

STATE OF OHIO, COUNTY OF FRANKLIN,
TOWNSHIP OF JACKSON

Part of Virginia Military Survey 6115
Part of Lot 6 of Huffman Lands (Plat Book 1, Page 260)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS N 04°16'56" E FOR THE WEST PROPERTY LINE AS SHOWN ON THE PLAT FOR GRANT RUN ESTATES SEC.4 PT.2.

PERTINENT DOCUMENTS

-Tax maps and deeds of record
-Grant Run Estates Subd. Plats
-SURVEYS
Myers Surveying 12/2012
Hanvey 4/1975
Haines 9/2010

- ① Mildred A Christian, Tr.
Instr.20101100151228
- ② David & Kayla Spellman
Instr.200209200235280
- ③ J. Joseph Parsley
Ann Marie Garland
Instr.201410070132556
- ④ Michael H & Nancy L Gosztyla
Instr.200306270196007

PARENT:
23.026 ACRES
1003013 SQ. FT.
0.175 acres
7642 sq.ft.
in right-of-way

NEW PARCEL:
4.539 ACRES
197705 SQ. FT.
0.067 acres
2920 sq.ft.
in right-of-way

REMAINDER:
18.487 ACRES
805290 SQ. FT.
0.108 acres
4720 sq.ft.
in right-of-way

L1	N 14°56'55" W S 14°56'55" E 80.00'
L2	N 75°03'05" E S 75°03'05" W 35.00'
L3	N 04°15'51" E S 04°15'51" W 130.28'



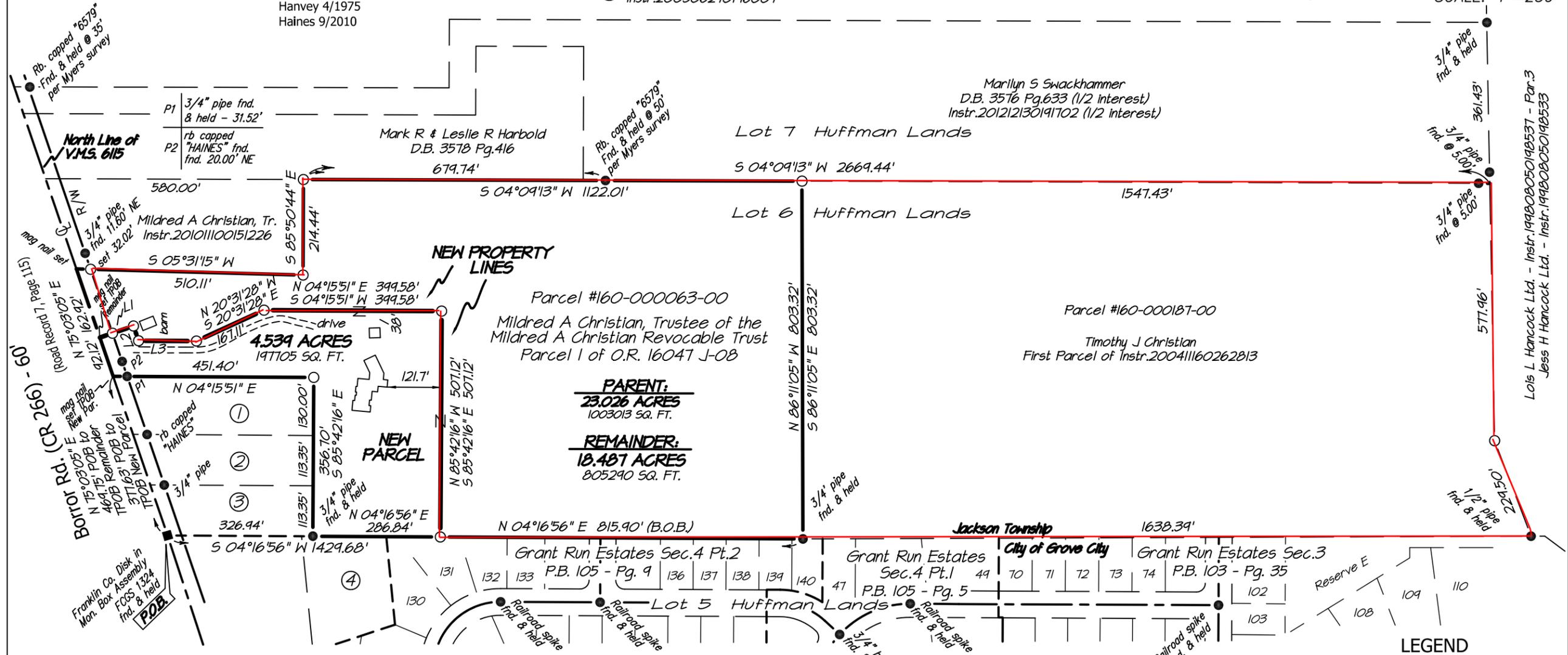
SCALE: 1"=250'

DATE: Nov 2015

BY: mlc

SCALE: 1"= 250'

Revised: 1/27/2016
altered frontage to meet
Grove City zoning standards



NOTE: DIMENSIONS SHOWN HEREON ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.

NOTE: THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND NO SEARCH OF PUBLIC RECORDS WAS MADE FOR EASEMENTS, RIGHT-OF-WAYS & ETC.

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN THE STATE OF OHIO AS DESCRIBED IN O.A.C. CHAPTER 4733-37.

MATTHEW L. CAMPBELL REG. NO. 8546 DATE
CAMPBELL & ASSOCIATES, INC.

LEGEND

- T.P.O.B. - TRUE PLACE OF BEGINNING
- P.O.B. - PLACE OF BEGINNING
- rec. - RECORD DISTANCE OR ANGLE
- calc. - CALCULATED DISTANCE OR ANGLE
- obs. - OBSERVED DISTANCE OR ANGLE
- - MONUMENT FOUND, SIZE & TYPE AS INDICATED.
- - 5/8" REBAR, 30 INCHES IN LENGTH, WITH I.D. CAP C&A TO BE SET



CAMPBELL &
ASSOCIATES, INC.
Land Surveying

77 E Wilson Bridge Rd Ste.205
Columbus, Ohio 43085
(800) 233-4117
www.campbellsurvey.com

JOB NO.
CO130502BNDY

SHEET 1 OF 1

Description of an 18.487 acre tract

Situated in the State Ohio, County of Franklin, Township of Jackson, in Virginia Military Survey #6115, being a part of Lot 6 of the partition of the Huffman Lands (Plat Book 1, Pg.260), and also being a remainder of a tract of land now or formerly conveyed to Mildred A Christian, Trustee (Parcel 1 of O.R. 16047 J-08), further bounded and described as follows:

