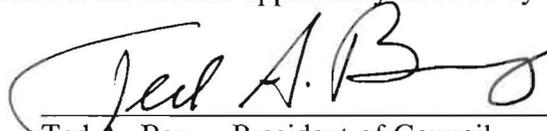
NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. The following described premises are rezoned from SD-1 & CF to PUD-R & PUD-C with zoning text:

Situated in the State of Ohio, County of Franklin, City of Grove City and being a part of Virginia Military Survey 1434 and being 27+ acres conveyed to *The Buckeye Ranch Foundation, Inc.*, as recorded in *Official Records, Recorder's Office, Franklin County, Ohio*, and being more fully described in Exhibit "A, B, C & D" attached hereto and made a part hereof.

SECTION 2. The comprehensive zoning map is hereby amended to conform to the provisions of this ordinance.

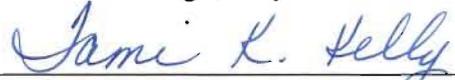
SECTION 3. This Ordinance shall take effect at the earliest opportunity allowed by law.

  
\_\_\_\_\_  
Ted A. Berry, President of Council

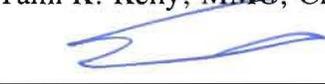
Passed: 04-01-13  
Effective: 05-01-13

\_\_\_\_\_  
Richard L. Stage, Mayor

Attest:

  
\_\_\_\_\_  
Tami K. Kelly, MMC, Clerk of Council

I Certify that this ordinance is correct as to form.

  
\_\_\_\_\_  
Stephen J. Smith, Director of Law

2740 East Main Street  
Bexley, Ohio 43209-2577  
(614) 235-8677  
Telefax 235-4559  
Email: info@myerssurveying.com

December 17, 2012

*Exhibit A*  
*C-14-13*

22.400 ACRES - PARCEL A

Situated in the State of Ohio, County of Franklin, Township of Jackson, in Virginia Military Surveys No. 1434, being part of Parcel I, II and III conveyed to The Buckeye Ranch Foundation, Inc., part of the 10.000 acre tract (now Lot 4 of Buckeyegrove Shopping Center Plat, Plat Book 90, Page 36) conveyed to The Buckeye Ranch Foundation, Inc., and part of the 2.131 acre tract conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument Numbers 200611290238122, 199811230301548 and 200903120035028, respectively, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Beginning at the northeast corner of said 10.000 acre tract, northeast corner of said Lot 4 and northwest corner of Lot 3 of said subdivision, and in the south line of the 29.696 acre tract conveyed to The Buckeye Ranch Foundation, Inc. (Instrument Number 199809090228741);

Thence, along part of the east line of said Lot 4 (part of the west line of said Lot 3), South 02° 43' 07" West, 158.25 feet to a point;

Thence, across said Lot 3 the following five (5) courses:

- 1). North 87° 11' 00" West, 175.00 feet to a point;
- 2). North 65° 00' 00" West, 83.26 feet to a point;
- 3). South 53° 25' 50" West, 215.12 feet to a point;
- 4). South 33° 43' 31" West, 508.82 feet to a point;
- 5). South 06° 05' 20" West, 97.25 feet to a point in the south line of Lot 4, and in the north line of said 2.131 acre tract;

Thence, across said 2.131 acre tract, South 26° 12' 26" East, 244.47 feet to a point in the east line of said 2.131 acre tract, and in a west line of said Lot 3;

continued....

Page 2 – 22.400 Acres

Thence, along part of the east line of said 2.131 acre tract (west line of said Lot 3) South 02° 18' 24" West, 24.92 feet to the southeast corner of said 2.131 acre tract;

Thence, along the north line of said 2.131 acre tract, South 78° 18' 29" West, 340.06 feet to the southwest corner of said 2.131 acre tract;

Thence, across said Parcels I, II and III, North 83° 27' 37" West, 460.84 feet to a point in the west line of said Parcel III at the northeast corner of the 3.905 acre tract conveyed to The Villages of the Groves LLC (Instrument Number 200711290205804), and the southwest corner of the 22.250 acre tract conveyed to The Groves Apartments (Instrument Number 200112130291224);

Thence, along part of the west line of said Parcel III and the east line of said 22.250 acre tract, North 00° 52' 22" East, 1,000.39 feet to a point at the northeast corner of said 22.250 acre tract, and the southeast corner of Lot 3 of Gateway Business Park (Plat Book 86, Page 4);

Thence, continuing along the west line of said Parcel III and part of the east line of said Lot 3, North 01° 18' 22" East, 88.77 feet to the northwest corner of said Parcel III and the southwest corner of said 29.696 acre tract;

Thence, along the north line of said Parcels III, II and I, north line of said Lot 4 and part of the south line of said 29.696 acre tract, South 87° 16' 53" East, 1,391.53 feet to the place of beginning **CONTAINING 22.400 ACRES** (975,736 square feet). **THE FOREGOING DESCRIPTION WAS PREPARED FOR ZONING PURPOSES ONLY.**

Bearings are based on the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, as shown of sheet 2 of 20, right-of-way plans, "London-Groveport Road (S.R. 665)", dated October 2006.

