

PROJECT NARRATIVE

FedEx Ground
Grove City, OH

CY15 OFFICE RENOVATIONS AND PARKING IMPROVEMENTS

6120 SOUTH MEADOWS DRIVE
GROVE CITY, OH 43123

General Description of Work

The CY15 office renovations and pavement improvements projects will be implemented in 2016. The general improvements include site pavement replacement and restriping, interior office renovations, an approximate 2000 square foot expansion to a storage room located along the east side of the hub, an approximate 1500 square foot expansion of the gateway security facility, interior remodeling of the gateway facility, truck entrance improvements which includes additional on-site queuing lanes, and reconfiguration of the northwest parking lot. The various scope of work is detailed below per parcel ID.

Parcel 040-004962

The work proposed within this parcel involves an expansion and renovation of the security gatehouse. The gatehouse expansion is approximately 1500 square feet and the total building square footage will be approximately 4600 square feet when completed. The existing main entrance gate configuration will remain; however, a secondary guardhouse will be located several hundred feet west along the inbound access road to allow for 3-lane truck queuing during peak delivery season. This new entrance configuration will facilitate truck movements to mitigate backups that currently occur along South Meadows Drive and London-Groveport Road.

Parcel 040-004963

The work proposed within this parcel involves the reconfiguration of the existing paving to provide 60 employee parking stalls and 60 tractor parking stalls. An approximate 50 foot strip of existing pavement will be removed along the existing northern edge of the parking lot to allow for the appropriate setbacks, mounding, and landscape screening. The existing lighting will remain in place and no additional lighting is proposed at this time. Minor site electrical work will involve the installation of electrical pedestals for engine block heater connections.

Parcel 040-004963 cont....

The existing curb cut from Seeds Road into the northwest parking lot will be widened to accommodate a center island to house card readers and gate controllers. A slide truss gate will also be installed at the existing modified entrance. The existing 6' chain link fence will remain in place with the exception of the portion along north property line which will be relocated to the south side of the berm or the new north edge of the parking lot.

A new curb cut is proposed along Seeds Road opposite of the existing curb cut. The new entrance will have the same configuration of a central median, card readers, gate controllers, and a slide truss gate.

Additional work within this parcel involves pavement replacement along the west side of the hub and restriping of existing parking stalls.

Parcel 040-004964

The work proposed within this parcel involves exterior pavement rehabilitation and restriping around the perimeter of the building, a small 2000 square foot expansion of a storage area along the east side of the hub, and interior renovations which consists mainly of new floor to ceiling finishes.

Stormwater Management

With the pavement demolition occurring with the northwest parking lot of Parcel 963, there is a net reduction of impervious area from pre-construction to post-construction conditions. Aside from the relocation or replacement of several existing roof leaders or perimeter drains there is no storm sewer work proposed under this application.

Utilities

The gateway expansion requires a minor relocation of the water and gas services. A new electrical service will be provided to the northwest lot to serve the block heater pedestals and an electric service will be provided to the new guardhouse. There project involves the demolition or relocation of several existing block heater pedestals, light poles or control panels located within the truck parking areas adjacent to the hub.

February 29, 2016

Kimberly Shields
AICP Planning and GIS Supervisor
4035 Broadway
Grove City, Ohio 43123

RE: Review Letter for FedEx Development Plan

Dear Ms. Shields:

Below is the letter from The City of Grove City to John Ortli on February 22, 2016. Our responses to the questions will be in bold type.

Staff has reviewed your development plan application for the FedEx Ground Office and Parking Improvements located at 6120 South Meadows Drive. The control number for this application is #201602120011 and should be referenced on any future correspondence concerning this matter. Having compiled the comments/recommendations provided to the Development Department from our various departments, we request the following additional information and/or corrections: Development Department (Kimberly Shields, 614-277-3007)

1. The proposed mounding should be extended around the northwest corner of the northwest parking lot (PID 040-004963) to screen the lot from view along London-Groveport Road.
Response: Additional mounding and landscaping has been provided at the northwest corner of the northwest parking lot.
2. Additional landscaping should be installed on the northeast corner of the northeast lot (PID 040-004962) to screen the drive and parking lot from London Groveport Road.
Response: Additional landscaping has been provided at the northeast and northwest corners of the northeast corner lot.
3. Additional landscaping should be installed on both sides of South Meadows Drive to enhance the screening and improve the visual appeal of the site from the right-of-way.
Response: Additional landscaping has been provided along South Meadows Drive. There is an existing electrical easement traversing a portion of the northwest parcel. We are showing landscaping within this easement, but it is possible that AEP will either require removal of this landscaping or they will trim it accordingly.
4. Any dead or dying landscaping on the north side of the northeast parking lot (PID 040-004962) should be replaced.
Response: A field survey could not be conducted prior to the resubmission and an assessment of the health of the vegetation is better suited for the spring growing season. A note has been added to replace dead vegetation along SR 665 at the northeast parking lot.
5. Additional landscaping should be installed between Seeds Road and the northwest parking lot to compensate for the addition of truck parking to the lot.
Response: Additional landscaping has been provided along the north side of Seeds road to screen the northwest parking lot.

6. Staff is not supportive of the proposed perimeter fencing (10' barbed wire chain link). All fencing around parking lots visible from any public right-of-way should be black decorative metal, as currently utilized on the site.
Response: The existing ornamental fence will remain for the northwest parking lot. The portion of fence along the north property line is being relocated south approximately 50' to the north edge of the new parking lot limits.
7. Staff is not supportive of the proposed truss gates to access the lots off Seeds Road and believes that a more visually appealing gate should be used (similar to image below).
Response: The security gates for the two Seeds Road entrances has been changed to an ornamental slide gate that will match the existing black ornamental fencing surrounding the northwest parking lot.
8. Code requires that all parking rows end in a landscape area. Landscape peninsulas should be added between parking spaces and entrance drives to provide separation on the lots accessed from Seeds Road (see image to the right).
Response: The entrance drives have been modified to provide a landscape island along the west side of the entrance to buffer the adjacent parking stalls.
9. Planting typicals showing installation details should be added to sheet L-101. Tree typicals should state that ropes, burlap, 50% of wire cage and all trunk wrap will be removed prior to landscape inspection.
Response: Sheet L-102 Landscape Details has been added to the plan set.
10. The temporary HR trailer south of the existing gatehouse should be labelled on sheet C-501.
Response: The additional labels have been provided on C-501.
11. The signature block on the cover sheet should be amended to include signature spaces for the City Administrator, Service Director, "Review for the City of Grove City", and Jackson Township Fire Department.
Response: The title block has been revised.

Building Division (Laura Scott, 614-277-3086)

12. We would like to see detail on the charging stations, how they will be powered, locations of transformers. Will any lighting be removed?
Response: The electrical site plans have been added to the plan set.