Beginning for reference at a disk, known as FCGS 1324 (Franklin County Geodetic Survey), found in a monument box assembly at the center line intersection of Borrer Road, a 60' public right-of-way (Road Record 7, Page 115), with west line of said Lot 6, also being on the north line of said Virginia Military Survey #6115;

thence N 75°03'05" E, 377.63 feet with the center line of said Borrer Road and north line of VMS #6115 to a mag nail set at the northeast corner of land conveyed to Mildred A Christian, Tr. (Instr.201011100151228);

thence N 75°03'05" E, 92.12 feet continuing along said center line of Borrer Road to a mag nail set at the easterly line of a newly created 4.539 acre tract, said point being the **TRUE PLACE OF BEGINNING** for the remainder parcel hereinafter described;

thence N 75°03'05" E, 162.92 feet continuing along said center line of Borrer Road to a mag nail set at the northwest corner of land conveyed to Mildred A Christian, Tr. (Instr.201011100151226);

thence S 05°31'15" W, 510.11 feet along the westerly line of said Mildred A Christian, Tr. tract, passing over a capped rebar set at 32.02', to a capped rebar set at the southwesterly corner of said Christian tract;

thence S 85°50'44" E, 214.44 feet along said Christian tract to a capped rebar set on the westerly line of land conveyed to Mark R and Leslie R Harbold (D.B. 3578, Pg. 416);

thence S 04°09'13" W, 1122.01 feet along said Harbold tract, passing over a rebar capped "6579" found at 679.74' referencing a northwesterly corner of land conveyed to Marilyn S Swackhammer (D.B. 3576, Pg.633 and Instr.201212130191702), continuing along said Swackhammer to a capped rebar set at the northeasterly corner of land conveyed to Timothy J Christian (Instr. 200411160262813);

thence N 86°11'05" W, 803.32 feet along the northerly line of said Christian tract to a 3/4" pipe found at the easterly line of Grant Run Estates, Section 4, Part 2 (Plat Book 105, Pg.9), also being the westerly line of said Lot 6;

thence N 04°16'56" E, 815.90 feet along said Grant Run Estates to a capped rebar set at the southwesterly corner of said newly created 4.500 acre tract;

thence S 85°42'16" E, 507.12 feet along a new property line to a capped rebar

thence N 04°15'51" E, 399.58 feet along a new property line to a capped rebar set;

thence N 20°31'28" W, 167.11 feet along a new property line to a capped rebar set;
thence N 04°15'51" E, 130.28 feet along a new property line to a capped rebar set;
thence N 75°03'05" E, 35.00 feet along a new property line to a capped rebar set;
thence N 14°56'55" W, 80.00 feet along a new property line to the center line of the
aforementioned Borrer Road, said point being the **TRUE PLACE OF BEGINNING**, passing
over a capped rebar set 31.77' from said center line.

Containing 18.487 acres of land, more or less, of which 0.108 acres is contained within
the right-of-way of Borrer Road, as surveyed under the direct supervision of Matthew L.
Campbell, P.S. 8546 of Campbell and Associates, Inc. in August of 2015.

The basis of bearings for this description is N 04°16'56" E as shown for the easterly line of
Grant Run Estates Section 4, Part 2. All capped rebars set are 5/8" in width and 30" in
length with ID cap marked C&A.

Subject to all legal highways, easements, restrictions, covenants, agreements and
reservations of record.

All documents referenced herein are Franklin County Recorder's records.

Description of 28.5 +/- Acres

Being a tract of land, the south half of Lot Number Six (6) of the lands partitioned among the heirs of the late Henry Huffma, deceased, by order of the Superior Court in and for said county at the term of said Court A. D. 1860, the part conveyed being more particularly bounded and described as follows, to-wit:

Beginning at a stake or stone in the south line of the lands partitioned as above stated, southwest corner of Lot No. 5 of said partition and running thence with said southline N. 89 deg. 15' W. 34.68 poles to angle in said line; thence south 70 deg. 30' W. 13.20 poles to a stake at another angle; thence south 38 deg. west 1 1/2 poles to a stake or stone, southwest corner to said Lot No. 6; thence with the east line of Lot No. 7 of said partition N. 1 deg. 35' East 99.50 poles to a bur Oak tree about four links east of said line; thence south 88 deg. 15' east 48.25 poles to a stake; thence with the west line of Lot No. 5 of said partition, south 1 deg. 30' west 93.75 poles to the beginning, containing 28 1/2 acres of land of which 8 1/2 acres is a part of Lot No. 2 of the old Subdivision of said Survey No. 6115 and 20 acres is part of Lot No. 10 of said Old Subdivision of said Survey No. 6115 of said Virginia Military Lands.

D-34-F
All of
(160)
187

DESCRIPTION VERIFIED
DEAN C. RINGLE, P.E., P.S.
BY: T.G.
DATE: 11/16/04



Trailview Run

Preliminary Development Plan Submission

Existing zoning: R-1, 46.05 acres (0.24 acres in Jackson Twp.)

Proposed use: Planned Unit Development, 46.05 acres, (excludes 0.24 acres of R.O.W. for entrance road)

SECTION 1135.14 PLAN CONTENTS AND REQUIREMENTS

1. **Preliminary Plan.** The Preliminary Plan is a conceptual plan generally describing the proposed uses for the site to be rezoned and their relationship with surrounding properties and uses. The Preliminary Plan constitutes the desire to rezone the property to a specific plan to be finalized during the process. The Preliminary Plan shall contain the following elements:

A. A topographic map of the site and adjacent property showing existing natural features, including wooded areas and major trees. A description of how the proposed development was planned to utilize the existing site , identifying changes to the existing site grading and noting major trees that will be removed as part of the development.

See Exhibit for existing features map. The proposed development was designed in a manner that preserves the existing stream area, ponds, and wooded areas on the site, while also taking into account the city's master plan for the proposed park along Grant Run. Grading will be minimized in the areas of the site containing the existing trees, ponds, and stream to preserve these areas to the greatest extent possible.

B. A schematic plan showing the general development of the tract, location of existing and proposed structures and other development features including the location of all out parcels.

See exhibit for the preliminary development plan for the site. The illustrative plan indicates a potential layout for Single Family Homes and Condominiums, but these layouts

are purely hypothetical and used to illustrate a potential layout of those areas. There is 1 existing barns on site which will be renovated and incorporated into the entryway landscaping.

C. An engineering feasibility statement in sufficient detail to indicate how the proposed development will be serviced with water, sanitary sewer and storm drainage facilities.

See exhibit for engineering feasibility statement

D. The proposed traffic circulation pattern showing public and private streets and other transportation facilities, including major pedestrian routes, with evidence through a traffic study that the proposed development will not adversely impact existing transportation facilities

See exhibit for the preliminary development plan indicating proposed circulation routes for traffic and pedestrians.

E. A conceptual landscaping plan that shows the ability of the proposed development to meet all aspects of the zoning code

See exhibit Preliminary development conceptual landscape plan

F. A proposed schedule or phasing of development of the site.

The Residential portions of the site shall be constructed in a minimum of two phases. Refer to Preliminary Development Plan Notes. It is anticipated that Phase 1 will take 1 year to complete, Phase 2 will take approximately 1year to complete. Phase 1 is all dwelling units North of the electric transmission lines and Phase 2 is all dwelling units South of the electric transmission lines. The actual time frames may vary based on market conditions.

G. Evidence that the applicant has sufficient control over the land to accomplish proposed and required land improvements.

The applicant is in contract with the property owner to purchase the property and can provide evidence to City Council if requested

H. Any additional information required by the Planning and Zoning Commission necessary to determine that the proposed development meets the intent and purposes of the Planned Unit Development District.