Myers Surveying Company, Inc.

*Matthew D. Farley*  
Matthew D. Farley, P.S. #7566  
mo#1-11/09/12 Parcel A

12/17/12



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*Exhibit B*

December 17, 2012

## 1.794 ACRES - PARCEL B

Situated in the State of Ohio, County of Franklin, Township of Jackson, in Virginia Military Surveys No. 1434, being part of the 10.000 acre tract (now Lot 4 of Buckeyegrove Shopping Center Plat, Plat Book 90, Page 36) conveyed to The Buckeye Ranch Foundation, Inc., and part of the 2.131 acre tract conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument Numbers 199811230301548 and 200903120035028, respectively, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at the northeast corner of said 10.000 acre tract, northeast corner of said Lot 4 and northwest corner of Lot 3 of said subdivision, and in the south line of the 29.696 acre tract conveyed to The Buckeye Ranch Foundation, Inc. (Instrument Number 199809090228741);

Thence, along part of the east line of said Lot 4 (part of the west line of said Lot 3), South 02° 43' 07" West, 158.25 feet to **THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED:**

Thence, continuing along said line, South 02° 43' 07" West, 16.00 feet to a point at a southeast corner of said Lot 4;

Thence, along a south line of said Lot 4 (north line of said Lot 3), North 87° 11' 00" West, 165.75 feet to a point ;

Thence, along the southeasterly line of said Lot 4 (northwesterly line of said Lot 3) the following three (3) courses:

- 1). South 33° 44' 23" West, 163.43 feet to a point;
- 2). South 78° 44' 23" West, 169.91 feet to a point;
- 3). South 33° 44' 23" West, 368.53 feet to a point;

Thence, along an east line of said Lot 4 (west line of said Lot 3), South 02° 48' 12" West, 125.08 feet to the southeast corner of said Lot 3 (a southwest corner of said Lot 4), and in the north line of said 2.131 acre tract;

Page 2 - 1.794 Acres

Thence, along a south line of said Lot 3 and part of the north line of said 2.131 acre tract, South 87° 09' 28" East, 35.30 feet to the northeast corner of said 2.131 acre tract;

Thence, along part of the east line of said 2.131 acre tract (west line of said Lot 3) - South 02° 18' 24" West, 213.73 feet to a point;

Thence, across said 2.131 acre tract, North 26° 12' 26" West, 244.47 feet to a point in the north line of said 2.131 acre tract and the south line of said Lot 4;

Thence, across said Lot 4 the following five (5) courses:

- 1) North 06° 05' 20" East, 97.25 feet to a point;
- 2) North 33° 43' 31" East, 508.82 feet to a point;
- 3) North 53° 25' 50" East, 215.12 feet to a point;
- 4) South 65° 00' 00" East, 83.26 feet to a point;

5) South 87° 11' 00" East, 175.00 feet to the place of beginning **CONTAINING 1.794 ACRES** (78,132 square feet). **THE FOREGOING DESCRIPTION WAS PREPARED FOR ZONING PURPOSES ONLY.**

Bearings are based on the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, as shown on sheet 2 of 20, right-of-way plans, "London-Groveport Road (S.R. 665)", dated October 2006.

Myers Surveying Company, Inc.

*Matthew D. Farley*  
Matthew D. Farley, P.S. #7566  
mo#1-11/09/12 Parcel B

12/17/12



# Myers Surveying

COMPANY

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*Exhibit C*

December 17, 2012

## 1.493 ACRES - PARCEL C

Situated in the State of Ohio, County of Franklin, Township of Jackson, in Virginia Military Surveys No. 1434 and 6115, being part of Parcels II and III conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument Number 200611290238122, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at a Monument found in the centerline of London-Groveport Road. (State Route #665) said monument shown as P.I. Station 134+78.64 on right-of-way plans "London-Groveport Road (S.R. 665)" dated October, 2006, sheet 2 of 20;

Thence, along the centerline of said London-Groveport Road, North 83° 31' 37" West, 119.51 feet to a point;

Thence, North 00° 45' 45" E, 50.25 feet to the southeast corner of the 3.905 acre tract conveyed to The Villages of the Groves, LLC (Instrument Number 2207112902058804) and the **TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;**

Thence, continuing along the west line of said Parcel III and east line of said 3.905 acre tract, North 00° 50' 58" East, 208.61 feet to a point;

Thence, continuing along said line, North 00° 52' 22" East, 63.18 feet to the northeast corner of said 3.905 acre tract, and the southeast corner of the 22.250 acre tract conveyed to The Groves Apartments (Instrument Number 200112130291224);

Thence, across said Parcels III and II, South 83° 27' 37" East, 254.98 feet to a point;

Thence, continuing across said Parcel II, South 07° 01' 22" West, 271.17 feet to a point in the northerly right-of-way of said London-Groveport Road;

Thence, along said right-of-way, North 82° 58' 38" West, 101.02 feet to a point;

Thence, continuing along said line, North 83° 31' 37" West, 124.75 feet to the place of beginning CONTAINING 1.493 ACRES (65,034 square feet). **THE FOREGOING DESCRIPTION WAS PREPARED FOR ZONING PURPOSES ONLY.**

Bearings are based in the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, shown of sheet 2 of 20, right-of-way plans, "London-Groveport Road (S.R. 665), dated October 2006.