Urban Forestry (Jodee Lowe, 614-277-1103)

13. Landscaping should be installed around the proposed gatehouse expansion. Per 1136.09(a)(4), the following landscaping shall be installed:
 - a. One tree, two inch minimum caliper, shall be planted for every sixty (60) lineal feet of building perimeter or fraction thereof.
 - b. A minimum of twenty (20) square feet of landscaped area shall be required for each fifty (50) lineal feet of building perimeter. These landscape areas are to be constructed adjacent to the building and are to contain shrubs, ground cover, or other ornamental plantings. The average initial height of these plantings is to be twenty-four (24) inches minimum at five (5) foot maximum spacing.**Response: A landscape plan has been provided along the north side of the gateway building.**

Service Department (Cindi Fitzpatrick, 614-277-1110)

14. No comments provided.

Grove City Division of Police (Jeff Pearson, 614-277-1709)

15. No comments provided.

Jackson Township Fire Department (Tammy Green, 614-945-5043)

16. No comments provided.

If you have any questions about my above responses, please call me at 614-600-5904.

Sincerely,

John Ortl

John R. Ortl, PE

AECOM

Project Manager

Site Design Department Manager

FedEx Ground Columbus, OH Hub

Office Renovations, Parking Improvements and Gateway Building Expansion

Grove City, Ohio



RECEIVED

MAR 01 2016

GO PLANNING DIVISION

OWNER:
FedEx Ground
1000 FedEx Drive
Moon Township, PA 15108

SITE:
6120 SOUTH MEADOWS DR.
GROVE CITY, OH 43123

INDEX OF DRAWINGS

SHEET NAME	NO.
TITLE SHEET AND LOCATION MAP	C-000
GENERAL NOTES	C-001
GENERAL NOTES	C-002
DEMOLITION PLAN - OVERALL	C-100
DEMOLITION PLAN	C-101
DEMOLITION PLAN	C-102
DEMOLITION PLAN	C-103
DEMOLITION PLAN	C-104
DEMOLITION PLAN	C-105
LAYOUT AND STRIPING PLAN - OVERALL	C-500
LAYOUT AND STRIPING PLAN	C-501
LAYOUT AND STRIPING PLAN	C-502
LAYOUT AND STRIPING PLAN	C-503
LAYOUT AND STRIPING PLAN	C-504
LAYOUT AND STRIPING PLAN	C-505
GRADING DETAILS AND MOUNDING SECTION	C-506
MISCELLANEOUS DETAILS	C-601
MISCELLANEOUS DETAILS	C-602
MISCELLANEOUS DETAILS	C-603
MISCELLANEOUS DETAILS	C-604
LANDSCAPE PLAN	L-101
LANDSCAPE DETAILS	L-102
BLOCK HEATER PEDESTAL DETAILS	E00-4
EAST TRACTOR PARKING	E02-2
FAR EAST TRACTOR PARKING	E02-3
NEW GUARD HOUSE ELECTRICAL DETAILS	E08-1
NORTHWEST PARKING	E11-1

LOCATION MAP
SCALE: NTS



UNDERGROUND UTILITIES
2 WORKING DAYS
BEFORE YOU DIG
Call...800-362-2784 (Toll Free)
IO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

APPROVED BY:

CITY OF GROVE CITY, OHIO

REVIEW FOR THE CITY OF GROVE CITY _____ DATE _____ CITY SERVICE DIRECTOR _____ DATE _____

CITY ADMINISTRATOR _____ DATE _____ JACKSON TOWNSHIP FIRE DEPARTMENT _____ DATE _____

GENERAL NOTES
 CURRENT CITY OF COLUMBUS AND OHIO DEPARTMENT OF
 CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMSC AND ODOT
 WITH THE REQUIREMENTS OF THE CITY OF GROVE CITY, OHIO,
 THERETO, IN FORCE ON THE DATE OF THE CONTRACT SHALL
 AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON
 AS SUCH SPECIFICATIONS ARE MODIFIED BY THE FOLLOWING
 THE CONSTRUCTION DETAILS SET FORTH HEREIN, IN CASE OF ANY
 IDENTIFIED TECHNICAL SPECIFICATIONS, THE GREATER REQUIREMENT
 (AS DETERMINED BY THE SOLE DISCRETION OF THE CITY) UNLESS
 THE CITY GENERAL PROVISIONS OF THE ODOT AND THE CITY OF
 DIFIED HEREIN SHALL NOT APPLY. THIS EXCLUSION INCLUDES, BUT IS
 ID TO, DIVISION 100 OF THE ODOT AND CITY OF COLUMBUS CMSC.

CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, PROPERTY
 POINTS, AND STAKES. ANY BENCH MARK, PROPERTY CORNER, OR
 ED OR DISTURBED BY THE CONTRACTOR SHALL BE RESET BY AN OHIO
 AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR AND ANY AND ALL SUBCONTRACTORS SHALL BE
 OR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY
 ER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION
 G EMPLOYEES) AND PROPERTY. IT IS ALSO SOLELY THE
 CONTRACTOR AND SUBCONTRACTOR TO INITIATE, MAINTAIN, AND
 REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH
 ALL OSHA RULES AND REGULATIONS.

CONTRACTOR OR DEVELOPER SHALL SECURE AND PAY FOR ALL PERMITS
 , LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER
 ETION OF THE IMPROVEMENTS SHOWN ON THE PLANS.

CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS IN ADVANCE
 (S EXCLUDED) OF THE ANTICIPATED START OF WORK REQUIRING
 R APPROVAL BY THE CITY. WORK SHALL NOT COMMENCE UNTIL A
 NFERECE IS HELD. THE CONTRACTOR OR DEVELOPER SHALL SUPPLY
 HE APPROVED CONSTRUCTION PLANS, ALONG WITH ONE (1) COMPLETE
 NE (1) ELECTRONIC COPY OF ALL PLAN SHEETS (TIF FORMAT), TO
) COPY OF THE PLANS TO THE DIRECTOR OF PUBLIC SERVICE ONE (1)
 RE-CONSTRUCTION CONFERENCE.

NOTIFY ALL ADJACENT LANDOWNERS A MINIMUM OF ONE (1) WEEK IN
 WR THEIR PROPERTY. THE CONTRACTOR SHALL COORDINATE WITH THE
) FORMAT FOR THE NOTICE.