2. Development Standards Text. A Development Standards Text shall be submitted as part of the Preliminary Plan and shall, through a narrative and graphics, as necessary, detail the development standards established by this Chapter. These modifications shall be justified by fully stating what adjustments, amenities, or other compensations are provided as part of the Preliminary Plan to offset the use of reduced standards and by demonstrating how the modified standards will result in the best possible development for the site. Unless specifically modified by the development standards text, the standards established by this chapter shall apply to the proposed development

**Proposed Preliminary Development Text
Trailview Run
March 28, 2016**

DEVELOPMENT OVERVIEW

A. Location and Size.

The proposed property encompasses 46.05 acres and is located on the South side of Borrer Road just east of the Estates of Grant Run.

B. Existing and Proposed Land Uses

The subject property is currently zoned R-1 and has recently been annexed to Grove City from Jackson Township.

The new proposal is to rezone a portion of the property as a Planned Unit Development.

The Planned Development will be divided into two subareas Single Family homes and Condominium units.

DEVELOPMENT STANDARDS

A. **Subareas** - Trailview Run Single Family Residential, shall follow the requirements and standards outlined for R-1B uses in a Planned District if not addressed otherwise by these standards. Tree Tops @ Trailview Run Condominiums, shall follow the requirements and standards outlined uses in D-2 a Planned Unit District if not addressed otherwise by these standards.

1. Permitted Uses: The following uses shall be permitted in Subarea Single Family Residential

- a. Detached, residential dwellings
- b. Accessory uses permitted for R-1B district

2. Permitted Uses: The following uses shall be permitted in Subarea Condominiums

- a. Attached and free standing condominium residential dwellings
- b. Accessory uses permitted for D-2 district

3. Density: a maximum of 54 single family homes shall be permitted, and a maximum of 93 condominium homes shall be permitted, with a density of 3.17 du/ac, for the plan
4. Height. The maximum building height for residential structures shall be 35' per the Residential standards for building height.
5. Individual Lot Requirements

The following standards shall apply to the single family lots. Refer to exhibit for more information.

Min lot width	70'
Min. Lot depth	120'
Max. building coverage	40%
Max. height	35'
Min. parking	4 spaces, including garage
Min. sideyard setback	7.5'
Min. sideyard setback adjacent R.O.W.	25'
Min. frontyard setback	30' except for 25' for lots adjoining Grant Run Estates
Min. rearyard setback	25'
Min. square footage	1800 sf two story, 1600 sf one story

The following standards shall apply to the condominiums. Refer to exhibit for more information.

Min lot width	NA
Min. Lot depth	NA
Max. building coverage	45%
Max. height	35'
Min. parking	4 spaces, including garage
Min. setback between units	10'
Min. frontyard setback from curb	See Exhibit
Min. rearyard setback	25'
Min. square footage	1350 sf 1 and 2 story

6. Access, Traffic Circulation, Parking and Loading

See Exhibit for traffic circulation. All public roadways for Single family Subarea shall be public, and shall be a minimum 32' wide

from face of curb to face of curb, with an 18" curb and gutter on each side of the street. Streets for Condominium Subarea shall be private, and a minimum of 26' wide from back of curb to back of curb.

Sidewalks are proposed on both sides of public streets. Parking shall comply with no enclosed garage shall be less than 385 square feet and no more than 720 square feet. A minimum of 4 on-site parking spaces including garage spaces shall be provided for each dwelling. There shall be no loading areas in this residential district.

7. Building Architecture and Materials

All single family dwellings and condominiums shall meet the minimum requirements set forth in section 1143 Residential Building Design Standards.

8. Landscaping, Buffering, and Open Space

See exhibit for concept landscape plan. The applicant proposes that lots adjacent properties to the west retain existing vegetation as a buffer. The applicant proposes that the lots along those boundaries be increased to 125' depth on the west. This extra depth in lots provides adequate space to preserve existing tree rows that will provide significant buffering.

Landscaping for individual homes and condominiums shall comply with section 1136 of landscaping for single family dwellings and two family dwellings.

Street trees shall be installed in accordance to Section 1136. Refer to concept landscape plan. If existing trees die off, street trees will be installed by the HOA, per the tree preservation regulations.

Open space shall be provided as required by the Planned Residential Standards. See exhibit for the concept for the open space. The open space shall be 15.25 acres, for a total of 33%.

The open space will be owned and maintained by the Homeowners association except for the area along Grant Run that will be dedicated to the City of Grove City.

The applicant proposes that the open space be reserved for passive activities, and will include benches and other seating areas, along with connection generally from the north to the south through the open space system.

9. Dumpsters, Lighting, and Mailboxes

No trash dumpsters shall be used except during construction, alteration, or repair of a home. Each resident shall be responsible for trash pickup and have individual trash containers.

Lighting shall conform to Chapter 1101, requiring electric street lights.

Mailboxes shall meet standard postal service requirements

10. Signage

There shall be an entry feature sign for this subdivision. See exhibit for signage concept. The sign shall meet signage requirements and setbacks of the zoning code. A separate project identification sign for the condominium Subarea shall be allowed, and will meet the requirements of the zoning code.

11. Utilities

All utilities shall be located underground except for pedestals for electricity, cable, phone, or similar utilities. Pedestals shall be located in rear yards. This provision shall not apply to utility meters.

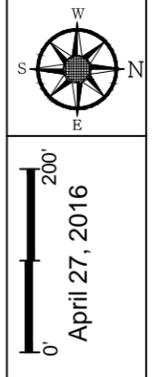
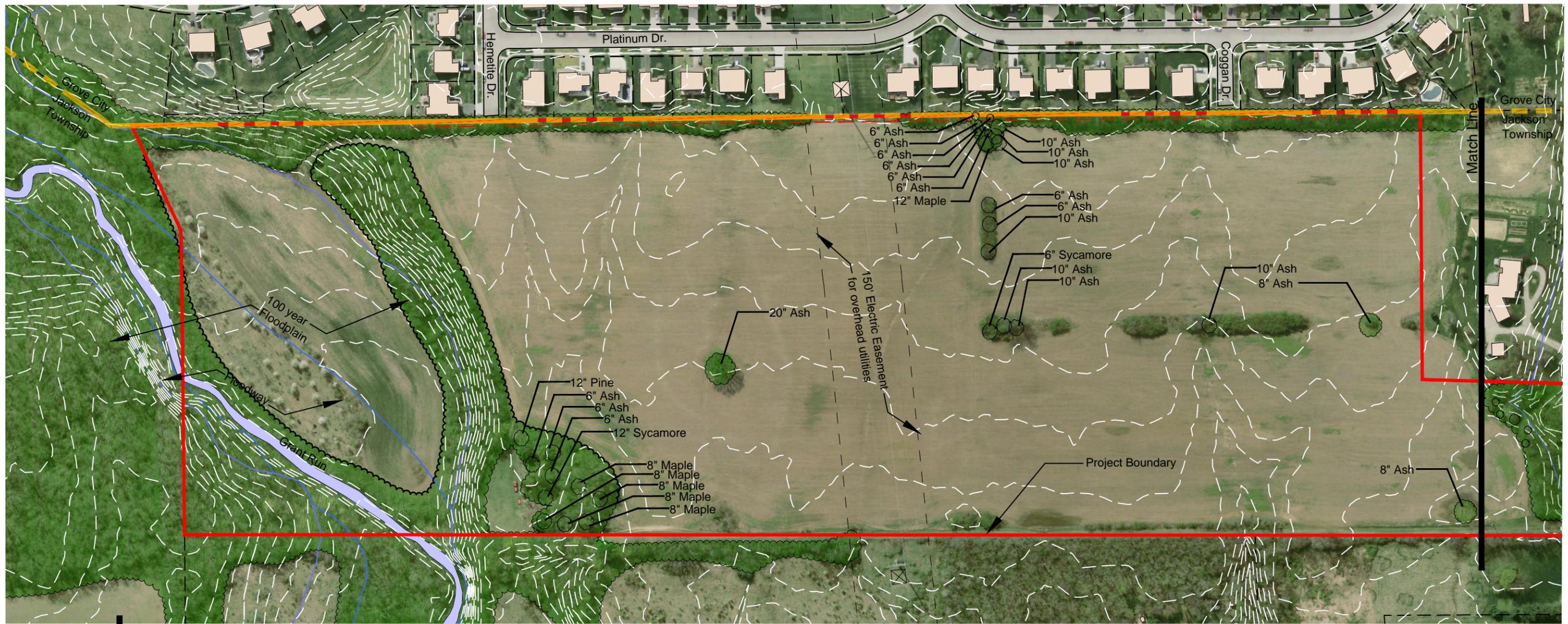
12. Home Owners Association.