Myers Surveying Company, Inc.

*Matthew D. Farley*  
Matthew D. Farley, P.S. #7566  
mo#1-11/09/12 Parcel C

*12/17/12*



# Myers Surveying

COMPANY

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December 17, 2012

*Exhibit D*

## 1.356 ACRES - PARCEL D

Situated in the State of Ohio, County of Franklin, Township of Jackson, in Virginia Military Surveys No. 1434 and 6115, being part of Parcels I and II conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument Number 200611290238122, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at a Monument found in the centerline of London-Groveport Road (State Route #665) said monument shown as P.I. Station 134+78.64 on right-of-way plans "London-Groveport Road (S.R. 665)" dated October, 2006, sheet 2 of 20;

Thence, along the centerline of said London-Groveport Road, South 82° 58' 38" East, 333.31 feet to a point;

Thence, North 02° 18' 01" East, 50.17 feet to the **TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;**

Thence, along said right-of-way, North 82° 58' 38" West, 228.39 feet to a point;

Thence, across said Parcel II, North 07° 01' 22" East, 271.17 feet to a point;

Thence, continuing across said Parcels II and I, South 83° 27' 37" East, 205.85 feet to a point at the southwest corner of the 2.131 acre tract conveyed to The Buckeye Ranch Foundation, Inc. (Instrument Number 200903120035028) and the northwest corner of the Board of Trustees of Jackson Township tract;

Thence, along the west line of said trustees tract, South 02° 18' 01" West, 273.84 feet to the place of beginning **CONTAINING 1.356 ACRES** (59,076 square feet).

**THE FOREGOING DESCRIPTION WAS PREPARED FOR ZONING PURPOSES ONLY.**

Bearings are based in the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, shown of sheet 2 of 20, right-of-way plans, "London-Groveport Road (S.R. 665), dated October 2006.

Myers Surveying Company, Inc.