PROVIDE PRE-NOTIFICATION OF WORK NO LESS THAN FORTY-EIGHT
 WORK BEING PERFORMED THAT WILL HAVE AN EFFECT ON RESIDENTS
 HE PRE-NOTIFICATION MUST BE IN WRITING AND IT MUST INCLUDE: (1)
) 24-HOUR PHONE NUMBER; (2) A DESCRIPTION OF WORK BEING
) OF RESTRICTIONS ON THE AFFECTED RESIDENTS AND/OR BUSINESSES;
) AFFECTED RESIDENTS AND/OR BUSINESSES. THE WRITTEN NOTIFICATION
) TO THE CITY FOR APPROVAL AT LEAST SEVEN (7) DAYS PRIOR TO

ALSO POST "NO PARKING" SIGNS IN APPROPRIATE AREAS NO LESS
 VANCE OF ANY PARKING RESTRICTION. THE CITY OF GROVE CITY WILL

APPROVED "NO PARKING" SIGNS ON CARDSTOCK PER CONTRACT FOR
 E. THE CONTRACTOR MUST INSERT THE DAYS AND TIMES OF THE
 TRICTION, THE REASON FOR THE RESTRICTION, AND THE
) INFORMATION ON THE CITY-PROVIDED CARDSTOCK SIGN USING BLACK
 HE CONTRACTOR MUST ALSO SUPPLY STAKES AND WEATHER RESISTANT
 ION OF SIGNS AND TO PROTECT THE SIGNS FROM DAMAGE CAUSED BY
) STAKES FOR "NO PARKING" SIGNS SHALL BE 1-IN. X 2-IN. X 36-IN.
) LEEVES SHALL BE 9-IN. X 12-IN. STAPLESS HEAVYWEIGHT JOB TICKET
) LL NO. 812754) OR APPROVED EQUAL. THE WEATHER RESISTANT
) LL BE FIXED TO THE STAKE USING HEAVY-DUTY STAPLES.
) ST BE INSTALLED, MAINTAINED, REVISED (IF WEATHER CAUSE AN
) C RESTRICTION), AND REMOVED BY THE CONTRACTOR. SHOULD THE
) REQUIRE MORE THAN THE MAXIMUM OF 150 CITY-PROVIDED "NO
) CONTRACTOR MUST SUPPLY ADDITIONAL SIGNS THAT ARE EQUAL IN
) ITY TO THE CITY PROVIDED SIGNS AT NO ADDITIONAL COST. NO
) ION WILL BE PAID FOR RESIDENT/BUSINESS NOTIFICATION OR POSTING

THE CONTRACTOR SHALL PROVIDE ALL NOTICES REQUIRED UNDER THE
 AND SPECIFICATIONS STRICTLY IN THE MANNER PRESCRIBED THEREIN.
) DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY AND ITS
) REPRESENTATIVES, AND AGENTS (HEREINAFTER COLLECTIVELY REFERRED
) INST ANY AND ALL CLAIMS, ACTIONS, DAMAGES, COSTS, AND LEGAL
) WE AND NATURE THAT THE CITY MAY SUSTAIN, INCUR OR BE REQUIRED
) IT NOT LIMITED TO, CONSULTANT AND ATTORNEY'S FEES,
) ; OR OTHER EXPENSES) ARISING OUT OF OR IN CONNECTION WITH THE
) TO STRICTLY COMPLY WITH THE NOTICE PROVISIONS IMPOSED UNDER
) ENTS AND SPECIFICATIONS.

ANY AMOUNTS DUE OR THAT MAY BECOME DUE TO THE CONTRACTOR
) TO SATISFY ANY CLAIM FOR INDEMNIFICATION UNDER THIS PROVISION.
) LIGATION UNDER THIS SECTION SHALL NOT BE DEEMED WAIVED BY THE
) TO RETAIN IN WHOLE OR ANY PART OF SUCH MONIES DUE TO THE
) ALL SUCH SUIT, ACTION, DAMAGES AND/OR COSTS HAVE TO HAVE BEEN
) NED PRIOR TO RELEASE OF ANY MONIES TO THE CONTRACTOR UNDER
) HALL SUCH OBLIGATION BE DEEMED LIMITED OR DISCHARGED BY THE
) INSURANCE FOR LIABILITY FOR DAMAGES IMPOSED BY LAW UPON THE
) CONTRACTORS OR SUPPLIERS, OR THE CITY.

CITY OF GROVE CITY WILL PROVIDE ALL CONSTRUCTION INSPECTION FOR
 RK SHALL COMMENCE UNTIL ARRANGEMENTS HAVE BEEN MADE WITH
) DIRECTOR OF PUBLIC SERVICE FOR INSPECTION SERVICES AND
) CTION FEE DEPOSIT.

ITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE
) AVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS
) ED BY THE OWNER OF THE UNDERGROUND UTILITY AS REQUIRED BY
) ECTION 3781.27 OF THE OHIO REVISED CODE. THE CITY OF GROVE CITY
) BILITY FOR THE ACCURACY OF LOCATIONS OR DEPTHS OF
) ES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. WHEN
) CTILY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING
) NTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY
) THE DESIGN ENGINEER.

NOTIFY THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT
) LEAST 48 HOURS, AND NO MORE THAN 10 DAYS PRIOR TO
) H TIME PERIODS NOT INCLUDING WEEKENDS OR HOLIDAYS. CONTRACTOR
) ACT ALL UTILITY OWNERS WHO ARE NOT SUBSCRIBERS TO OUPS.

S OR OTHER APPARENT PHYSICAL EVIDENCE IN OR NEAR THE PROJECT
) THE EXISTENCE OF UNDERGROUND PETROLEUM OR NATURAL GAS
) ACTOR SHALL ADDITIONALLY CONTACT THE OIL & GAS PRODUCERS
) TION SERVICE (OGPUPS) AT 800-925-0988, TOLL FREE. SAID
) E GIVEN A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF

THE FOLLOWING UTILITIES ARE KNOWN OR CAN BE EXPECTED TO BE LOCATED WITHIN THE
 LIMITS OF THIS PROJECT.

UTILITY	OWNER	TELEPHONE
WATER, SANITARY, STORM AND STREET LIGHTING FACILITIES	CITY OF GROVE CITY 4035 BROADWAY GROVE CITY, OHIO 43123	614-277-1100

THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION
 AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THE
 PLANS OR NOT. THE CONTRACTOR SHALL PROCEED WITH THE WORK AND PROTECT ALL
 UNDERGROUND UTILITIES IN A MANNER AT LEAST AS CAUTIOUS AND PROTECTIVE OF SAFETY
 AND UNDERGROUND UTILITIES AS THOSE METHODS IDENTIFIED IN SECTIONS 3781.25 THROUGH
 3781.30 OF THE OHIO REVISED CODE.

ALL PRIVATE UTILITY RELOCATION (GAS, ELECTRIC, PHONE, ETC.) WILL BE THE RESPONSIBILITY
 OF THE UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE
 RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE
 OWNER OF THE AFFECTED UTILITY.

8. EXPOSE EXISTING UTILITY: WHERE POTENTIAL GRADE AND ALIGNMENT CONFLICTS MIGHT
 OCCUR WITH EXISTING UTILITIES, OR AS SPECIFICALLY CALLED OUT ON THE PLANS, THE
 CONTRACTOR SHALL EXPOSE UTILITIES OR STRUCTURES SUFFICIENTLY IN ADVANCE OF LAYING
 PIPE FOR THE DESIGN ENGINEER TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE
 PROPOSED CONSTRUCTION. ANY DISCREPANCY WITH THE PLANS SHALL BE COORDINATED WITH
 THE CITY TO ENSURE THAT THERE ARE NO CONSTRUCTION OR CONFLICT ISSUES ASSOCIATED
 WITH SAID DISCREPANCY. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE
 BID FOR THE VARIOUS IMPROVEMENT ITEMS IF A SPECIFIC BID ITEM IS NOT PROVIDED IN THE
 ESTIMATE OF QUANTITIES.