A Home Owners Association shall be formed for this subdivision.

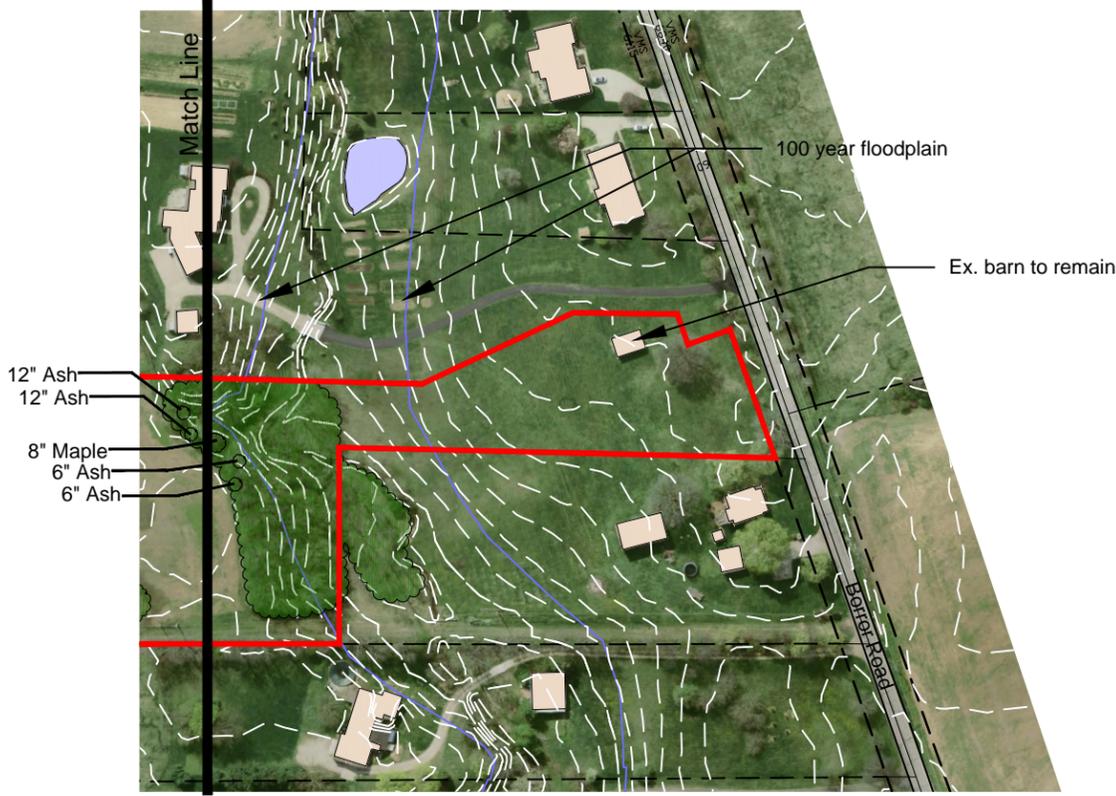
13. Condominium Owners Association

A Condominium Owners Association shall be formed for this Condominium Subarea.

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TRAILVIEW RUN EXISTING CONDITIONS



-  Existing Trees
-  Existing Buildings
-  Corp. Line (annexation pending)

Existing Adjacent Streets

Name	R/W	PVMT*
Borror Road	60'	18.5'
Coggan Drive	60'	32' B/B
Hermetite Drvie	60'	32' B/B

* Per Franklin County GIS

Exhibit Prepared for

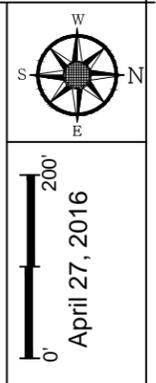


Exhibit Prepared by





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TRAILVIEW RUN & Treetops @ Trailview Run PRELIMINARY DEVELOPMENT PLAN

Development Data

TOTAL SITE AREA:	46.05 ac
TRIANGLE PIECE*	0.24 ac
DEVELOPMENT AREA:	46.29 ac

70' x 120' Single-Family Lots	55
Single-Family Condominiums	91
TOTAL UNITS:	146

Density: 3.15 du/ac
Setbacks

SF Homes	SF Condos.
Front: 25 feet	Front with Sidewalk: 30 feet**
Side: 7.5 feet	Front without Sidewalk: 25 feet**
Rear: 25 feet	Side: 5 feet
	Dist. B/W Bldgs: 10 feet
	Rear: 25 feet**
GROSS OPEN SPACE PROVIDED: 15.25 AC	
Storm Water Management (85%):..... (0.92 ac)	
Green Space in 100 yr floodplain:..... (4.52 ac)	
Green Space in floodway:..... (2.64 ac)	
Green space used for entry sign:..... (0.08 ac)	
NET OPEN SPACE PROVIDED: 7.09 AC	
(7.04 ac required)	
PARKLAND DEDICATED TO CITY FOR PUBLIC PURPOSES: 9.92 AC	
GREEN SPACE: 5.33 AC	
(owned/maintained by Condo and Homeowner's Assoc.)	

NOTES:

- * 0.24 ac triangle-shaped road right-of-way residual parcel to be deeded to Grove City prior to final development plan approval.
- ** Setback measured from face of curb
- 1. Frontage dimensions shown represent the chord length at the building line
- 2. Sidewalks to be installed on both sides of public streets per City standards.
- 3. Sidewalk to be installed on one side of private streets.
- 4. A 10-foot wide no disturb zone shall be established along the west property line with the intent to protect the existing trees.
- 5. Project to be developed in two phases. Phase one includes all single-family and condominiums north of the electric easement. Phase 2 includes all single-family and condominiums south of the electric easement.
- 6. Condominium Lot #53 may be used to build a recreational / meeting room for the condominium unit owners in the Treetops at Trailview Run.

