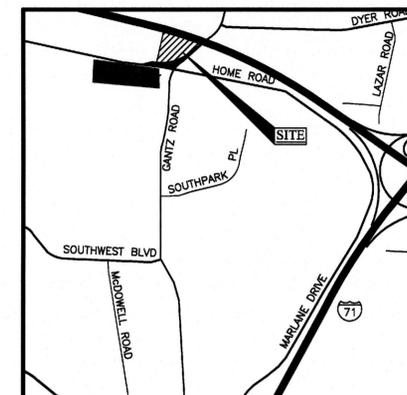


SITE ENGINEERING FOR CANAAN LAND CHURCH 2777 GANTZ ROAD GROVE CITY, OHIO

PAGE	DEVELOPMENT PLAN INDEX
	COVER SHEET
	SITE PLAN
	GRADING & STORMWATER PLAN
	GRADING & STORMWATER DETAILS
	LANDSCAPE PLAN
	UTILITY PLAN
	PHOTOMETRIC PLAN
	DEMOLITION PLAN
	SITE DETAILS



SITE LOCATION MAP
NOT TO SCALE

UTILITIES:

THE FOLLOWING UTILITIES ARE KNOWN OR CAN BE EXPECTED TO BE LOCATED WITHIN THE LIMITS OF THIS PROJECT.

UTILITY	OWNER	TELEPHONE
WATER, SANITARY, STORM AND STREET LIGHTING FACILITIES	CITY OF GROVE CITY 4035 BROADWAY GROVE CITY, OHIO 43123	(614) 277-1100
9. UTILITY CONTACTS:		
ELECTRIC	AMERICAN ELECTRIC POWER 850 TECH CENTER DRIVE GAHANNA, OH 43230-6605	1-800-277-2177
GAS:	COLUMBIA GAS OF OHIO-COLUMBUS 939 W. GOODALE BLVD COLUMBUS, OHIO 43212	(614)280-7500
	NORTHEAST OHO NATURAL GAS 5640 LANCASTER-NEWARK RD NE PLEASANTVILLE, OHIO 43148	
TELEPHONE:	AT&T OHIO 111 N. FOURTH STREET ROOM 802 COLUMBUS, OHIO 43215	COLLEEN BRINSON (614) 223-7677
CABLE:	TIME WARNER 1266 DUBLIN ROAD COLUMBUS, OHIO 43215	(614) 481-5000

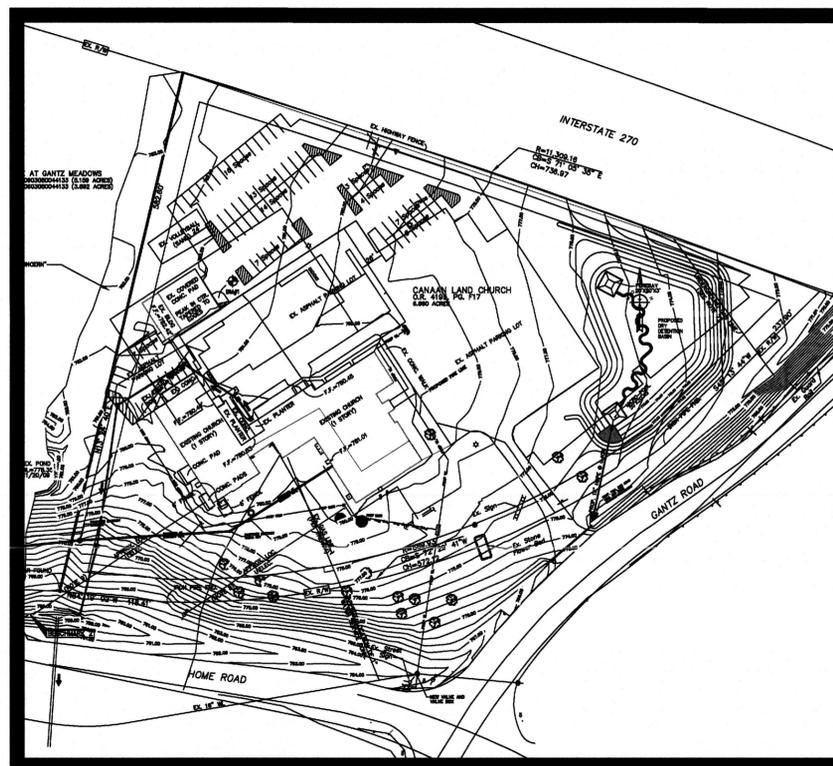
BENCHMARKS:

- REFERENCE BENCHMARK**
- M 310 UNITED STATES COASTAL AND GEODETIC BENCHMARK, A BRASS DISK STAMPED "M 310 1967" FOUND AT THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF SOUTH HIGH STREET AND HOSACK STREET, 23 FEET SOUTH OF THE EXTENDED CENTERLINE OF HOSACK STREET, 18-1/2 FEET WEST OF THE WEST CURB OF SOUTH HIGH STREET.
- ELEV. 747.49 (NGVD29) 746.89 (NAVD88)
- BENCHMARK 1**
- CHISELED BOX SET IN THE TOP OF A CONCRETE LIGHT POLE BASE, APPROX. 100' E. OF THE E. PROPERTY LINE OF SUBJECT PROPERTY AND 200' S. OF THE NORTH PROPERTY LINE, JUST NORTH OF THE CHURCH ON THE WEST SIDE OF THE PARKING LOT AT THE SOUTHEAST CORNER OF A COVERED SHELTER.
- ELEV. 784.43 (NGVD29)
- BENCHMARK 2**
- RAILROAD SPIKE FOUND AT IN THE SOUTH SIDE OF A UTILITY POLE NEAR THE SOUTHWEST PROPERTY CORNER.
- ELEV. 758.29 (NGVD29)

STANDARD DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF:

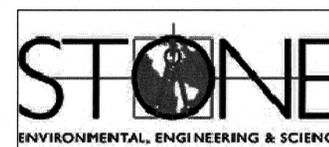
CITY OF GROVE CITY STANDARD DRAWINGS		
C-GC-1	C-GC-30	C-GC-75A
C-GC-4	C-GC-31	C-GC-76A
C-GC-17	C-GC-32	C-GC-77
C-GC-19	C-GC-37	C-GC-81
C-GC-22	C-GC-72A	
C-GC-24	C-GC-73	
C-GC-28	C-GC-74	



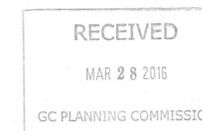
INDEX MAP

1" = 100'

PREPARED BY:



OHIO REGISTERED PROFESSIONAL ENGINEER E-42181 DATE



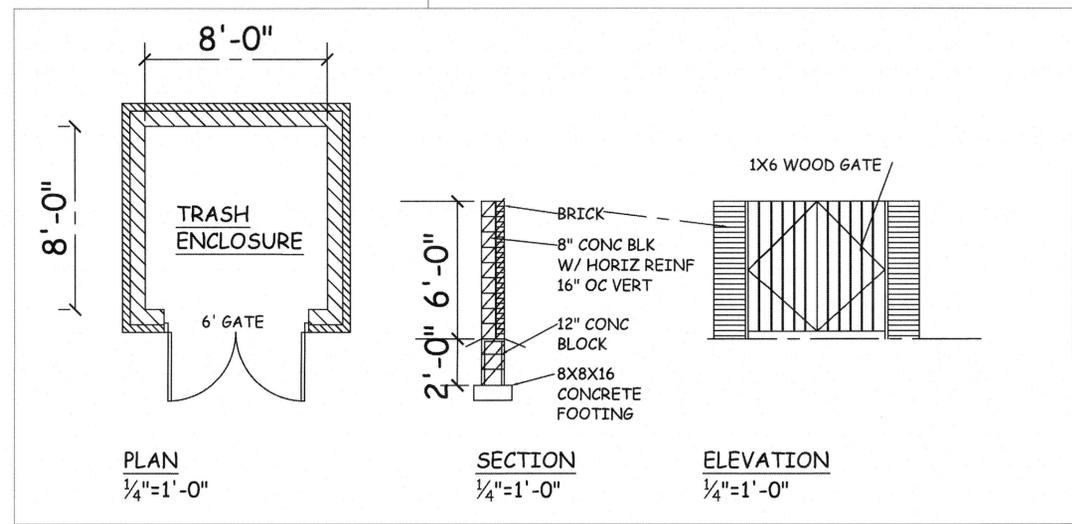
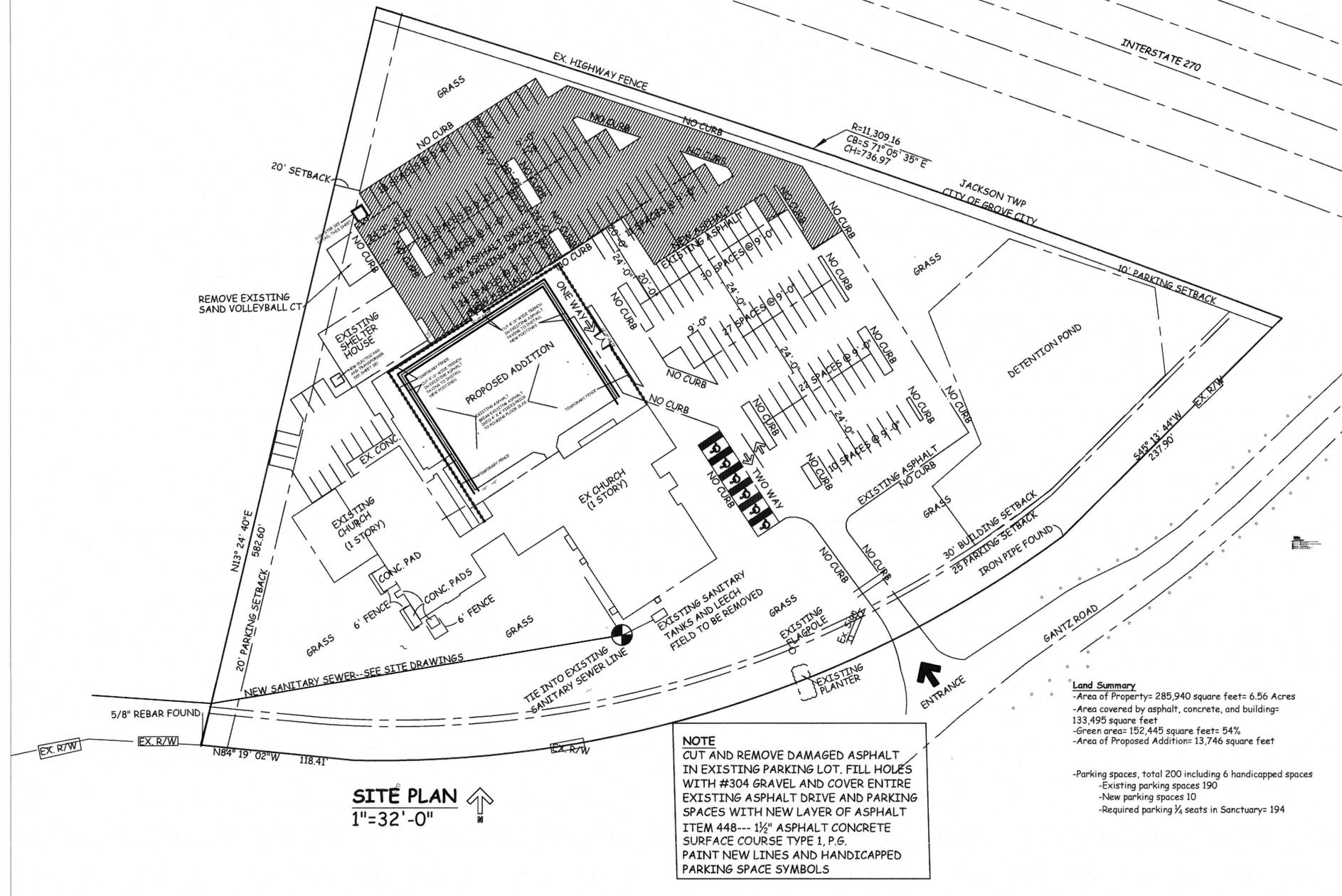
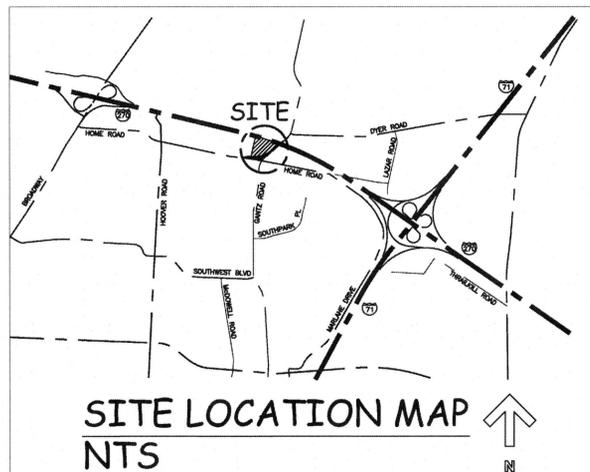
GROVE CITY APPROVALS