9. CONFLICTS: IN ALL CONFLICTS IN ELEVATION BETWEEN THE WATER MAIN AND GRAVITY
 SEWERS, THE WATER MAIN SHALL BE LOWERED DURING CONSTRUCTION, UNLESS OTHERWISE
 DIRECTED BY THE CITY.

10. HOUSE SERVICE LINES: THE CONTRACTOR SHALL ASSUME THAT EACH HOUSE HAS AT
 LEAST ONE (1) WATER AND ONE (1) GAS SERVICE LINE UNLESS MORE ARE MARKED BY THE
 UTILITY COMPANY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND SUPPORT THESE
 SERVICE LINES. COST FOR LOCATION AND SUPPORT SHALL BE INCLUDED IN THE COST BID
 FOR VARIOUS ITEMS. WHERE SERVICE LINES ARE CUT OR BROKEN, THE LINES ARE TO BE
 RESTORED TO THE STANDARDS OF THE UTILITY OWNER AT THE CONTRACTOR'S EXPENSE WITHIN
 12 HOURS OF THE CUTTING OR BREAKING OF THE SERVICE LINE.

11. SITE VISIT: THE CONTRACTOR SHALL PERFORM FIELD RECONNAISSANCE TO BECOME
 ACQUAINTED WITH THE EXISTING SITE CONDITIONS AND THE POTENTIAL EFFECTS UPON THE
 SCOPE OF WORK.

12. RIGHTS-OF-WAY: IN ADDITION TO THE DIRECT REQUIREMENTS OF THE CONTRACT
 SPECIFICATIONS, THE CONTRACTOR SHALL OBSERVE AND CONFORM TO THE SPECIFIC
 REQUIREMENTS OF ALL RIGHTS-OF-WAY, INCLUDING EASEMENTS, COURT ENTRIES,
 RIGHTS-OF-ENTRY, OR ACTION FILED IN COURT IN ACCORDANCE WITH THE CODE OF THE
 APPLICABLE GOVERNING AGENCY. THE COST OF THE OPERATIONS NECESSARY TO FULFILL
 SUCH REQUIREMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS OF
 THE CONTRACT UNLESS SPECIFIC PROVISION IS MADE IN THE CONTRACT SPECIFICATIONS FOR
 SUCH COST UNDER SPECIFIC ITEMS OF THE CONTRACT.

13. EASEMENTS: APPROVAL OF THIS PLAN IS CONTINGENT UPON ALL EASEMENTS REQUIRED
 FOR THE CONSTRUCTION OF THE WORK BEING SECURED AND SUBMITTED TO THE CITY OF
 GROVE CITY FOR RECORDING PRIOR TO COMMENCEMENT OF THE WORK, AND NO WORK WHICH
 REQUIRES AN EASEMENT WILL BE ALLOWED TO PROCEED UNTIL THIS HAS BEEN DONE.

14. WORK LIMITS: THE CONTRACTOR IS RESPONSIBLE FOR CONTAINING ALL PERFORMED WORK
 AND ALL EQUIPMENT, MATERIALS, VEHICLES, ETC., USED TO COMPLETE THE WORK WITHIN THE
 RIGHTS-OF-WAY OF THE STREETS, ROADWAYS, PERMANENT EASEMENTS AND THE PROPERTY
 BOUNDARIES OF THE PROJECT IMPROVEMENTS, AS SHOWN ON THESE PLANS. THE
 CONTRACTOR IS RESPONSIBLE FOR COST OF RESTORATION FOR ANY AREA OUTSIDE OF THE
 RIGHT-OF-WAY/PERMANENT EASEMENT OR PROJECT PROPERTY BOUNDARIES TO FORMER
 CONDITION OR BETTE AND TO THE SATISFACTION OF THE PROPERTY OWNER AND THE CITY.

15. CONTRACT WORK PERFORMED BY THE CITY: IN THE EVENT THAT IT BECOMES
 NECESSARY FOR THE CITY TO PERFORM WORK OF AN IMMEDIATE NATURE (SUCH AS THE
 PLACEMENT OF BARRICADES OR REPLACEMENT OF SIGNS OR OTHER WARNING OR PROTECTIVE
 DEVICES) REQUIRED OF THE CONTRACTOR BY THIS CONTRACT BECAUSE OF FAILURE OR
 REFUSAL OF THE CONTRACTOR TO PERFORM SUCH WORK, THE CONTRACTOR/DEVELOPER
 SHALL REIMBURSE THE CITY AT THE RATE OF 2.5 TIMES THE ACTUAL COST OF LABOR,
 MATERIALS AND EQUIPMENT NECESSARY TO PERFORM SUCH WORK.

16. CONVENIENCE FACILITIES: THE CONTRACTOR SHALL FURNISH AND MAINTAIN SANITARY
 CONVENIENCE FACILITIES FOR THE WORKMEN AND INSPECTORS FOR THE DURATION OF THE
 WORK. COST SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

17. NON-RUBBER Tired VEHICLES: NO NON-RUBBER Tired VEHICLES SHALL BE MOVED ON
 CITY STREETS, EXISTING PRIVATE ROADWAYS OR PARKING LOTS. EXCEPTIONS MAY BE GRANTED
 BY THE CITY OF GROVE CITY, FOR PUBLIC ROADWAYS ONLY, WHERE SHORT DISTANCES AND
 SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING OF EXCEPTIONS MUST BE IN WRITING, AND
 ANY DAMAGE MUST BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF
 GROVE CITY.

18. SIGNS, MAILBOXES, FENCES, ETC.: THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 RESTORING ALL SIGNS, MAILBOXES, FENCES, GUARDRAIL, SHRUBS, PROPERTY, DRAINAGE
 STRUCTURES, OR OTHER PHYSICAL FEATURES DISTURBED OR DAMAGED DURING CONSTRUCTION,
 WHETHER SHOWN ON THE PLANS OR NOT, TO THEIR ORIGINAL OR BETTER CONDITION AND
 LOCATION AND TO THE SATISFACTION OF THE PROPERTY OWNER AND THE CITY OF GROVE
 CITY. COST TO BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

19. PERMANENT SIGNS: ALL VISIBLE ELEMENTS OF SIGN MOUNTING SYSTEMS, E.G. SIGN
 BACKING ASSEMBLIES, SUPPORT POSTS, STAINLESS STEEL BANDING, BACK OF ALL SIGNS ETC.,
 SHALL BE PAINTED SIMILAR TO FEDERAL SPECIFICATION 595-B COLOR #27040, BLACK. ALL
 PAINTING SHALL BE PERFORMED UNDER CONTROLLED ENVIRONMENTAL CONDITIONS, AND IN
 ACCORDANCE WITH ALL MANUFACTURERS' RECOMMENDATIONS PERTAINING TO SURFACE
 PREPARATION, MATERIAL HANDLING, AND APPLICATION.