Condo Setback Notes:

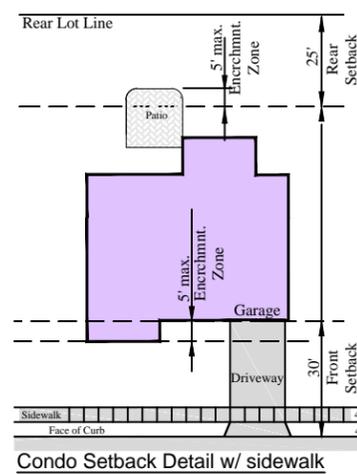
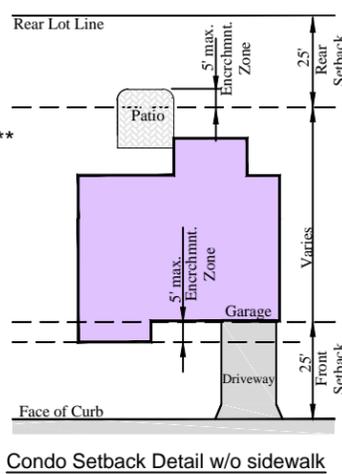
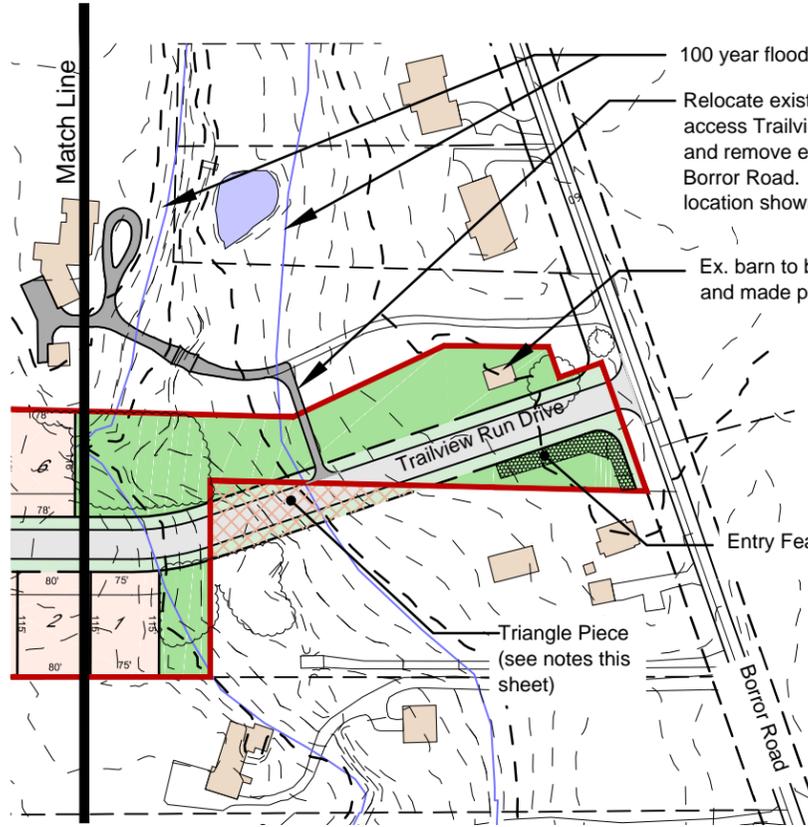
- 1. Allow rear non-conditioned rooms to encroach into the rear setback area up to five feet. These included decks, patios, gazebos, masonry columns, masonry fireplaces, and covered three season rooms.
- 2. Allow a non-garage portion of the home to encroach into the front setback area up to five feet.

Developer:

Harmony Development Group
3650 Olentangy River Road
Columbus, Ohio 43214

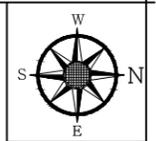
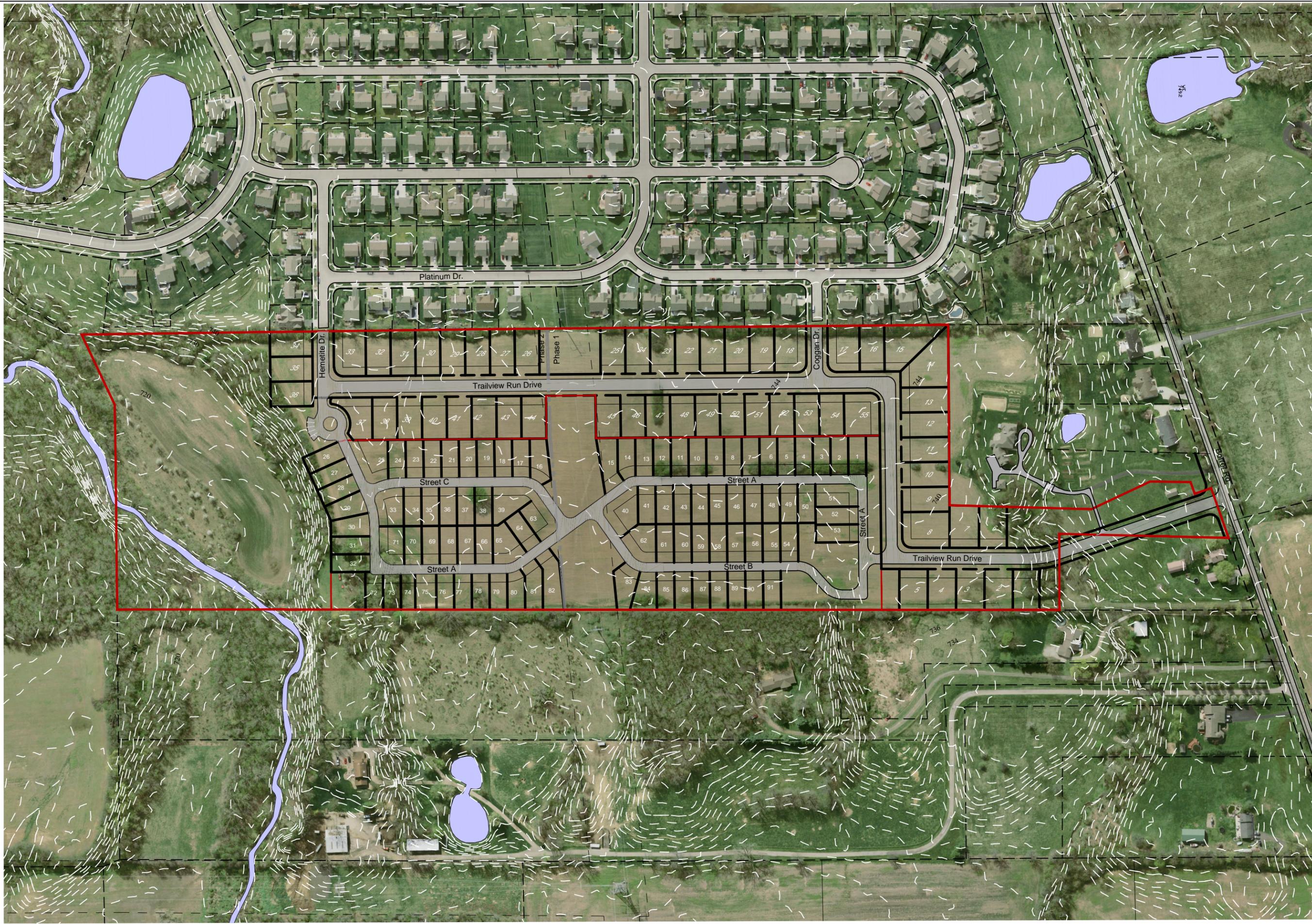
Owner:

Mildred A. Christian
1421 Borror Rd.
Grove City, Ohio 43213



Developer: Harmony Development Group, LLC

Exhibit Prepared by Stantec



0' 250'
April 27, 2016

TRAILVIEW RUN & Treetops @ Trailview Run

SITE PLAN ON AERIAL

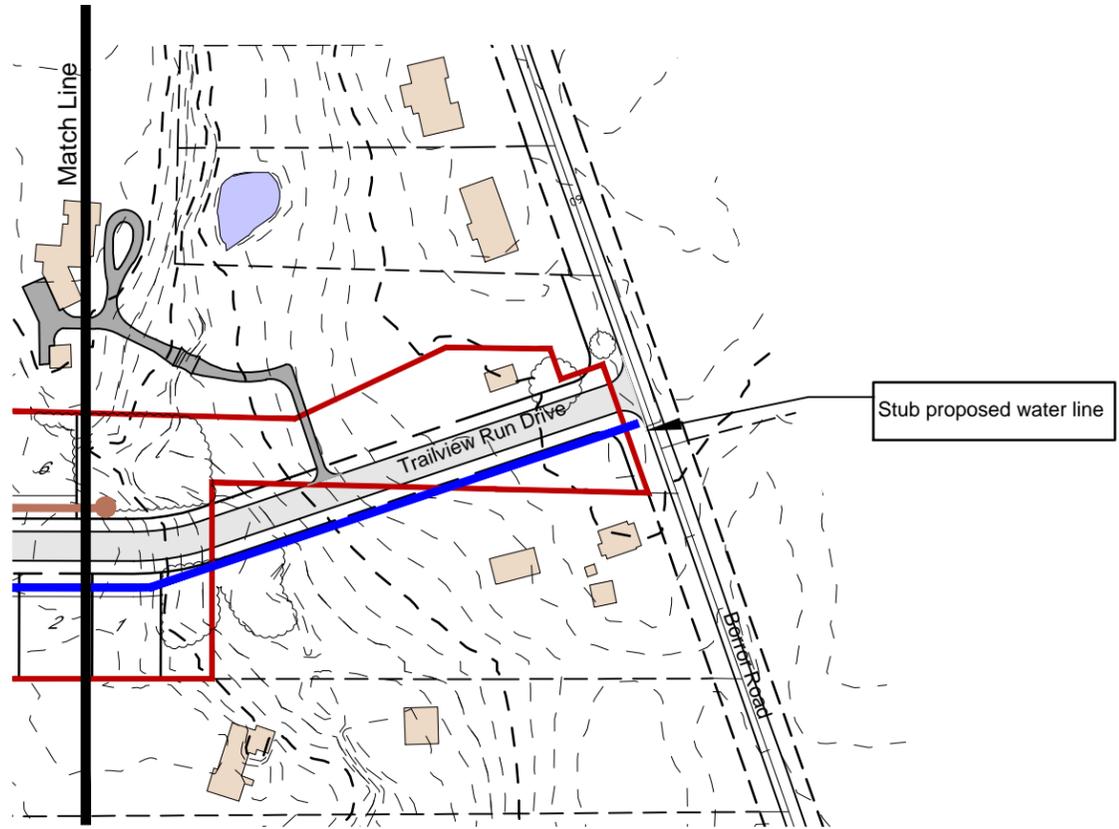
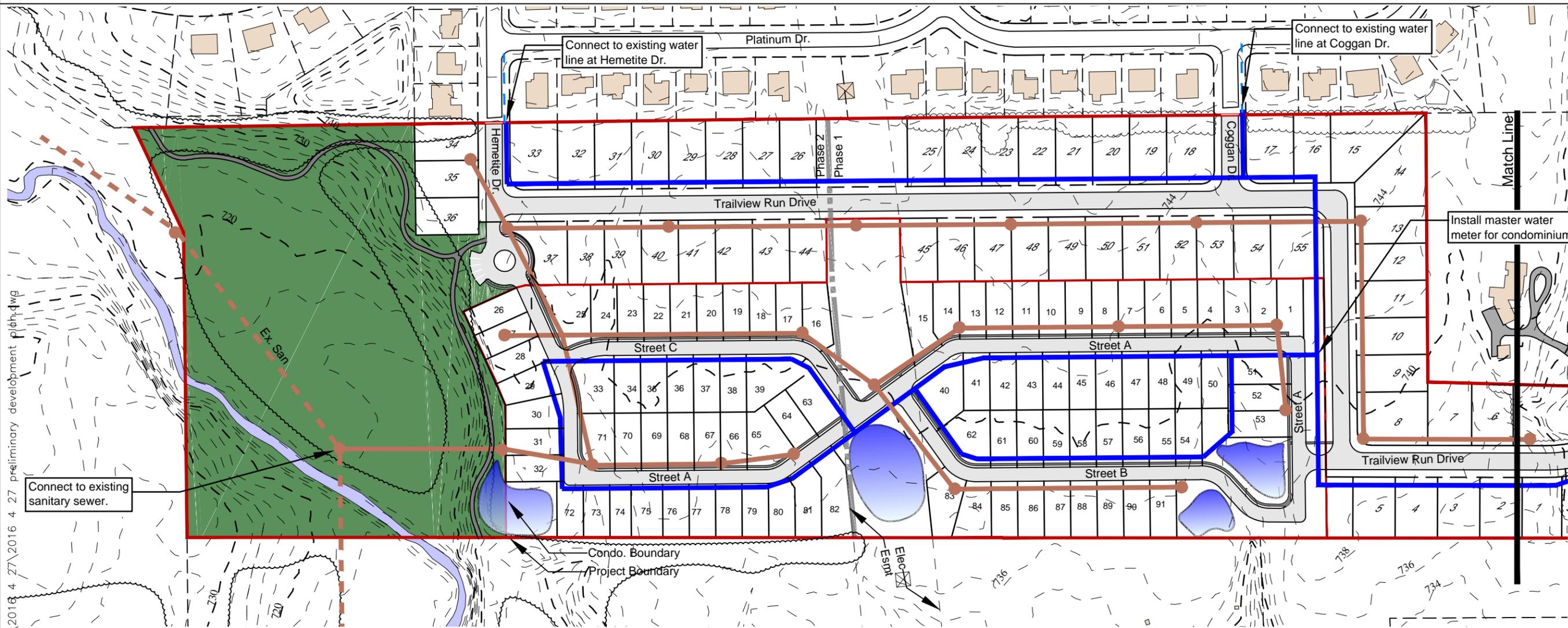
Exhibit Prepared for



Exhibit Prepared by



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NOTES:

- **Sanitary:** Service to be provided through a connection to an existing sanitary sewer located at the south end of the property. Sewer lines will be extended to serve the single-family and condominium homes throughout the development at the approximate location shown on this plan.
- **Water:** Service to be provided through connections to existing water lines at Hemetite Drive and Coggan Drive. A proposed water line will be extended to Borror Road for a future connection. Service to the condominiums will be metered. Lines will be extended throughout the development at the approximate locations shown on this plan. Hydrants and valves will be installed per City requirements.
- **Storm:** Storm water runoff will be routed to the four detention ponds located on the site and released at a predetermined rate. The ponds will be designed to fulfill volume and water quality requirements.