"CITY OF GROVE CITY" SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

CITY ADMINISTRATOR	DATE
SERVICE DIRECTOR	DATE
REVIEW FOR THE CITY OF GROVE CITY	DATE
FIRE DEPARTMENT JACKSON TOWNSHIP	DATE



OHIO
Utilities Protection
SERVICE
811 or
1-800-362-2764
Call Before You Dig



- PAVEMENT SECTION**
- ① ITEM 448--- 1 1/2" ASPHALT CONCRETE SURFACE COURSE TYPE 1, P.G. 64-22
 - ② ITEM 448--- 1 1/2" ASPHALT CONCRETE INTERMEDIATE COURSE TYPE 2, P.B. 64-22
 - ③ ITEM 304--- 6" AGGREGATE BASE
 - ④ ITEM 407--- TACK COAT (0.10 GAL/SQ. YD.)
 - ⑤ ITEM 204--- SUBGRADE COMPACTION

CANAAN LAND FWB CHURCH
2777 GANTZ ROAD
GROVE CITY, OHIO

REVISIONS
DATE 12-28-15

SITE

GANTZ MEADOWS
80044133 (5.159 ACRES)
80044133 (3.892 ACRES)

CANAAN LAND CHURCH
O.R. 4195, PG. F17
6.660 ACRES

INTERSTATE 270



SCALE : 1" = 40'

STORM STRUCTURE SCHEDULE				
STRUCTURE	T.C.	INVERT	SIZE	DIRECTION
HW		772.45	15"	N
1	775.00	772.873	15"	E

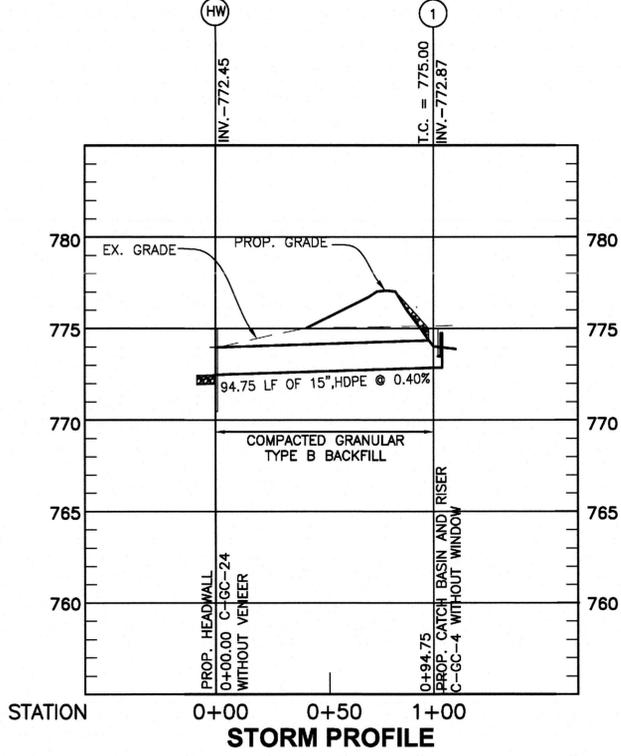
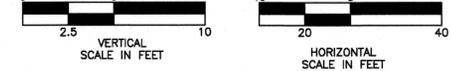
NOTE:
STRUCTURES WITH *** REQUIRE HEAVY DUTY GRATES

STORM PIPE SCHEDULE				
DISTANCE	STRUCTURES	SLOPE	SIZE	TYPE
94.75'	HW	0.40%	15"	HDPE
1				

LEGEND

- MAJOR STORM (GREATER THAN 100 YEAR STORM) ROUTING
- EX. CONTOUR
- PROP. STORM LINE
- PROP. ROOF DRAIN AT 2.0% MIN. SLOPE
- 6" R.D.
- EXIST. ELECTRIC/TELEPHONE LINE
- EXIST. GAS LINE
- PROP. WATER LINE
- PROP. ELECTRIC LINE
- EX. WATER
- EXIST. WATER LINE
- EX. SANITARY
- EXIST. SANITARY LINE
- EX. STORM
- EXIST. STORM LINE
- PROP. STRUCTURE NUMBER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- PROP. FIRE HYDRANT
- PROP. STORM CATCH BASIN
- EXIST. POWER POLE
- EXIST. POWER POLE/TELEPHONE POLE

PROFILE SCALES



GENERAL NOTES

ALL SPOT GRADE ELEVATIONS ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED.
AT ALL UTILITY CROSSINGS THE BACKFILL SHALL CONSIST OF COMPACTED GRANULAR MATERIAL BETWEEN THE DEEPER AND SHALLOWER PIPE. WHERE PROPOSED STORM SEWERS CROSS PROPOSED OR EXISTING PAVEMENT AREAS, BACKFILL SHALL BE IN ACCORDANCE WITH GROVE CITY
UTILITIES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND FIELD INVESTIGATION, AND ARE NOT NECESSARILY COMPLETE OR EXACT. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2765) 72 HOURS PRIOR TO CONSTRUCTION AND SHALL VERIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING LIFT HOLES, ETC.

OHIO Utilities Protection SERVICE
811 or 1-800-362-2764 Call Before You Dig

ATTENTION
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS, SCHEDULING NECESSARY INSPECTIONS AND COMPLYING WITH ALL FEDERAL, STATE AND LOCAL CODES.

PREPARED BY: **P. Systems, Inc.**
MICHAEL D. CASALE E-52720 REGISTERED PROFESSIONAL ENGINEER
DATE: 28 January 2016
OHIO REGISTERED PROFESSIONAL ENGINEER NO. E-52720

DEVELOPER/CLIENT
STONE ENVIRONMENTAL
748 GREEN CREST DR
WESTERVILLE, OH 43081
(614) 865-1874

PROJECT NAME AND ADDRESS
CANAAN LAND CHURCH
2777 GANTZ ROAD
GROVE CITY, OH 43123

CONSULTANT
P. Systems, Inc.
Surveyors Engineers
171 Charring Cross Dr.
Westerville, Ohio 43081
Phone: (614) 891-4970
Fax: (614) 891-4984