20. PRUNING: BRANCHES OR GROWTH WHICH INTERFERES WITH THE FREE CONSTRUCTION OF
 THE PROJECT MAY BE REMOVED FROM TREES/BUSHES THAT ARE TO BE SAVED BY THE USE
 OF PRUNING TOOLS WITH PRIOR APPROVAL FROM THE CITY'S URBAN FORESTER. ALL PRUNING
 TOOLS USED AND METHODS EMPLOYED SHALL MEET THE APPROVAL OF THE CITY'S URBAN
 FORESTER. THE BRANCHES SHALL BE REMOVED WITH A GOOD CLEAN CUT MADE FLUSH WITH
 THE PARENT TRUNK OR, IF HAVING A GOOD HEALTHY LATERAL BRANCH, THE CUT SHALL BE A
 GOOD CLEAN SLANTING CUT CLOSE TO AND BEYOND THE HEALTHY BRANCH. ALL PRUNING
 CUTS SHALL BE PAINTED WITH AN ACCEPTED PRUNING PRESERVATIVE. THE COST OF ALL
 WORK AND EXPENSES CONNECTED WITH TREE PRUNING SHALL BE INCLUDED IN THE
 PRICE BID FOR CMSC ITEM 201, CLEARING AND GRUBBING. NO EXTRA PAYMENT SHALL BE
 MADE.

TREES DAMAGED OR DESTROYED THAT WERE NOT DESIGNATED FOR REMOVAL OR APPROVED BY
 THE CITY FOR REMOVAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

21. DEWATERING: THE CONTRACTOR IS SOLELY RESPONSIBLE TO THE OHIO DEPARTMENT OF
 NATURAL RESOURCES (ODNR) FOR REGISTRY, MAINTENANCE, AND ABANDONMENT OF ANY

WITHDRAWAL DEVICES USED IN THE CONSTRUCTION OF THIS PROJECT.

INSTALLATION OF ANY WELL, WELL POINT, PIT OR OTHER DEVICE USED FOR THE PURPOSE OF
 LOWERING THE GROUNDWATER LEVEL TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL
 BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745-9-10
 OF THE OHIO ADMINISTRATIVE CODE OR AS DIRECTED BY THE DIRECTOR OR HIS
 REPRESENTATIVES.

THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE AND FILE A WELL LOG AND A DRILLING
 REPORT FORM WITH ODNR, DIVISION OF WATER, WITHIN 30 DAYS OF THE COMPLETION OF
 INSTALLATION OF ANY WELL, WELL POINT, PIT OR OTHER DEVICE USED FOR THE PURPOSE OF
 REMOVING GROUNDWATER FROM AN AQUIFER, IN ACCORDANCE WITH SECTIONS 1521.01 AND
 1521.05 OF THE OHIO REVISED CODE. IN ADDITION, ANY SUCH FACILITY THAT HAS A CAPACITY
 TO WITHDRAW WATERS OF THE STATE IN AN AMOUNT GREATER THAN 100,000 GALLONS PER
 DAY FROM ALL SOURCES SHALL BE REGISTERED BY THE CONTRACTOR WITH THE CHIEF OF
 THE ODNR DIVISION OF WATER, WITHIN THREE (3) MONTHS OF THE COMPLETION OF THE
 FACILITY IN ACCORDANCE WITH SECTION 1521.16 OF THE OHIO REVISED CODE. COPIES OF
 THE NECESSARY PAPERWORK CAN BE OBTAINED AT ODNR, DIVISION OF WATER, FOUNTAIN
 SQUARE, COLUMBUS, OH, 43224-1387 -PHONE: (614) 265-6717.

THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH
 CAPACITY ADEQUATE TO DEWATER THE TRENCH. SHOULD WATER BE ENCOUNTERED, THE
 TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND THE
 LAYING AND JOINING OF PIPE IS MADE ON FIRM, DRY GROUND, IF DEWATERING CANNOT
 PRODUCE ACCEPTABLE SUBGRADE, AND ONLY AS DIRECTED BY THE ENGINEER. UNSUITABLE
 MATERIALS SHALL BE REMOVED AND REPLACED BY CMSC ITEM 908, STONE FOUNDATION.

THE CONTRACTOR SHALL CONVEY ALL TRENCH WATER TO A NATURAL DRAINAGE CHANNEL OR
 STORM SEWER WITHOUT DAMAGE TO PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE TO
 PLACE AND MAINTAIN THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO FILTER
 THE DEWATERING DISCHARGE AND TO PREVENT EROSION AT THE DISCHARGE LOCATION. COST
 FOR THE ABOVE SHALL BE INCLUDED IN THE BID PRICE FOR THE VARIOUS IMPROVEMENT
 ITEMS. THE COST OF ANY DEWATERING OPERATIONS REQUIRED FOR THE CONSTRUCTION OF
 THE PROJECT IMPROVEMENTS SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS
 IMPROVEMENT ITEMS.

22. REPLACEMENT OF DRAIN TILES AND STORM SEWERS: ALL DRAIN TILE AND STORM
 SEWERS DAMAGED, DISTURBED, OR REMOVED AS A RESULT OF THE CONTRACTOR'S
 OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE
 SAME GRADIENT AS EXISTING. REPLACED DRAIN TILE SHALL BE LAID ON COMPACTED BEDDING
 EQUAL IN DENSITY TO SURROUNDING STRATUM. IF POSSIBLE, THE DRAIN TILE AND/OR STORM
 SEWER SHALL BE CONNECTED TO A STORM SEWER STRUCTURE, CURB UNDERDRAIN OR
 OUTLET INTO THE ROADWAY DITCH AS APPLICABLE. REPLACEMENT SHALL BE DONE AT THE
 TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID
 FOR THE VARIOUS ITEMS.

23. MAINTAIN DRAINAGE: THE FLOW IN ALL SEWERS, DRAINS AND WATERCOURSES
 ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND
 WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE
 PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN
 COST AND EXPENSE, UNLESS SPECIFIC PROVISION IS MADE WITHIN THE CONTRACT DOCUMENTS
 FOR THE MEASURE OF AND PAYMENT FOR SUCH COST SPECIFIC ITEMS, TO A CONDITION
 SATISFACTORY TO THE CITY.

24. INLET PROTECTION: THE CONTRACTOR IS RESPONSIBLE TO KEEP ALL STORM SEWER
 INLETS PROTECTED FROM EXCESSIVE AMOUNTS OF SEDIMENTS USING ADEQUATE FILTERING
 DEVICES AS APPROVED BY THE CITY.

25. EROSION & SEDIMENTATION CONTROL: THE CONTRACTOR SHALL PROVIDE SEDIMENT
 CONTROL AT ALL POINTS WHERE STORMWATER RUNOFF LEAVES THE PROJECT INCLUDING
 WATERWAYS, OVERLAND SHEET FLOW AND STORM SEWERS. EROSION AND SEDIMENT CONTROL
 SHALL BE PROVIDED AS PER THE REQUIREMENTS OF THE CITY OF GROVE CITY AND THE
 STANDARDS AND SPECIFICATIONS OF THE "RAINWATER AND LAND DEVELOPMENT" MANUAL OF
 THE ODNR.