*Matthew D. Farley*  
Matthew D. Farley, P.S. #7566  
mo#1-11/09/12 Parcel D

*12/17/12*



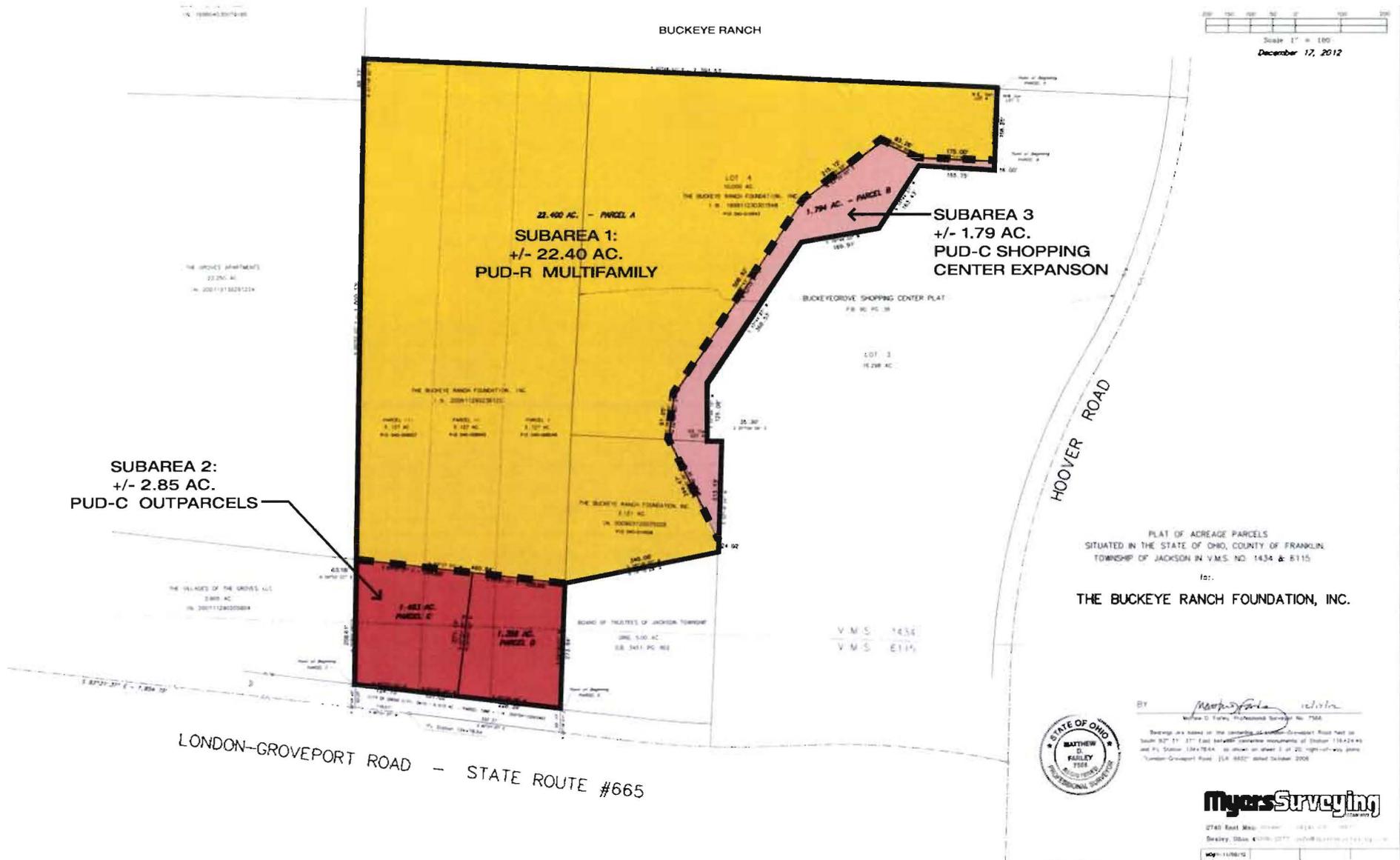


EXHIBIT B: SUBAREA MAP

C-14-13

## GENERAL DEVELOPMENT STANDARDS

	<b>Proposed Sub-Area</b>	<b>Sub-Area 1 (PUD-R) Multifamily</b>	<b>Sub-Area 2 (PUD-C) Outparcels</b>	<b>Sub-Area 3 (PUD-C) Shopping Center Expansion</b>
<b>I.</b>	<b>Area</b>	±22.40 ac.	±2.85 ac.	±1.79 ac.
<b>II.</b>	<b>Permitted Uses</b>	Uses Permitted under (A-1) Multifamily in Chapter 1135.10; support facilities and accessory uses, such as clubhouse, pool, and car-cleaning facility.	Uses Permitted C-1 and C-2, and under (PSO) Professional Services, (OLR) Office Lab & Research in Chapter 1135.09	Shopping center parking, loading and service areas, screening
<b>III.</b>	<b>Density</b>	10.3 d.u./Acre (Max)	8,000s.f./Acre (Max)	Per Grove City requirements for each use
<b>VI.</b>	<b>(Max) Building Height</b>	35' Height (measured from grade to the middle point of the roof massing between the eave and the peak)	35' Height (measured from grade to the middle point of the roof massing between the eave and the peak)	Per Grove City requirements for each use
<b>V.</b>	<b>Off-Street Parking Requirements</b>	2.0 spaces per dwelling unit: may include garages, driveway stack spaces, and surface parking. 0.5 spaces per dwelling unit for visitor parking: may include driveway stack spaces and surface parking.	Per Grove City Requirements For Each Use Section 1135.12	Per Grove City Requirements For Each Use Section 1135.12
<b>VI.</b>	<b>Proposed Street Type</b>	Private; shared access. All private drives and driveways will have curbs and curb cuts that will be constructed to Grove City standards	Private; shared access. All private drives and driveways will have curbs and curb cuts that will be constructed to Grove City standards. Sidewalks shall be provided on both sides of private streets, setback 5 ft. minimum from the street, and constructed to Grove City standards.	Private; shared access All private drives and driveways will have curbs and curb cuts that will be constructed to Grove City standards
	<b>R.O.W. Width</b>	Private Streets: N/A	100': London Groveport Rd. Private Streets: N/A	Private Streets: N/A
	<b>Pavement Width</b>	Private streets and drive aisles: 24' min. Will Conform to Grove City Standards Regarding (2) Way Streets	Shared access drive: 36' Or as otherwise approved by the City Engineer. Will Conform to Grove City Standards Regarding (2) Way Streets	Private streets and drive aisles: 24' min Will Conform to Grove City Standards Regarding (2) Way Streets
<b>VII.</b>	<b>Setbacks</b>			
	<b>Public Road</b>	N/A	20' Parking Setback (From Public R.O.W.) 30' building setback (From Public R.O.W.)	N/A
	<b>Private Street</b>	5' min. 20' where parking is intended in unit driveways	15' Parking Setback (From Edge of Pavement) 20' Building Setback (From Edge of Pavement)	N/A
	<b>Side</b>	20' min. between buildings	10' Building & Parking Setback	N/A
	<b>Rear</b>	30' min. between buildings	30' Building and Parking Setback (adjoining Subarea A)	N/A
	<b>Perimeter</b>	25' Building and Parking Setback	N/A	20' Parking Setback