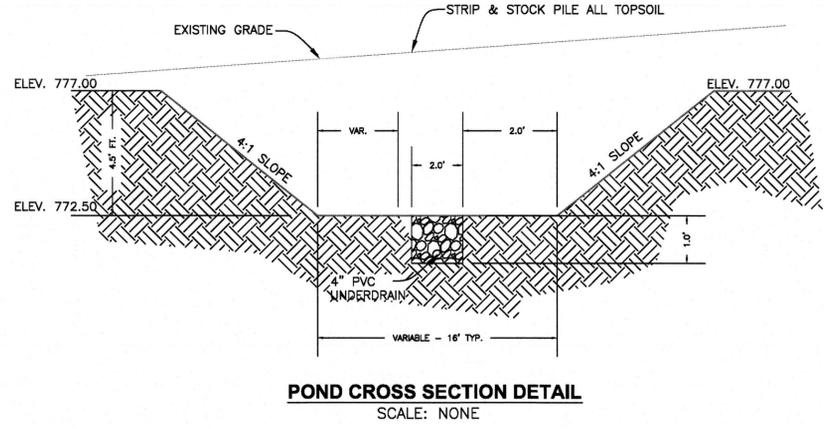
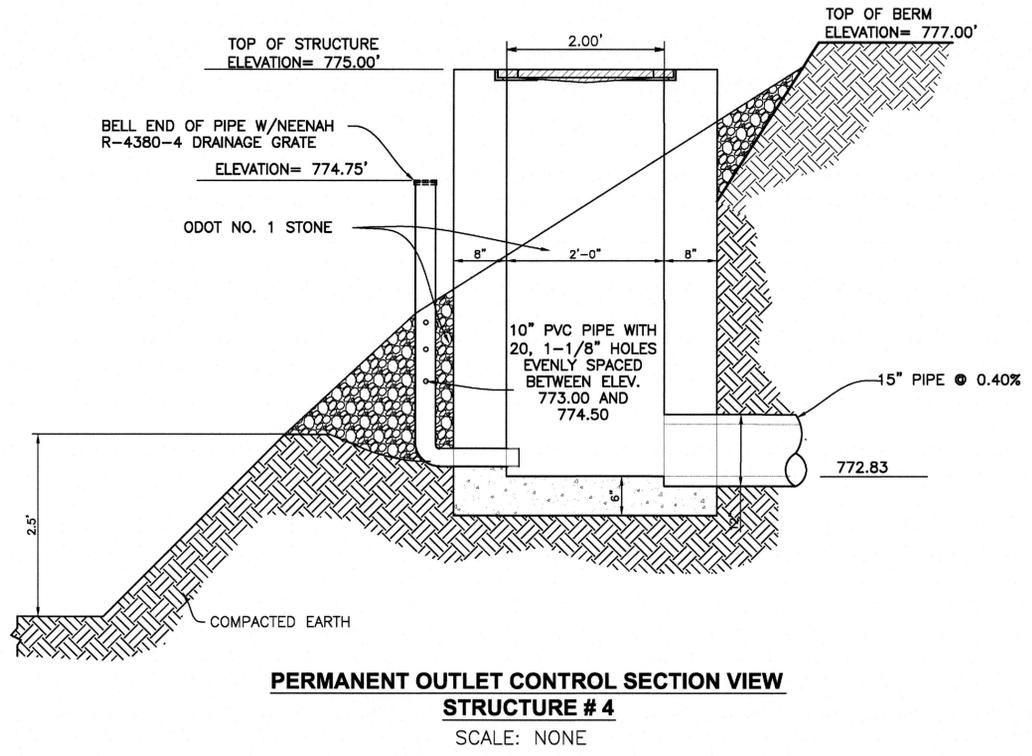
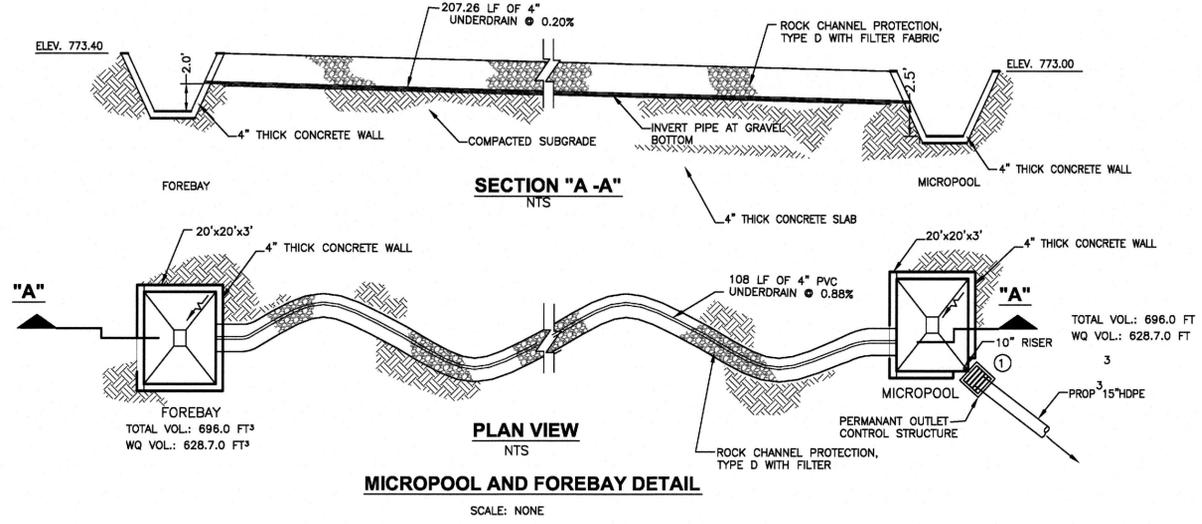
SEAL

REVISIONS

DRAWN BY AEL	CHECKED BY SB
DATE 28 JANUARY, 2016	
SCALE 1"=40	
DWG. TITLE GRADING PLAN	
SHEET	

P:\Land Projects 3\Stone Environmental\Canaan Church_Grove City.dwg C-X-Grading Plan-Canaan Church.dwg byrsiddle on 01/28/2016 @ 10:36:55 am ~ for P & L Systems, Inc.

P:\Land Projects 3\Stone Environmental\Canaan Church_Grove City\dwg\C-X-Grading Plan_Canaan Church.dwg by:abidde on 01/28/2016 @ 10:29:00 am ~ for P & L Systems, Inc.