EROSION CONTROL MEASURES ARE TO BE INSTALLED PER NPDES PERMIT REGULATIONS OR AS
 DIRECTED BY THE CITY, AND ARE TO BE MAINTAINED UNTIL SUCH TIME THAT THEY ARE NO
 LONGER REQUIRED BY THE PERMIT AND THE CITY. COST FOR EROSION AND SEDIMENTATION
 CONTROL SHALL BE INCLUDED IN THE PRICE BID FOR CMSC ITEM 207.

ALL LAND DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION
 BY THE CITY OF GROVE CITY AND/OR THE OHIO EPA. FAILURE TO COMPLY WITH THESE
 REGULATIONS IS SUBJECT TO LEGAL ENFORCEMENT ACTION.

THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE CITY OF GROVE CITY 48 HOURS PRIOR TO
 COMMENCEMENT OF INITIAL SITE LAND DISTURBANCE ON ANY SITE OF ONE (1) OR MORE
 ACRES. THIS INCLUDES SITE CLEARING, GRUBBING AND ANY EARTH MOVING. PRIMARY EROSION
 AND SEDIMENT CONTROL PRACTICES ARE MANDATED BY REGULATIONS TO BE IN PLACE FROM
 THE BEGINNING OF THE CONSTRUCTION ACTIVITY.

ALL DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN (7) DAYS OF
 COMPLETION OF GRADING OPERATIONS IF SAID AREAS ARE TO REMAIN UNDISTURBED FOR
 MORE THAN FORTY-FIVE (45) DAYS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT AND EROSION CONTROL
 FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED PERIODICALLY AND WITHIN
 24 HOURS OF A SIGNIFICANT RAINFALL EVENT. RECORDS OF THESE INSPECTIONS SHALL BE
 KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR
 DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED
 IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL
 REPAIR OR REPLACE IT AT NO ADDITIONAL COST TO THE OWNER.

26. SEEDING AND MULCHING: SEEDING AND MULCHING SHALL CONFORM TO THE NOTES
 CONTAINED HEREIN. THE REQUIREMENTS OF GROVE CITY AND CMSC SECTION 659 IN THE
 EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT, DETERMINED AT THE SOLE
 DISCRETION OF THE CITY OF GROVE CITY SHALL APPLY. IN ADDITION TO THESE
 REQUIREMENTS, THE SEEDING AND MULCHING SHALL CONFORM TO THE FOLLOWING:

- ALLOWABLE SEED MIXTURES:
- SPRING: 40% KENTUCKY BLUE GRASS
20% CREEPING RED FINE FESCUE
20% CHEWING FINE FESCUE
20% PENN FINE PERENNIAL RYE GRASS
 - FALL: 30% KENTUCKY BLUE GRASS
20% CREEPING RED FINE FESCUE
50% PERENNIAL RYE (PENN FINE, KEYSTONE, OR EQUAL)
- FERTILIZER: 12-12-12 AT 2- POUNDS PER 1,000 SQUARE FEET (DRY OR LIQUID)

ALL SEEDING, MULCHING AND FERTILIZER SHALL BE PLACED BY UTILIZING HYDRO-SEEDING /
 HYDROMULCHING METHODS. STRAW SHALL NOT BE ALLOWED WITHOUT EXPLICIT PERMISSION
 FROM THE CITY OF GROVE CITY. IF STRAW IS PERMITTED, IT SHALL BE TACKED AT THE TIME
 OF PLACEMENT.

27. SOIL STOCKPILES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL SOIL
 STOCKPILES, INCLUDING TRENCH EXCAVATION STOCKPILES, PROTECTED FROM EROSION. THE
 AREAS SURROUNDING THE STOCKPILES ARE TO BE PROTECTED FROM SEDIMENT WITH THE USE
 OF PERIMETER CONTROL DEVICES SUCH AS EARTH OR STRAW BALE DEVICES OR SILT FENCES.
 THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE
 PROJECT.

28. DISPOSAL OF EXCAVATION: UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS, THE

CONTRACTOR SHALL DISPOSE OF ALL EXCAVATED MATERIAL THAT IS NOT BEING USED AS FILL
 AT AN OFFSITE LOCATION. THE CONTRACTOR SHALL PROVIDE A COPY OF THE SIGNED, WRITTEN
 AGREEMENT BETWEEN THE CONTRACTOR AND THE OFFSITE LANDOWNER BEFORE SUCH
 DISPOSAL OCCURS. THE AGREEMENT SHALL CLEARLY STATE THE PURPOSE OF THE AGREEMENT
 AND INDICATE THE LANDOWNER'S PERMISSION FOR SUCH USE. THE COST FOR DISPOSAL OF
 EXCAVATED MATERIALS SHALL BE INCLUDED IN THE CONTRACTOR'S PRICE BID FOR THE
 VARIOUS ITEMS OF WORK.

29. CLEANUP: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE CLEANUP OF
 ANY DEBRIS, MUD OR DIRT TRACKED OR SPILLED ON CITY AND/OR PUBLIC STREETS OR
 PRIVATE DRIVES WHETHER INSIDE OR OUTSIDE THE PROJECT AREA. THE CONTRACTOR IS
 RESPONSIBLE FOR THE COST OF ANY SERVICES CONTRACTED AND/OR COMPLETED BY THE
 CITY OF GROVE CITY IN THE CLEANUP OF ANY TRACKING OR SPILLAGE ANYTIME DURING
 PROJECT CONSTRUCTION. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO PERFORM WEEKLY
 STREET CLEANING IF EXCESSIVE AMOUNTS OF DIRT AND MUD ARE LEFT ALONG THE STREET.
 THIS MAY INCLUDE REMOVAL BY SWEeping, POWER CLEANING, OR MANUAL METHODS. THE
 COST OF THIS WORK SHALL BE INCLUDED IN THE VARIOUS CONTRACT ITEMS, UNLESS
 OTHERWISE SPECIFIED.

30. CONSTRUCTION DEBRIS: ALL DEBRIS, RUBBLE, UNUSABLE MATERIALS, AND ITEMS NOT
 SALVAGED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL
 BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF PROPERLY.

31. MAINTENANCE OF TRAFFIC NOTES: ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE
 FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH
 THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND
 MAINTENANCE OPERATIONS (CURRENT EDITION), COPIES OF WHICH ARE AVAILABLE FROM THE
 OHIO DEPT. OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD ST., COLUMBUS,
 OH 43223.

STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND
 SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT. CONES ARE NOT APPROVED FOR USE
 AT NIGHT.

ALL TRENCHES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE BACKFILLED OR SECURELY PLATED
 DURING NON-WORKING HOURS.

ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA SHALL BE MAINTAINED AT ALL TIMES.

ALL TRAFFIC LANES SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 A.M. TO 9:00 A.M. AND
 4:00 TO 6:00 P.M. WEEKDAYS ON ALL ROADWAYS WITHIN THE PROJECT AREA. ONE LANE MAY
 BE CLOSED TO TRAFFIC DURING WORKING HOURS.