Revised:  
01/22/13

C-14-13 amended

# MULTIFAMILY DEVELOPMENT STANDARDS TABLE

## SUB AREA 1

CONFIGURATION	SIGNAGE	SITE LAYOUT & LANDSCAPE	MULTIFAMILY BUILDING STANDARDS	BUILDING AND SITE LIGHTING
	<p>Subarea 1 shall be permitted a maximum of two (2) monument signs. Each sign shall be permitted up to 50 sq. ft. per face and may be 2-sided. One sign may be located in relation to the private street access from London-Groveport Road. One sign may be located in relation to an access drive connecting from Hoover Road through the Buckeye Grove Shopping Center site. Signage shall not be permitted on parcels not included in this application.</p> <p>Monument signage related to London-Groveport Road shall be permitted to be located within <u>a landscaped median in the private street easement, or as otherwise approved by city staff.</u></p> <p><del>Subarea 2 on Parcel C and shall be a combined and shared monument sign with the outparcel. Cross access/ maintenance easements shall be indicated on the Final Development Plan.</del></p> <p>All such signs shall otherwise be located in accordance with the restrictions of the Grove City, Ohio Code of Ordinances.</p> <p>Monument signs shall be a maximum height of 8 ft. and shall be setback from any public right-of-way a minimum of 10 ft.</p>	<p>The layout portrayed on the Preliminary Development Plan is conceptual in nature and subject to change with final engineering at Final Development Plan.</p> <p>Landscaping shall meet Requirements under Section 1136 of Grove City Zoning Code.</p> <p>Perimeter Buffers Are Detailed Herein.</p> <p>Setbacks Are Defined Herein.</p> <p>All utility lines internal to the development shall be placed underground, including water service, electricity, telephone, gas, and their connections or feeder lines. Provided, however, that the existing overhead transmission lines shall remain above ground. Meters, transformers, etc. may be placed above ground, but shall be screened from view. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened.</p> <p>The north property line shall include 3' tall screening in the form of an evergreen hedge and / or mounding, as shown on the plan.</p> <p>90 degree parking spaces shall be 9'x18'. Parallel parking spaces shall be 8'x 22'. Driveways serving individual dwelling units and intended to provide parking space shall be a minimum of 20' from face of garage to edge of drive aisle/ private street.</p> <p>All freestanding signs shall be set in landscape areas. The landscape areas shall be a minimum of two feet larger than the foundation of the freestanding signs on all sides and shall be landscaped on all sides with permanent shrubs, groundcover, or other ornamental plantings, <u>or as otherwise approved by city staff.</u></p> <p><u>Subarea 1 owner agrees to provide an easement for a future bike path to be built and maintained by the City. The easement location shall be mutually agreed-upon by the Subarea owner and the City.</u></p>	<p>Residential units minimum square footage: 1-bedroom: 700 sq.ft. 2-bedroom: 1,000 sq.ft. 3-bedroom: 1,300 sq.ft.</p> <p>Maximum of 232 dwelling units.</p> <p>No unit entrances shall be below ground.</p> <p>Buildings shall be permitted a maximum of 12 dwelling units per building.</p> <p>Individual units may be used as models for the purpose of marketing, leasing, or sales. A manufactured modular building, and/or the clubhouse, may be used as a site office during the development of the project.</p>	<p>Exterior light fixtures shall have an appropriate scale and appearance when visible.</p> <p>Pedestrian pathways shall have sufficient lighting for safety and comfort.</p> <p>Lighting intensity shall conform to the Grove City, Ohio Code of Ordinance.</p> <p>Parking and pedestrian path lighting shall be directed downward. Landscape and building up-lighting from a concealed source shall be permitted.</p> <p>All outdoor pole fixtures shall not exceed a maximum height of fourteen (14) feet measured from the finished grade.</p> <p>No offsite illumination is permitted. The use of Cut Off Type Fixtures is required to reduce Light Pollution.</p>