DEVELOPER/CLIENT
STONE ENVIRONMENTAL
748 GREEN CREST DR
WESTERVILLE, OH 43081
(614) 865-1874

PROJECT NAME AND ADDRESS
CANAAN LAND CHURCH
2777 GANTZ ROAD
GROVE CITY, OH 43123

CONSULTANT
P & L Systems, Inc.
Surveyors • Engineers
Planners
171 Charring Cross Dr.
Westerville, Ohio 43081
Phone: (614) 891-4970
Fax: (614) 891-4984

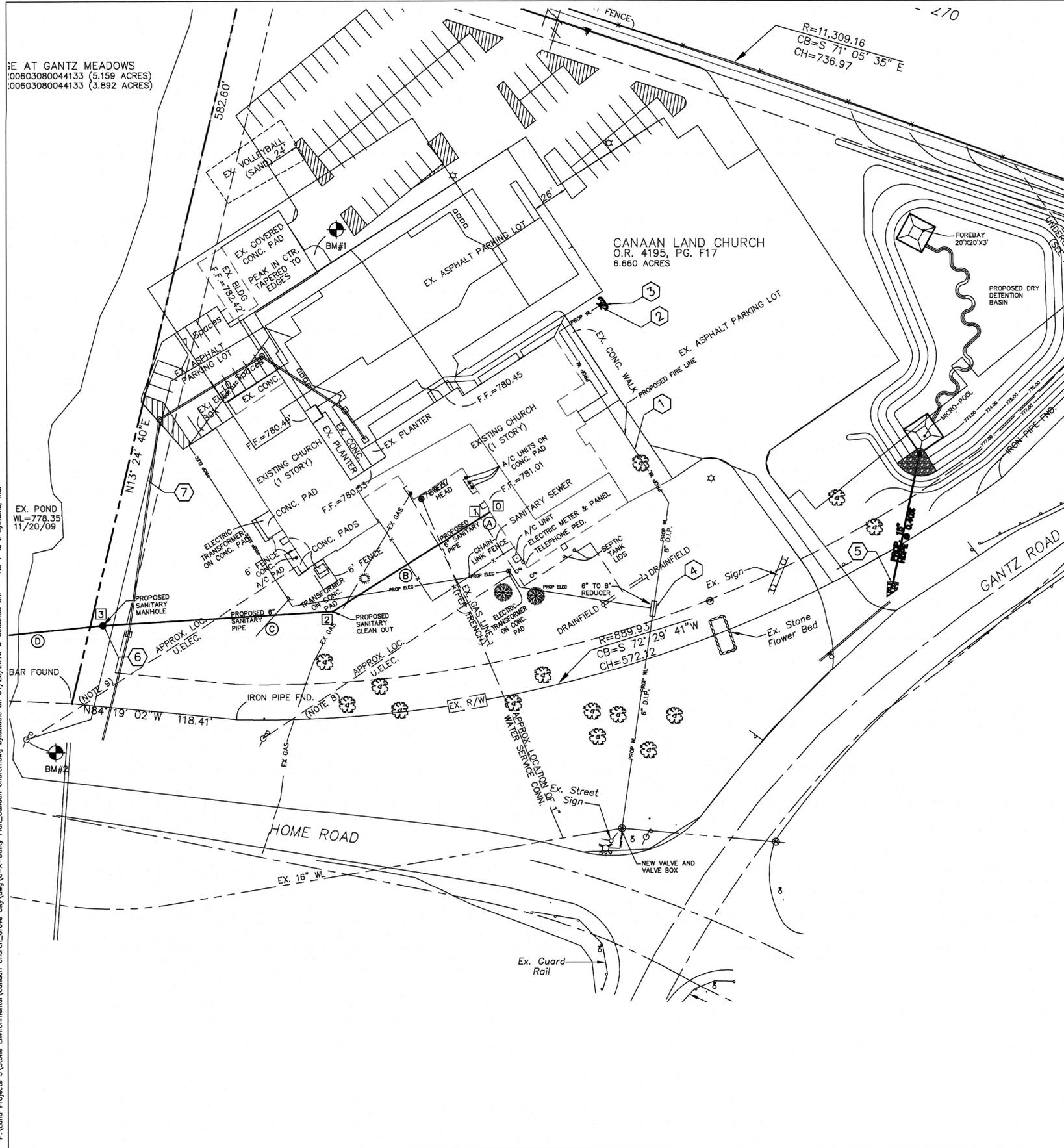
SEAL

REVISIONS	

DRAWN BY AEL	CHECKED BY SB
DATE 28 JANUARY, 2016	
SCALE N/A	
DWG. TITLE DETAIL SHEET	
SHEET	

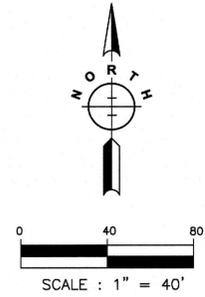
SE AT GANTZ MEADOWS
 00603080044133 (5.159 ACRES)
 00603080044133 (3.892 ACRES)

P:\Land Projects\3\Stone Environmental\Canaan Church\Grove City\Utility Plan\Canaan Church.dwg (C-X-Utility Plan_Canaan Church.dwg) by stl on 01/28/2016 @ 09:50:55 am for P & L Systems, Inc.



KEYED NOTES

- ① PROPOSED WATER LINE
- ② PROVIDE PROPOSED PRIVATE FIRE HYDRANT AS PER GROVE CITY STANDARD C-GC-31
- ③ PROVIDE PROPOSED PRIVATE FIRE HYDRANT PROTECTION AS PER GROVE CITY STANDARD C-GC-32
- ④ PROPOSED HOT BOX FOR FIRE SERVICE LINE, MODEL HB6E
- ⑤ PROPOSED HEAD WALL AS PER GROVE CITY STANDARDS C-GC-24 WITHOUT STONE VENEER
- ⑥ PROPOSED PRECAST MAN HOLE AS PER GROVE CITY STANDARDS C-GC-3
- ⑦ PROPOSED IT LINE, (1) 4" CONDUIT



UTILITY NOTES

- 1) THE CONTRACTOR SHALL PROVIDE MINIMUM CLEARANCES OF 1.0' VERTICAL AND 3.0' HORIZONTALLY BETWEEN ALL UNDERGROUND UTILITIES. NO UTILITY FACILITY SHALL BE INSTALLED WITH LESS THAN THESE MINIMUM CLEARANCES WITHOUT THE WRITTEN APPROVAL OF THE OWNERS OF THE OTHER FACILITIES INVOLVED. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL CLEARANCES WITH PROPOSED CONSTRUCTION. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR VARIOUS ITEMS. THE FLOW OF ALL SEWERS, DRAINS AND WATER COURSES ENCOUNTERED AND DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK SHALL BE RESTORED BY THE CONTRACTOR TO A SATISFACTORY CONDITION. PAYMENT FOR THIS ITEM SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.
- 2) THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- 4) THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONE ENVIRONMENTAL, INC. OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS OR FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
- 5) FOR SITE CONSTRUCTION DETAILS, SEE SHEETS XX.
- 6) PROPOSED FIRE HYDRANT ONLY WATER LINE TO BE CONSTRUCTION UPON THE COMPLETION OF SANITARY SEPTIC TANK & LEECH FIELD DEMOLITION.