FOR MAJOR THOROUGHFARES AND COLLECTORS:
 TWO-WAY, ONE-LANE TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION OPERATIONS IN
 ACCORDANCE WITH PAGE C-18 OF THE OHIO MANUAL. A UNIFORMED OFFICER SHALL BE
 SUBSTITUTED FOR EACH FLAGMAN SHOWN ON THAT PAGE AND SUCH OFFICERS SHALL BE
 PRESENT WHENEVER TOWAY, ONE-LANE OPERATION IS IN EFFECT.

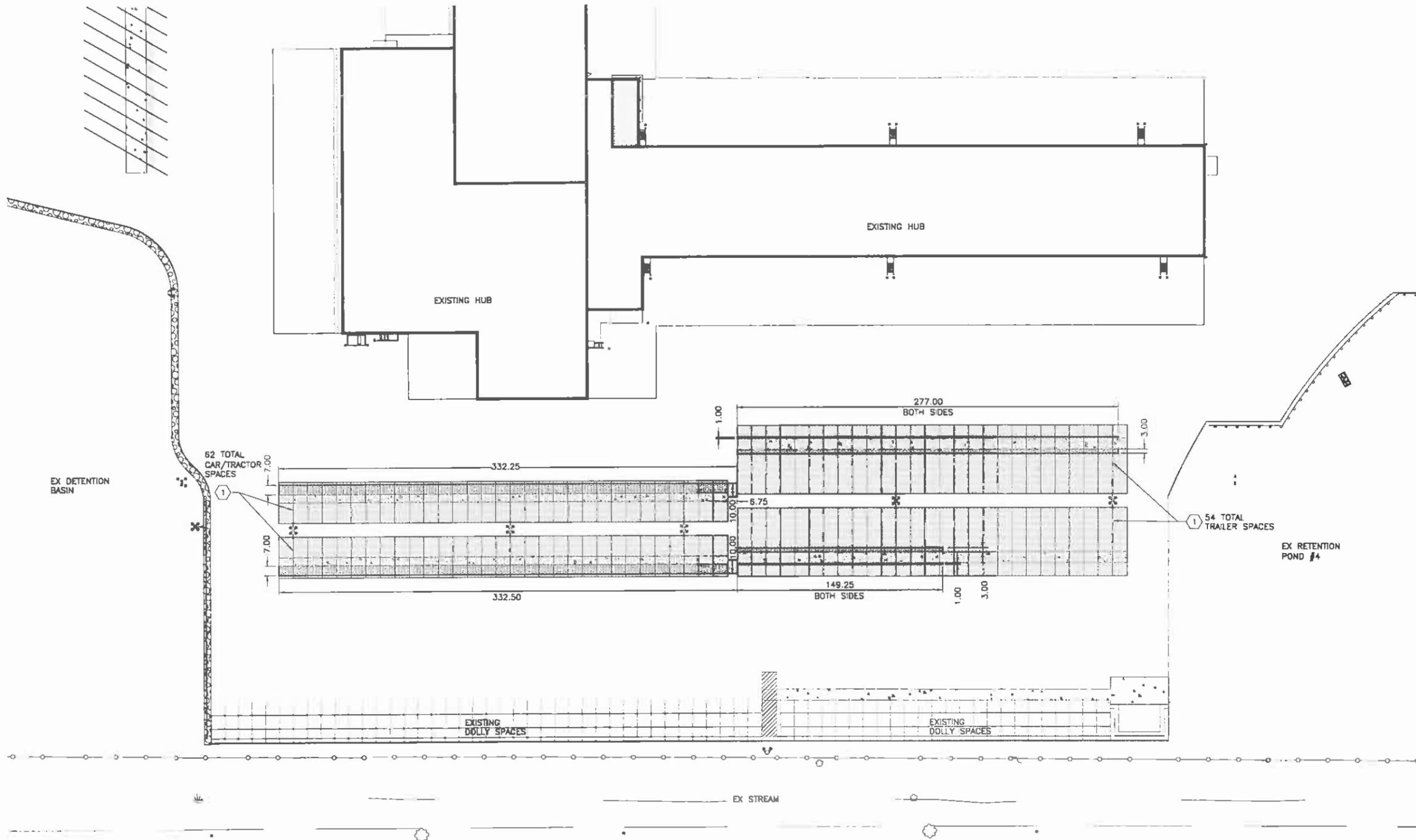
FOR LOCAL STREETS:
 POLICE OFFICERS ARE NOT NEEDED, UNLESS A HAZARD DEVELOPS, FOR TWO-WAY, ONE-LANE
 TRAFFIC MAINTAINED DURING CONSTRUCTION OPERATIONS ON ALL LOCAL ROADWAYS WITHIN
 THE PROJECT AREA. IF A HAZARD DEVELOPS, AN OFF-DUTY OFFICER MAY BE ASSIGNED BY
 THE CITY TO THE PROJECT AT THE CONTRACTOR'S EXPENSE.

ALL PERMANENT TRAFFIC CONTROLS NOT IN CONFLICT WITH THE TEMPORARY TRAFFIC
 CONTROLS SHALL BE MAINTAINED THROUGH THIS PROJECT BY THE CONTRACTOR. PERMANENT
 TRAFFIC CONTROLS MAY BE TEMPORARILY RELOCATED AS APPROVED BY THE ENGINEER. THE
 CONTRACTOR SHALL ASSUME ALL LIABILITY FOR MISSING, DAMAGED, AND IMPROPERLY PLACED
 SIGNS.

ANY WORK DONE BY THE CITY, INCLUDING INSTALLATION, MODIFICATION, REMOVAL AND/OR
 REPLACEMENT OF PERMANENT TRAFFIC CONTROL DEVICES AS A RESULT OF WORK DONE BY
 THE CONTRACTOR OR AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR SHALL BE AT
 THE EXPENSE OF THE CONTRACTOR.

ALL PERMANENT PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS AS SHOWN ON THIS PLAN
 SHALL BE INSTALLED BY THE CONTRACTOR AT THE DEVELOPER'S EXPENSE. THE CITY OF
 GROVE CITY SHALL BE NOTIFIED A MINIMUM OF FORTY-EIGHT (48) HOURS (EXCLUDING
 WEEKENDS AND HOLIDAYS) PRIOR TO THE INSTALLATION OF PERMANENT MARKINGS TO INSPECT
 AND APPROVE PAVEMENT MARKING LAYOUT BEFORE MARKINGS ARE PLACED.