## MULTIFAMILY DEVELOPMENT STANDARDS TABLE

### SUB-AREA 1 (CONT'D)

<b>MATERIALS</b>	<b>SIGNAGE</b>	<b>LANDSCAPE</b>	<b>MULTIFAMILY BUILDING STANDARDS</b>	<b>BUILDING AND SITE LIGHTING</b>
	<p>Monument signs must have a base equal to signage width; have no openings, supporting posts, poles, pillars, uprights or braces.</p> <p>Monument signs must be incorporated into a masonry base with materials matching the main building.</p> <p>Individual signs shall consist of an internally illuminated cabinet incorporated into the design of the sign base or by a white, steady, stationary light of reasonable intensity, directed solely at the sign and/ or otherwise prevented from beaming directly onto adjacent properties or R.O.W.'s.</p> <p>Sign will be in architectural harmony with buildings on site.</p> <p>No open tube neon signage shall be permitted.</p>	<p>Trees and Plants shall be of Species and Varieties Normally Used in this Region and Suitable for USDA Zones 4-5.</p> <p>See Section 1136.15 for Prohibited Trees.</p> <p>The practice of monoculture shall be avoided. The design for each site shall incorporate a minimum of (3) separate species of tree.</p>	<p>The scale of each building may be aided through the use of articulated building elements, such as porticos, dormers, recesses, awnings and other such elements, which help break up the building mass.</p>	<p>Painted steel, aluminum, and copper are acceptable materials for exterior building lighting. The use of wall pack lighting is not allowed.</p> <p>Fixtures with exposed bulbs are not allowed.</p>
<p><b>TECHNIQUE AND COLORS</b></p>	<p>Not more than five (5) colors may be used. Black and White shall not be considered colors.</p> <p>There shall be no more than two (2) types and more than three (3) sizes of lettering used for any sign including characters or trademarks used for identification.</p> <p>Signs with flashing lights, moving parts or video displays shall be prohibited.</p> <p>Signs shall not advertise the sale of goods/ services</p>	<p>All such landscaping shall be maintained and kept in accordance with the landscape plan as submitted and such maintenance and upkeep shall be the responsibility of the owner of such yard, space or area. All vacant lots shall be kept seeded or maintained in such manner as to prevent erosion of the property and excess drainage into adjoining lands.</p>		<p>Lighting should display a uniform, comfortable, and warm appearance in keeping with the architecture of the building.</p> <p>Lighting intensity requirements shall conform to Grove City, Ohio Code of Ordinances.</p> <p>Colored lights shall not be used to light the exterior of buildings.</p>

C-14-13 amended

## COMMERCIAL OUTPARCEL DEVELOPMENT STANDARDS TABLE

### SUB AREA 2

CONFIGURATION	SIGNAGE	SITE LAYOUT & LANDSCAPE	BUILDING AND SITE LIGHTING
	<p>One monument sign is allowed per commercial parcel with a maximum surface area of 50s.f. per sign face and may be 2-sided. All such signs shall be located in accordance with the restrictions of the Grove City, Ohio Code of Ordinances.</p> <p style="color: red;"><del>Parcel C shall be required to share a monument sign with Subarea 1, and provide cross access / maintenance agreements. Parcel C and Subarea A each shall be permitted a maximum of 50 sq-ft. per sign face.</del></p> <p>Monument signs shall be a maximum height of 8 ft. and shall be setback from any public right-of-way a minimum of 10 ft.</p> <p>Signs may be attached to a building wall or architecturally integrated extension which faces a street, parking lot or service drive, or may be attached to a canopy which projects beyond the building, provided that no part of the sign may extend above the roof or canopy. Signage may be located on a wall that is an extension of a building. No part of any wall sign shall be located closer than 18" to either end of building face, including wall extension.</p> <p>Each Building shall be permitted (1) S.F. of Building Mounted Signage per L.F. of frontage not to exceed (200) S.F.; Street frontage being defined as the total width of that side of the building which faces the street, <u>excluding any extension of a building wall beyond the building itself.</u> In the case of a corner lot or other situation where the building site abuts more than one public street, (not including alleys), the applicant shall specify which is the primary frontage, and signs may be permitted on the basis of the area authorized above for each lineal foot of primary street frontage and one-half thereof for each lineal foot of other street frontage. The total sign area on any one side of a building shall not exceed the allowable area for such side computed in accordance with the foregoing rules. In the case of a building which does not front on a public street, as in shopping centers, the drives and parking areas adjacent to such building shall be considered as public streets for the purpose of this ordinance, provided that where any such drive or parking area abuts an R-District, the frontage of the building on such drive or parking area shall not be considered as frontage for such purpose if the distance from such building to the nearest private property in said R-District is less than one hundred and fifty (150) feet.</p> <p>Wall signage shall be allowed on the secondary frontage of buildings.</p> <p>Window signs shall be permitted in addition to any permitted wall or ground sign.</p> <p>Window signs shall be limited to the ground floor or 1<sup>st</sup> floor windows only. No open tube neon signs of any variety are allowed in window.</p> <p>Total area of all such window signs is not to exceed 25% of the total window area of the establishment.</p>	<p>The layout portrayed on the sub-area plan and the preliminary development plan is speculative in nature and subject to change based upon market conditions. Final site layout and building architecture will be provided at Final Development Plan</p> <p>Landscaping shall meet Requirements under Section 1136 of Grove City Zoning Code.</p> <p>Perimeter Buffers shall meet the requirements of Section 1136 of Grove City Zoning Code.</p> <p>Setbacks Are Defined Herein.</p> <p>All utility lines internal to the development shall be placed underground, including water service, electricity, telephone, gas, and their connections or feeder lines. Provided, however, that the existing overhead transmission lines shall remain above ground. Meters, transformers, etc. may be placed above ground, but shall be screened from view. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened.</p> <p>All freestanding signs shall be set in landscape areas. The landscape areas shall be a minimum of two feet larger than the foundation of the freestanding signs on all sides and shall be landscaped on all sides with permanent shrubs, groundcover, or other ornamental plantings.</p>	<p>Site lighting shall match the character of lighting used at Buckeye Grove Shopping Center.</p> <p>Exterior light fixtures shall have an appropriate scale and appearance when visible.</p> <p>Pedestrian pathways shall have sufficient lighting for safety and comfort.</p> <p>Lighting intensity shall conform to the Grove City, Ohio Code of Ordinance.</p> <p>All lighting shall be directed downward rather than upward.</p> <p>All outdoor pole fixtures shall not exceed a maximum height of twenty-four (24) feet measured from the finished grade established not closer than fifteen (15) feet to the pole.</p> <p>No offsite illumination is permitted. The use of Cut Off Type Fixtures is required to reduce Light Pollution.</p>