SANITARY PIPE SCHEDULE

- Ⓐ 5.00 L.F. OF X" SANITARY SEWER AT 2.06% SLOPE.
- Ⓑ 127.64 L.F. OF X" SANITARY SEWER AT 2.06% SLOPE.
- Ⓒ 164.60 L.F. OF X" SANITARY SEWER AT 2.06% SLOPE.
- Ⓓ XXX.XX L.F. OF X" SANITARY SEWER AT X.XXX SLOPE.

SANITARY INVERT SCHEDULE

- ① INVERT = 777.01 AT BUILDING INVERT
- ② INVERT = 776.91 AT CLEAN OUT
- ③ INVERT = 774.28 AT CLEAN OUT
- ④ INVERT = 770.89 AT MANHOLE
- ⑤ INVERT = XXX.XX AT DESIGNED MANHOLE

ATTENTION
 CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS, SCHEDULING NECESSARY INSPECTIONS AND COMPLYING WITH ALL FEDERAL, STATE AND LOCAL CODES.

CLIENT LOGO

DEVELOPER/CLIENT

STONE ENVIRONMENTAL
 748 GREEN CREST DR
 WESTERVILLE, OH 43081
 (614) 865-1874

PROJECT NAME AND ADDRESS

CANAAN LAND CHURCH
 2777 GANTZ ROAD
 GROVE CITY, OH 43123

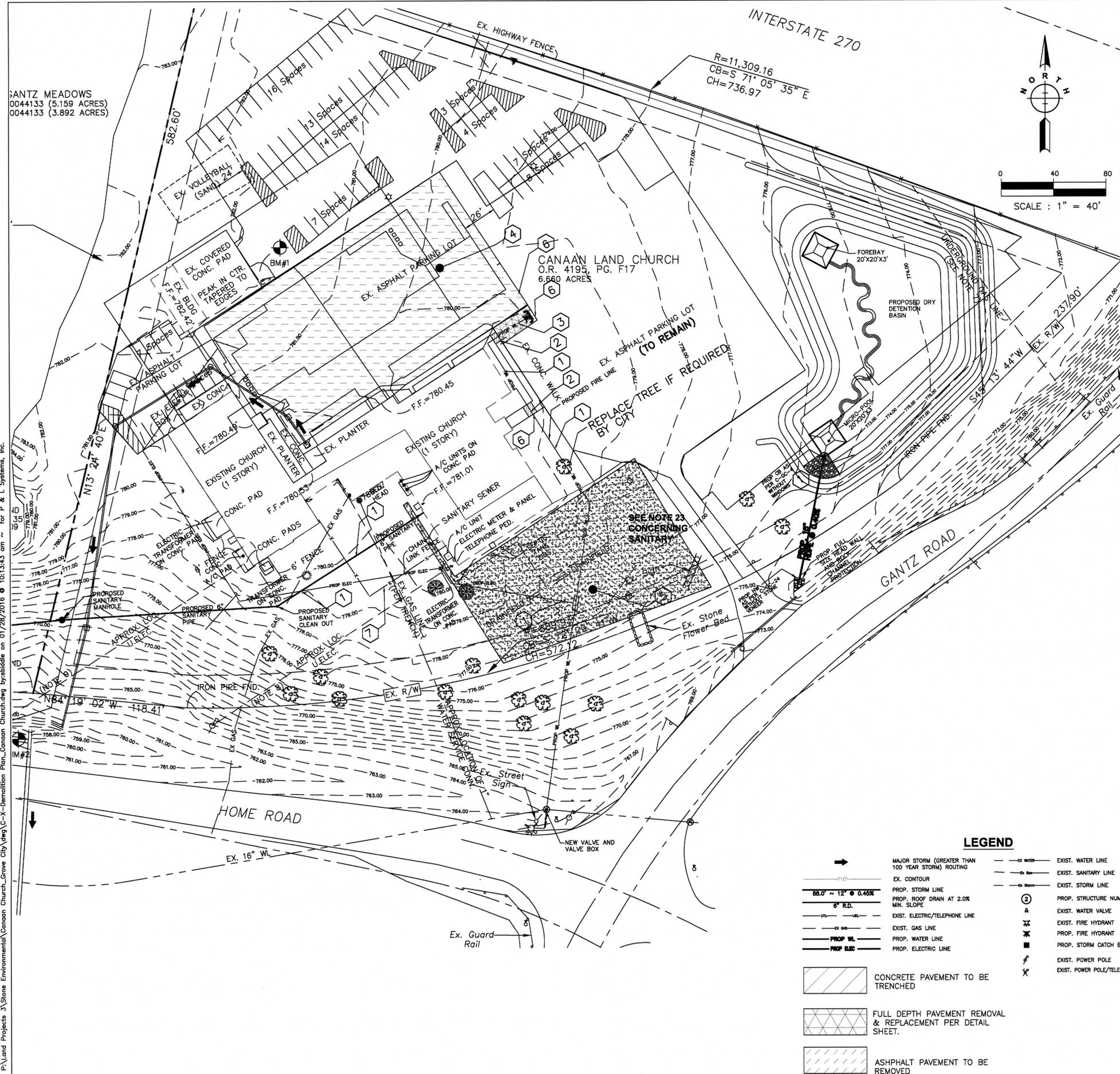
CONSULTANT

SEAL

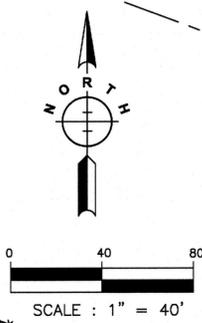
REVISIONS

DRAWN BY	CHECKED BY
AEL	SB
DATE	
28 JANUARY, 2016	
SCALE	
1" = 40'	
DWG. TITLE	
UTILITY PLAN	
SHEET	

GANTZ MEADOWS
0044133 (5.159 ACRES)
0044133 (3.892 ACRES)