0' 200'

April 27, 2016

Exhibit Prepared by

Exhibit Prepared for

TRAILVIEW RUN & Treetops @ Trailview Run

PRELIMINARY UTILITY PLAN

Other Planting Requirements 1136.09

(a) Planting Requirements for All New Developments. These requirements are in addition to the requirements for vehicular use areas.

(1) Residential and PUD Districts.

a. There shall be a minimum of three trees planted per single family residence. Trees may be either small or medium species. Medium or small species trees shall be 2" minimum caliper and clear trunk. No clump or multi-stem form trees are permitted. Trees are to be arranged within the front, side or rear yard areas with emphasis on the front facades. In addition a minimum of one-third (1/3) of the facade (or facades in the case of corner lots) fronting the street or vehicular use area is to be landscaped adjacent to the foundation with a minimum of five (5) shrubs, ground cover or other ornamental plantings. The average initial height of these plantings is to be 24" minimum.

b. All residential subdivisions containing at least fifty lots or five acres (whichever is less), shall construct prominent entry features of at least 500 square feet at all major points of ingress and egress to such subdivisions and complexes. Entry features shall consist of landscaping or a combination of landscaping and hardscape materials. Lighting and irrigation should be included.

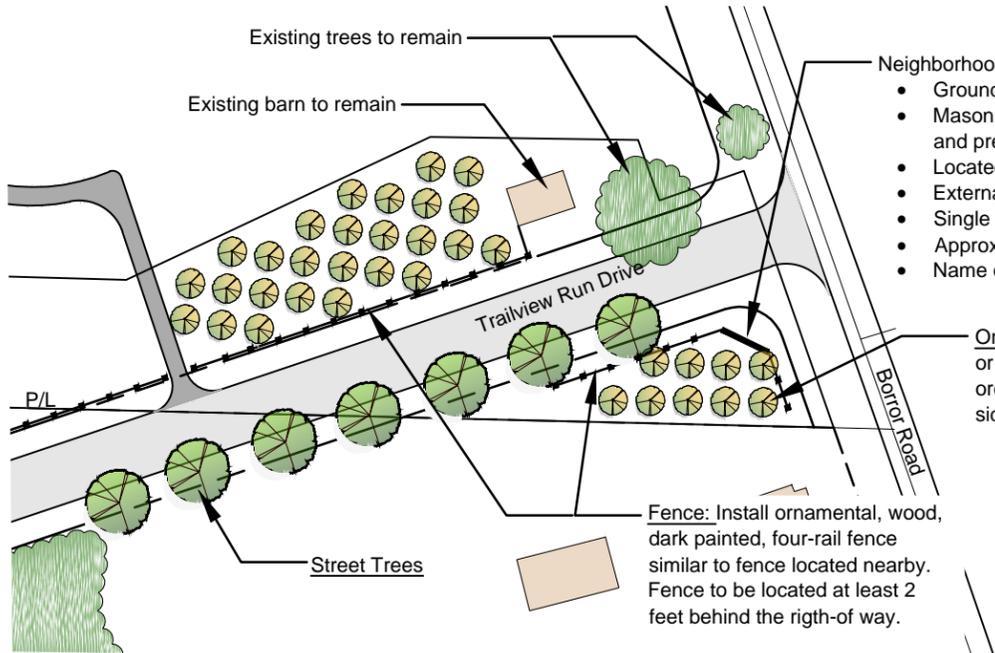
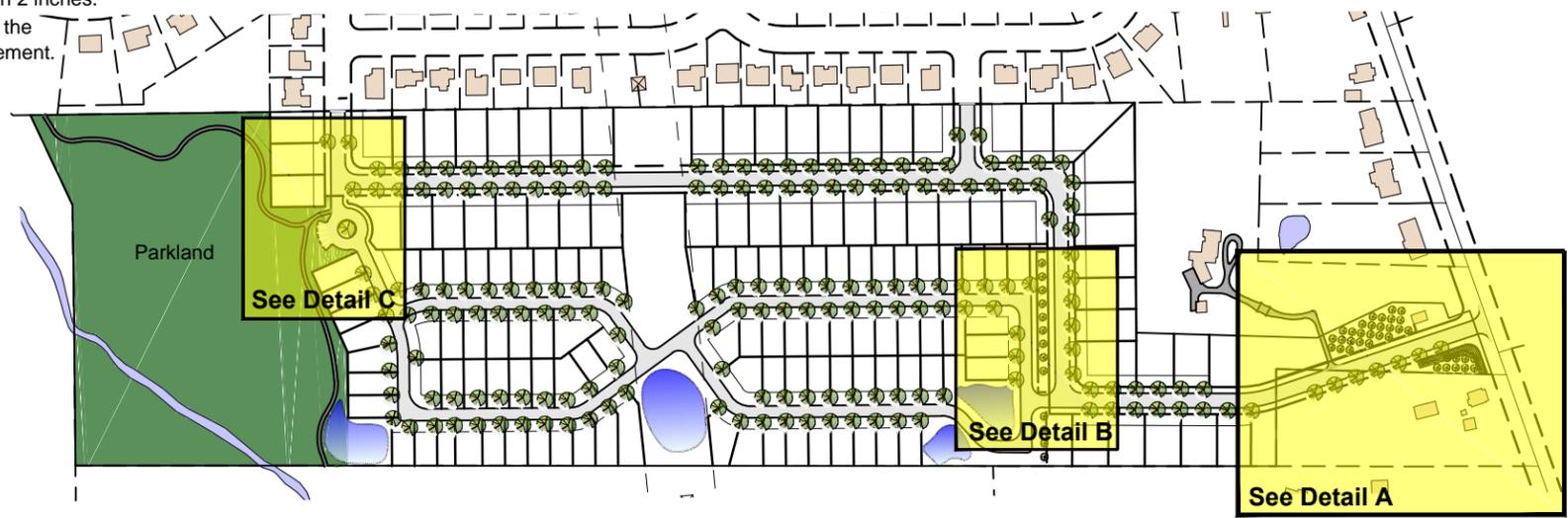
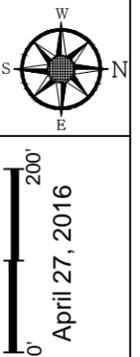
c. All residentially zoned developments with side or rear property lines adjacent to primary or secondary roadways shall construct a landscape buffer consisting of a 30'-0" setback with a continuous 4'-0" height minimum earthen mound. In addition to the mounding requirement a double staggered row of 6'-0" height minimum evergreen trees at 20'-0" maximum spacing and one 2" caliper minimum small class tree and two 18" height deciduous shrubs per each 40 lineal feet of property line are to be planted. Combining tree planting areas to achieve overall compliance is acceptable. However, in no event is a tree planting area to exceed 100'-0"