**COMMERCIAL OUTPARCEL DEVELOPMENT STANDARDS TABLE  
SUB-AREA 2 (CONT'D)**

<b>MATERIALS</b>	<b>SIGNAGE</b>	<b>LANDSCAPE</b>	<b>BUILDING AND SITE LIGHTING</b>
	<p>Monument signs must have a base equal to signage width; have no openings, supporting posts, poles, pillars, uprights or braces.</p> <p>Monument signs must be incorporated into a masonry base with materials matching the main building.</p> <p>Individual signs shall consist of an internally illuminated cabinet incorporated into the design of the sign base or by a white, steady, stationary light of reasonable intensity, directed solely at the sign and/ or otherwise prevented from beaming directly onto adjacent properties or R.O.W.'s.</p> <p>Sign shall be in architectural harmony with buildings on site.</p> <p>No open tube neon signage shall be permitted.</p>	<p>Trees and plants shall be of species and varieties normally used in this region and suitable for USDA Zones 4-5.</p> <p>See Grove City Zoning Code Section 1136.15 for Prohibited Trees.</p> <p>The practice of monoculture shall be avoided. The design for each site shall incorporate a minimum of (3) separate species of tree.</p>	<p>Painted steel, aluminum, and copper are acceptable materials for exterior building lighting. The use of wall pack lighting is not allowed.</p> <p>Fixtures with exposed bulbs are not allowed.</p>
<b>TECHNIQUE AND COLORS</b>	<p>Not more than five (5) colors may be used. Black and White shall not be considered colors.</p> <p>There shall be no more than two (2) types and more than three (3) sizes of lettering used for any sign including characters or trademarks used for identification.</p> <p>Signs with flashing lights, moving parts or video displays shall be prohibited.</p> <p>Signs shall not advertise the sale of goods/ services</p>	<p>All such landscaping shall be maintained and kept in accordance with the landscape plan as approved with Final Development Plan and such maintenance and upkeep shall be the responsibility of the owner of such yard, space or area. All vacant lots shall be kept seeded or maintained in such manner as to prevent erosion of the property and excess drainage into adjoining lands.</p>	<p>Lighting should display a uniform, comfortable, and warm appearance in keeping with the architecture of the building.</p> <p>Lighting intensity requirements shall conform to Grove City, Ohio Code of Ordinances.</p>

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**SHOPPING CENTER EXPANSION DEVELOPMENT STANDARDS**  
**TABLE**  
**SUB AREA 3**

	SIGNAGE	SITE LAYOUT & LANDSCAPE	BUILDING AND SITE LIGHTING
<b>CONFIGURATION</b>	<p>Signage shall not be permitted in this subarea except for regulatory or directional signage related to the service and parking uses.</p>	<p>The layout portrayed on the sub-area plan and the Preliminary Development Plan is conceptual in nature and subject to change with Final Development Plan.</p> <p>Landscaping shall meet Requirements under Section 1136 of Grove City Zoning Code.</p> <p>Perimeter Buffers shall meet Requirements under Section 1136 of Grove City Zoning Code. Truck loading / parking area screening shall be permitted to span the boundary between subareas A and C.</p> <p>Perimeter buffers shall be installed by the shopping center owner / developer prior to the construction of any shopping center building expansion.</p> <p>Setbacks Are Defined Herein.</p> <p>All utility lines internal to the development shall be placed underground, including water service, electricity, telephone, gas, and their connections or feeder lines. Provided, however, that the existing overhead transmission lines shall remain above ground. Meters, transformers, etc. may be placed above ground, but shall be screened from view. Where feasible, all above ground utility boxes shall be placed at the rear lot lines or sufficiently screened.</p>	<p>Site lighting shall match the character of lighting used at Buckeye Grove Shopping Center.</p> <p>Exterior light fixtures shall have an appropriate scale and appearance when visible.</p> <p>Pedestrian pathways shall have sufficient lighting for safety and comfort.</p> <p>Lighting intensity shall conform to the Grove City, Ohio Code of Ordinance.</p> <p>All lighting is directed downward rather than upward.</p> <p>All outdoor pole fixtures shall not exceed a maximum height of thirty-five (35) feet measured from the finished grade established not closer than fifteen (15) feet to the pole.</p> <p>The use of Wall pack lighting is prohibited.</p> <p>No offsite illumination is permitted. The use of Cut Off Type Fixtures is required to reduce Light Pollution.</p> <p>Accent lighting is permitted on building facades and/or landscape features and signage provided light is directed toward the items being accented and does not spill out or cause undo glare onto adjacent properties and streets.</p>