INTERSTATE 270
R=11,309.16
CB=S 71° 05' 35" E
CH=736.97



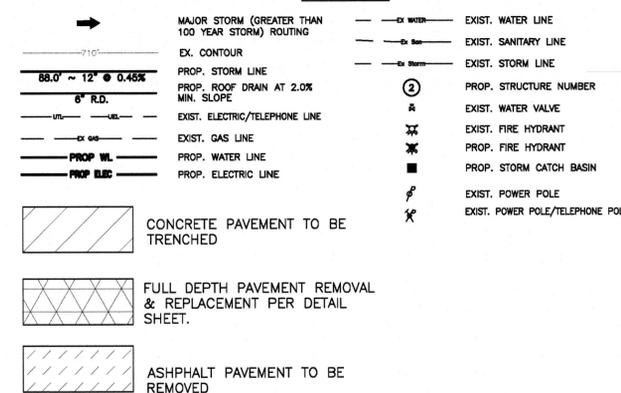
NOTES:

1. ALL DEMOLITION TO OCCUR WITHIN THE LIMITS OF THE PROPERTY WITH THE EXCEPTION OF UTILITY DISCONNECTS WHICH MAY OCCUR WITHIN THE RIGHT-OF-WAY OF THE PUBLIC ROADS. NO DEMOLITION SHALL TAKE PLACE ON ADJOINERS PRIVATE PROPERTY.
 2. COORDINATE WITH LANDLORD AND THE OWNER IN SCHEDULING WORK, IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO PERSONNEL AND PROPERTY.
 3. ARRANGE WITH THE LANDLORD A CONVENIENT TIME TO PERFORM DEMOLITION WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS/INGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES, ALL IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND LANDLORD REQUIREMENTS.
 4. TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 5. PROTECTION: PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTION TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROVIDE PROTECTION FOR ADJACENT PROPERTIES AS REQUIRED.
 6. RESTORE INADVERTENT SITE DAMAGE TO CONDITION EXISTING PRIOR TO START OF WORK.
 7. SITE CLEARING: REMOVE TREES (EXCEPT THOSE INDICATED TO REMAIN), SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS AS INDICATED OR WHICH INTERFERE WITH NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS TO A DEPTH OF AT LEAST 24" BELOW FINISHED GRADE, TOGETHER WITH SUBSEQUENT OFF-SITE DISPOSAL.
 8. STRIP AND STOCKPILE TOPSOIL THAT IS FREE OF CLAY, LARGE STONES AND DEBRIS, FOR REUSE IN GRASSED AND PLANTED AREAS.
 9. REMOVE EXISTING IMPROVEMENTS, BOTH ABOVE-GRADE AND BELOW-GRADE TO EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT NEW CONSTRUCTION AS FOLLOWS:
 - A. IN AREAS TO BE SURFACED OR PLANTED, REMOVE ALL EXISTING WALLS, CURBS, PAVING AND OTHER OBSTRUCTIONS TO DEPTH OF 24" BELOW FINISHED GRADE.
 10. SALVAGEABLE ITEMS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED (IF ANY), AND STORE ON OWNER'S PREMISES WHERE INDICATED OR DIRECTED.
 11. CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH GOVERNING REGULATIONS.
 12. FILL DEPRESSIONS AND VOIDS RESULTING FROM SITE CLEARING OPERATIONS, USING SATISFACTORY SOIL MATERIALS, PLACED IN MAXIMUM 6 INCH LIFTS. COMPACT EACH LIFT TO DENSITY OF SURROUNDING ORIGINAL GROUND.
 13. GRADE BACKFILLED SURFACE TO CONFORM TO PROPOSED SITE CONTOURS AND TO PROVIDE POSITIVE DRAINAGE.
 14. DISPOSE OF WASTE MATERIALS, INCLUDING TRASH AND DEBRIS, AND EXCESS TOPSOIL, OFF OWNER'S PROPERTY IN A LAWFUL MANNER.
 15. BURNING OF WASTE MATERIALS ON SITE IS NOT PERMITTED.
 16. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH SITE DEMOLITION AND MATERIAL DISPOSAL.
 17. SAWCUT PAVEMENT, CURBS AND SIDEWALKS. CUT CONCRETE AT NEAREST JOINT. CONTRACTOR TO PROVIDE CLEAN EDGES.
 18. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
 19. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS AND OBTAIN ALL APPLICABLE PERMITS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
 20. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.
 21. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE.
 22. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. ADO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.
 23. EXISTING LEACH FIELD AND APPURTENANCES TO BE REMOVED AS PER GROVE CITY STANDARDS. REMOVAL IS TO TAKE PLACE SUBSEQUENT TO THE COMPLETION WITH THE INSTALLATION OF THE PROPOSED SANITARY SEWER LATERAL.
- MAINTAIN MINIMUM 18" CLEARANCE AT WATER CROSSINGS. MAINTAIN MINIMUM SLOPE OF 2.08% IF EX. BUILDING IS UTILIZING BYPASS PUMPING THEN THE EXISTING BUILDING CANNOT BE RECONNECTED TO THE NEW SERVICE UNTIL THE NEW SEWER IS TESTED, INSPECTED, AND APPROVED. PERMIT FROM PERMIT OFFICE WILL BE REQUIRED.

KEYNOTES

- ① GREEN SPACE AREA TO BE TRENCHED (SEE STANDARD DWG C-CG-26)
- ② CONCRETE TO BE TRENCHED (SEE STANDARD DWG C-CG-26)
- ③ ASPHALT TO BE TRENCHED (SEE STANDARD DWG C-CG-26)
- ④ ASPHALT TO BE REMOVED
- ⑤ EXIST LEACH BED AND APPURTENANCES TO BE REMOVED(SEE NOTE 23)
- ⑥ SAWCUT PAVEMENT
- ⑦ EXISTING FENCE TO BE REMOVE FOR STORAGE AND REUSE

LEGEND



ATTENTION
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS, SCHEDULING NECESSARY INSPECTIONS AND COMPLYING WITH ALL FEDERAL, STATE AND LOCAL CODES.

DEVELOPER/CLIENT

STONE ENVIRONMENTAL
748 GREEN CREST DR
WESTERVILLE, OH 43081
(614) 865-1874

PROJECT NAME AND ADDRESS

CANAAN LAND CHURCH
2777 GANTZ ROAD
GROVE CITY, OH 43123

CONSULTANT

SEAL

REVISIONS

NO.	DESCRIPTION

DRAWN BY AEL	CHECKED BY SB
DATE 28 JANUARY, 2016	
SCALE 1"=40'	
DWG. TITLE DEMOLITION PLAN	
SHEET	

P:\Land Projects\3\Stone Environmental\Canaan Church\Demolition Plan\Canaan Church.dwg by rbradley on 01/28/2016 10:13:43 am for P & L Systems, Inc.