Street Tree Requirements 1136.09 (4) (b)

1. Prohibited Trees under Section 1136.15 are not to be used.
2. Maximum spacing for large trees is 50', medium trees 40', small trees 35'.
3. Locate trees at least 2.5' from back of curb, 2' if adjacent a sidewalk.
4. Locate trees at least 55' from intersections,
5. Use a small class tree if within 10 lateral feet of overhead wires, use a small or medium class tree if within 10 - 20 lateral feet of overhead wires.
6. Trees should be of the same genus and species match in form and size and planted continuously down each street.
7. The minimum trunk caliper measured at six inches above the rootball for all street trees shall be no less than 2 inches.
8. No trees shall be planted within the electric transmission tower easement.

Retention Area Requirements 1136.09 (4) (c)

1. One tree for every 50 linear feet of retention area perimeter.
 2. Trees shall be planted adjacent to retention area, but no closer than 20 feet from the bank.
 3. Medium or large class species, 2" caliper. Six feet height evergreen trees may be substituted for up to 50% of deciduous tree requirement.
- Calculation: 2,088 linear feet of pond.
2,088/50 = 41.76 = 42 trees required



- Neighborhood Entry Sign**
- Ground mounted
 - Masonry construction using brick, stone and pre-cast concrete caps
 - Located 10' from proposed right-of-way
 - External lighting on sign face
 - Single sided
 - Approximately 15' long and 7' high
 - Name on sign: "Trailview Run"

Orchard: Install ornamental or fruit bearing trees in an orchard-like fashion, both sides of the entry drive.

Fence: Install ornamental, wood, dark painted, four-rail fence similar to fence located nearby. Fence to be located at least 2 feet behind the right-of-way.

A Main Entry - Borrer Road

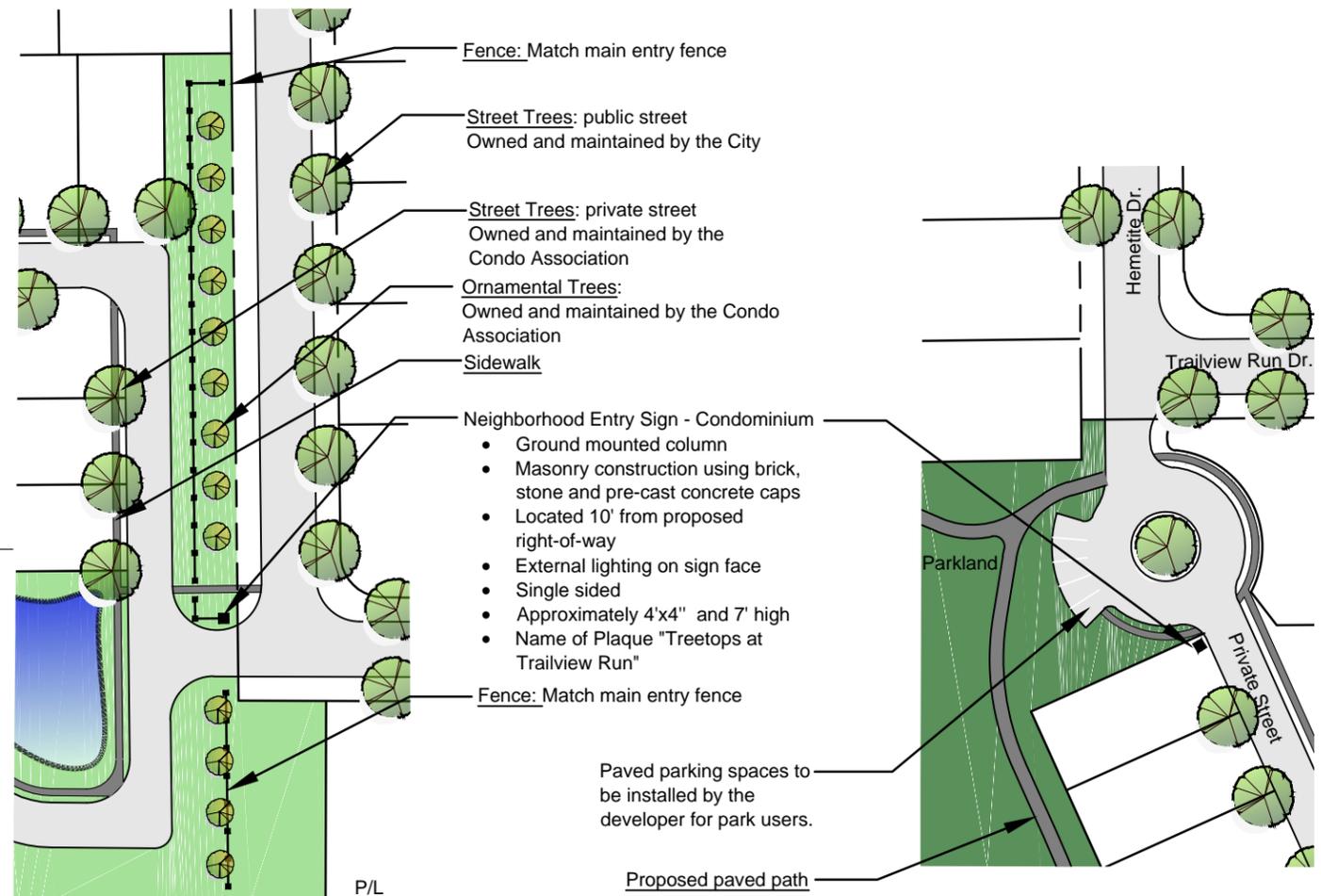
1" = 100'



Existing barn at entry to remain. Developer will add some aesthetic enhancements to create an attractive entry feature element. Barn is not intended to be used by the public.



Nearby fence



Fence: Match main entry fence

Street Trees: public street
Owned and maintained by the City

Street Trees: private street
Owned and maintained by the Condo Association

Ornamental Trees:
Owned and maintained by the Condo Association

Sidewalk

- Neighborhood Entry Sign - Condominium**
- Ground mounted column
 - Masonry construction using brick, stone and pre-cast concrete caps
 - Located 10' from proposed right-of-way
 - External lighting on sign face
 - Single sided
 - Approximately 4'x4" and 7' high
 - Name of Plaque "Treetops at Trailview Run"

Fence: Match main entry fence

Paved parking spaces to be installed by the developer for park users.

Proposed paved path

B Condominium Entry- North

C Condominium Entry- South

1" = 100'

TRAILVIEW RUN & Treetops @ Trailview Run LANDSCAPE PLAN

Exhibit Prepared for



Exhibit Prepared by