## SHOPPING CENTER EXPANSION DEVELOPMENT STANDARDS TABLE SUB-AREA 3 (CONT'D)

	SIGNAGE	LANDSCAPE	BUILDING AND SITE LIGHTING
<b>MATERIALS</b>	All signage shall be per city code requirements or as otherwise approved by the City.	<p>Trees and Plants shall be of Species and Varieties Normally Used in this Region and Suitable for USDA Zones 4-5.</p> <p>See Grove City Zoning Code Section 1136.15 for Prohibited Trees.</p> <p>The Practice of Monoculture shall be avoided. The Design for each Site shall Incorporate a minimum of (3) separate species of tree.</p>	<p>Painted steel, aluminum, and copper are acceptable materials for exterior building lighting. The use of wall pack lighting is not allowed.</p> <p>Fixtures with exposed bulbs are not allowed.</p> <p>Fixture, poles, and bases shall match those of the existing shopping center, unless otherwise approved by city planning staff.</p>
<b>TECHNIQUE AND COLORS</b>	All signage shall be per city code requirements or as otherwise approved by the City.	All such landscaping shall be maintained and kept in accordance with the landscape plan as submitted at Final Development Plan and such maintenance and upkeep shall be the responsibility of the owner of such yard, space or area. All vacant lots shall be kept seeded or maintained in such manner as to prevent erosion of the property and excess drainage into adjoining lands.	<p>Lighting should display a uniform, comfortable, and warm appearance in keeping with the architecture of the building.</p> <p>Lighting intensity requirements shall conform to Grove City, Ohio Code of Ordinances.</p>

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ENGINEERINGGROUP, LTD.  
625 EAST NORTH BROADWAY  
COLUMBUS, OHIO 43214  
614-225-1580  
EMENGINEERINGGROUP.COM  
PROJECT NUMBER: 160152  
DESIGN BY: JSE

# RITERUG

LONDON GROVEPORT ROAD, GROVE CITY, OH 43123

DRAWING SET

05/02/2016	preliminary
	check
	bid
	permit
	construction

REVISIONS

△	
△	
△	

SEAL

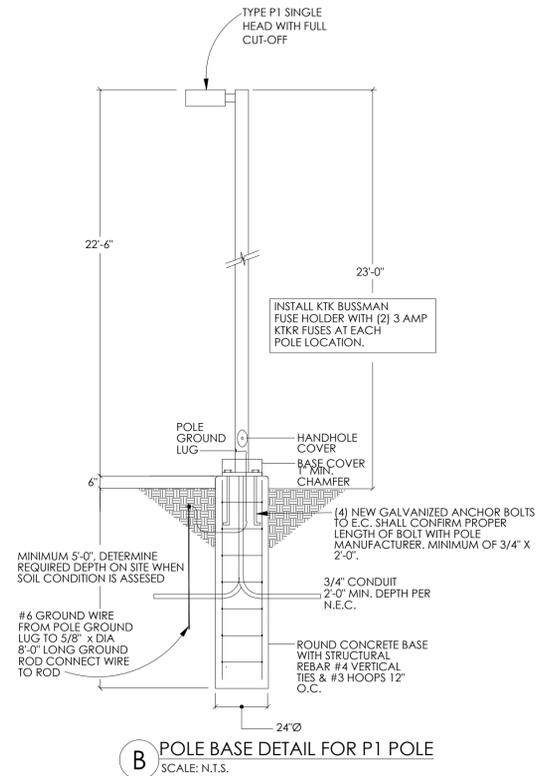
**NOT FOR CONSTRUCTION**

PROJECT NUMBER: A15-016

SHEET TITLE: SITE PHOTOMETRIC LIGHTING PLAN

SHEET NUMBER

**SL-1.0**



S							
D							
10	+	0.1	0.0	0.0	N/A	N/A	0.0
P	+	2.2	6.0	0.0	22.0	0.0	0.0

S	L	Q	M	C	D	L	N	F	L	L	W
P1			KIM LIGHTING	CC211E120LK	CURVILINEAR LED SPUN ALUMINUM HOUSING AND DIE CAST ALUMINUM LENS FRAME. FLAT GLASS LENS, LED EMITTER DECK INCLUDES SPUN ALUMINUM DECK, LED MODULES, HEATSINKS, AND PRISMS.	120 21 B DIODES. 200K	1	21120	0.01	1	126
W1		2	ALXW LED 10A01K SR	ALXW LED 10A01K SR	LED WALLPACK WITH TYPE DISTRIBUTION	ONE 11 WATT LED, AIMED DOWN POS.	1	ALXW LED 10A01K SR	6.22	1	11.1