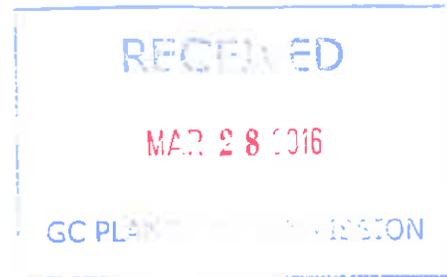
Project Narrative

Canaan Land FWB Church

2777 Gantz Road

Grove City, Ohio 43123

January 31, 2016



Canaan Land FWB Church is enjoying an increase in attendance that requires more seating, additional circulation space for greater numbers of attendees, and additional parking.

The proposed project consists of a 13,746 square feet addition to the existing church building. Addition will add a Sanctuary for 775 people, Toilet Rooms, Lobbies, Commons, Multiple use space, and one (1) Office. Building will be constructed using a pre-engineered metal frame with brick and stone facing the public streets and metal roofing, and siding to match existing structures on the site. Additional parking will be added to accommodate the increase in attendance. Utilities will be increased to accommodate the added population, including a new sanitary sewer service and a fire hydrant and fire line. Landscaping as required.

GENERAL WARRANTY DEED

04195F17

Folkert Box (700)

KNOW ALL MEN BY THESE PRESENTS, THAT GLENN J. DERIFIELD and ELOISE DERIFIELD, Husband and Wife,

37203

of Franklin County, State of Ohio, for valuable consideration paid, grant with general warranty covenants to CANAAN LAND CHURCH, AN OHIO CORPORATION,

whose tax mailing address is 3362 Noreen Drive, Columbus, Ohio 43220,

the following real property:

SEE EXHIBIT "A" ATTACHED

RECEIVED
MAR 28 2016
PLANNING COMMISSION

FRANKLIN COUNTY, OHIO

Recorded: MAY 4 - 1984 Time: 10:25 AM

PALMER C. McNEAL, Recorder

Recorder's fee \$ 10.00

Parcel No. 160-666 - Gantz Road

031A

Subject to taxes and assessments which are now or may hereafter become liens on said premises and except conditions, restrictions and easements, if any, contained in former deeds of record for said premises, subject to all of which this conveyance is made.

Prior Instrument Reference: Volume 3527, Page 264

Grantors release all rights of dower therein.

~~Grantors release all rights of dower therein.~~

WITNESS our hand s, this 2nd day of MAY, 1984

Signed and Acknowledged in the Presence of:

Charles M. Sutton Jr.
R.T. O'Brien

Glenn J. Derifield
GLENN J. DERIFIELD

Kathleen A. Clapp
Percy Haddow

Eloise Derifield
ELOISE DERIFIELD

STATE OF OHIO, FRANKLIN County, ss: Before me, a Notary Public, in and for said County

personally appeared the above named Glenn J. Derifield and Eloise Derifield,

who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal, at Columbus, Ohio, this 2nd day of MAY, A.D., 1984.

R.T. O'Brien
R. T. O'BRIEN, Attorney at Law
NOTARY PUBLIC - STATE OF OHIO

TRANSFERRED
MAY 04 1984
ROGER W. TRACY
AUDITOR
FRANKLIN COUNTY, OHIO

66643
CONVEYANCE TAX
\$ 35.80
ROGER W. TRACY
FRANKLIN COUNTY AUDITOR

EXHIBIT "A"

Situated in Virginia Military Survey No. 6839 in the Township of Jackson, County of Franklin, State of Ohio and being a portion of the 37.991 acre tract of land conveyed to Margaret C. Harter by deed of record in Deed Book 2222, page 141, Recorder's Office, Franklin County, Ohio, said 37.991 acre tract also being a portion of Lot Number Four (4) of an amicable division of the farm lands of Zachariah Marsh, deceased, among his heirs, as the said lot is numbered and delineated upon the recorded plat thereof, of record in Plat Book 3, Page 424, Recorder's Office, Franklin County, Ohio; the tract herein to be conveyed being bounded and described as follows:

Beginning at an iron pin at the intersection of a west line of said Harter tract with the north right-of-way line of Relocated Gantz Road, as shown upon Sheet 22 of 31 of Ohio Dept. of Highways right-of-way plans for FRA-270-6.095, said iron pin being N 13° 24' 40" E a distance of 93.22 feet from a point at the southwest corner of said Harter tract, and said iron pin also being in the east line of a tract of land conveyed to Marcus E. and Clara M. Schultz by deed of record in Deed Book 1245, page 127, Recorder's Office, Franklin County, Ohio;

thence N 13° 24' 40" E along a portion of a west line of said Harter tract and along a portion of the east line of said Schultz tract a distance of 582.60 feet to an iron pin in the curved south limited access right-of-way line of Interstate Route 270, said iron pin being 150.00 feet right-of-centerline station 321+63.26 of Interstate Route 270, as shown upon Sheet 20 of 31 of said right-of-way plans;

thence easterly along the curved south limited access right-of-way line of Interstate Route 270 and with a curve to the right having a radius of 11,309.16 feet, a chord distance of 736.97 feet bearing S 71° 05' 35" E to an iron pin at the intersection of the curved south limited access right-of-way line of Interstate Route 270 with the northwest right-of-way line of Relocated Gantz Road, said iron pin being 150.00 feet right of centerline station 329+10.00 of Interstate Route 270;

thence S 45° 13' 44" W along the northwest right-of-way line of Relocated Gantz Road a distance of 237.90 feet to an iron pin located 65.00 feet left of centerline station 45+50.00.00 of Relocated Gantz Road;

thence southwesterly along the curved northwest right-of-way line of Relocated Gantz Road and with a curve to the right having a radius of 889.93 feet, a chord distance of 572.12 feet bearing S 72° 29' 41" W to an iron pin located 65.00 feet left of centerline station 39.+25.00 of Relocated Gantz Road;

thence N 84° 19' 02" W along the north right-of-way line of Relocated Gantz Road a distance of 118.41 feet to the place of beginning;

Containing 6.660 acres of land more or less.

0-32A
Acc. of
666
JACKSON

5.4.84

1

Canaan Land FWB Church

2777 Gantz Road

Grove City, Ohio



Exterior Finishes

<u>Item</u>	<u>Color</u>	<u>Manufacturer</u>
Brick	Shelby	Glen-Gery
Stone	Old Dominion	Heritage Stone
Metal Siding	Sandstone	Chief Buildings
Metal Roof	Charcoal Gray	Chief Buildings
Fascia	Charcoal Gray	Chief Buildings
Downspouts	Sandstone	Chief Buildings
Storefront	Solar Bronze	Kawneer
Clear Glass	Low E, Double glazed	