 		FACILITIES & MATERIALS AND LOG SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/269-1000	Location: GROVE CITY State or Province: OH	Drawing No: C-001
277 West Nationwide Boulevard Columbus, Ohio 43215-2999 (614) 464-4500 fax (614) 464-0988 http://www.aecom.com	Project: CY15 PAVEMENT RESTRIPING AND INTERIOR RENOVATION Title: GENERAL NOTES	Scale: AS SHOWN Date: 01/22/16	Designer: JRD Checker: JRD Address:	Drawing Number:
03/01/16 ISSUED DEVELOPMENT PLAN APPROVAL 02/17/16 ISSUED FOR PERMIT 01/22/16 OWNER REVIEW SET				

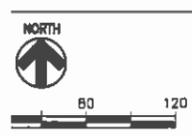


CODED NOTES:

① EXISTING STRIPING TO BE REMOVED

LEGEND:

-  EXISTING STRIPING TO BE REMOVED BY WATER BLASTING OR SOME OTHER METHOD PRIOR TO RESTRIPIING.
-  SAWCUT LINE
-  LIMITS OF FULL DEPTH PAVEMENT REMOVAL



03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/16	ISSUED FOR PERMIT
01/22/16	OWNER REVIEW SET

AECOM
 277 west nationwide boulevard
 columbus, ohio 43215-2588
 (614) 464-4500 fax (614) 484-0588
 http://www.aecom.com

FedEx Ground
 FACILITIES & MATERIAL HANDLING SYSTEMS
 1000 FedEx Drive
 Moon Township, PA 15108
 412/288-1000

CO-LOCATION

City: GROVE CITY State: OH

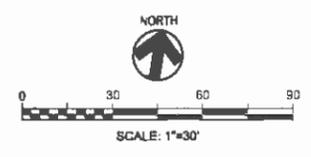
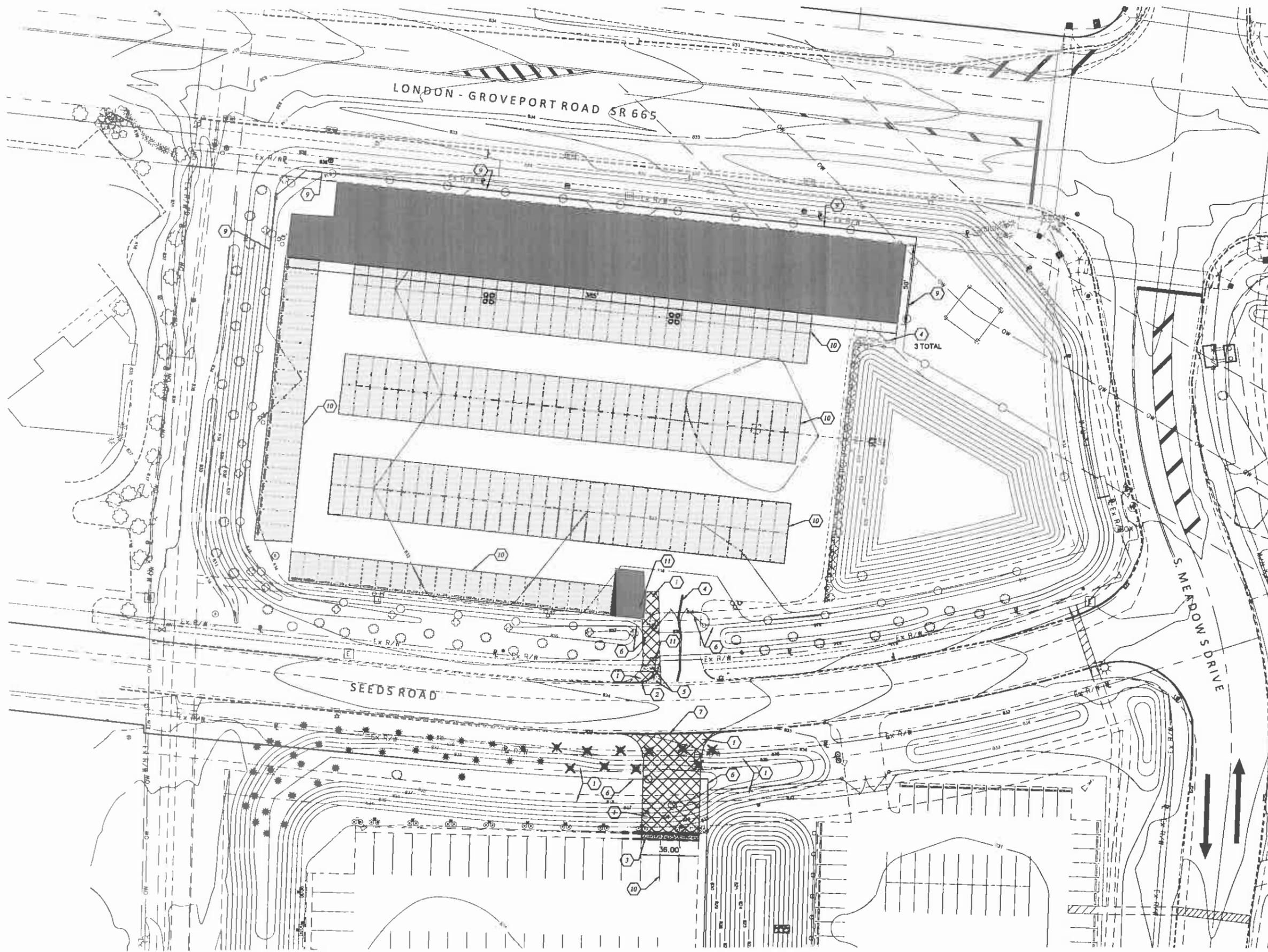
Project: CY15 PAVEMENT RESTRIPIING AND INTERIOR RENOVATION

Sheet: DEMOLITION PLAN

Scale: 1" = 40'

Drawn By: BSW Checked By: JRO

Sheet No: C-103



LEGEND

- TREE OR PLANT REMOVED
- CONCRETE REMOVED
- EXISTING GRASSED AREA TO BE STRIPPED. ALL EXISTING TOPSOIL AND ORGANICS SHALL BE REMOVED EXISTING SIGNS AND LANDSCAPE FEATURES TO BE RELOCATED
- LIMITS OF FULL DEPTH PAVEMENT REMOVAL
- EXISTING STRIPING TO BE REMOVED BY WATER BLASTING OR SOME OTHER METHOD PRIOR TO RESTRIPIING.

CODED NOTES

- 1 SOIL REMOVAL
- 2 CONCRETE CURB TO BE REMOVED
- 3 CONCRETE CURB AND GUTTER TO BE REMOVED
- 4 CONCRETE PARKING BLOCKS TO BE REMOVED
- 5 CONCRETE SIDEWALK AND DRIVE APRON TO BE REMOVED
- 6 FENCE AND GATES TO BE REMOVED
- 7 CURB CUT, MAINTAIN 1" GUTTER
- 8 ASPHALT PAVEMENT TO BE REMOVED
- 9 FENCE TO BE RELOCATED
- 10 EXISTING STRIPING TO BE REMOVED
- 11 EXISTING SIGNS TO BE RELOCATED

03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
2/17/16	ISSUED FOR PERMIT
01/22/16	OWNER REVIEW SET

AECOM
277 West Nationwide Boulevard
Columbus, Ohio 43215-2350
(614) 464-4500 fax (614) 464-0500
http://www.aecom.com

FedEx Ground
FACILITIES & MATERIAL
-AND- NC SYSTEMS
1000 FedEx Drive
Moon Township, PA 15106
412/289-1000

CO-LOCATION

GROVE CITY
CY15 EXPANSION
EXISTING PARKING AND DEMOLITION

Scale: 1" = 30'

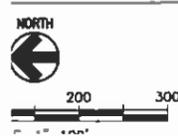
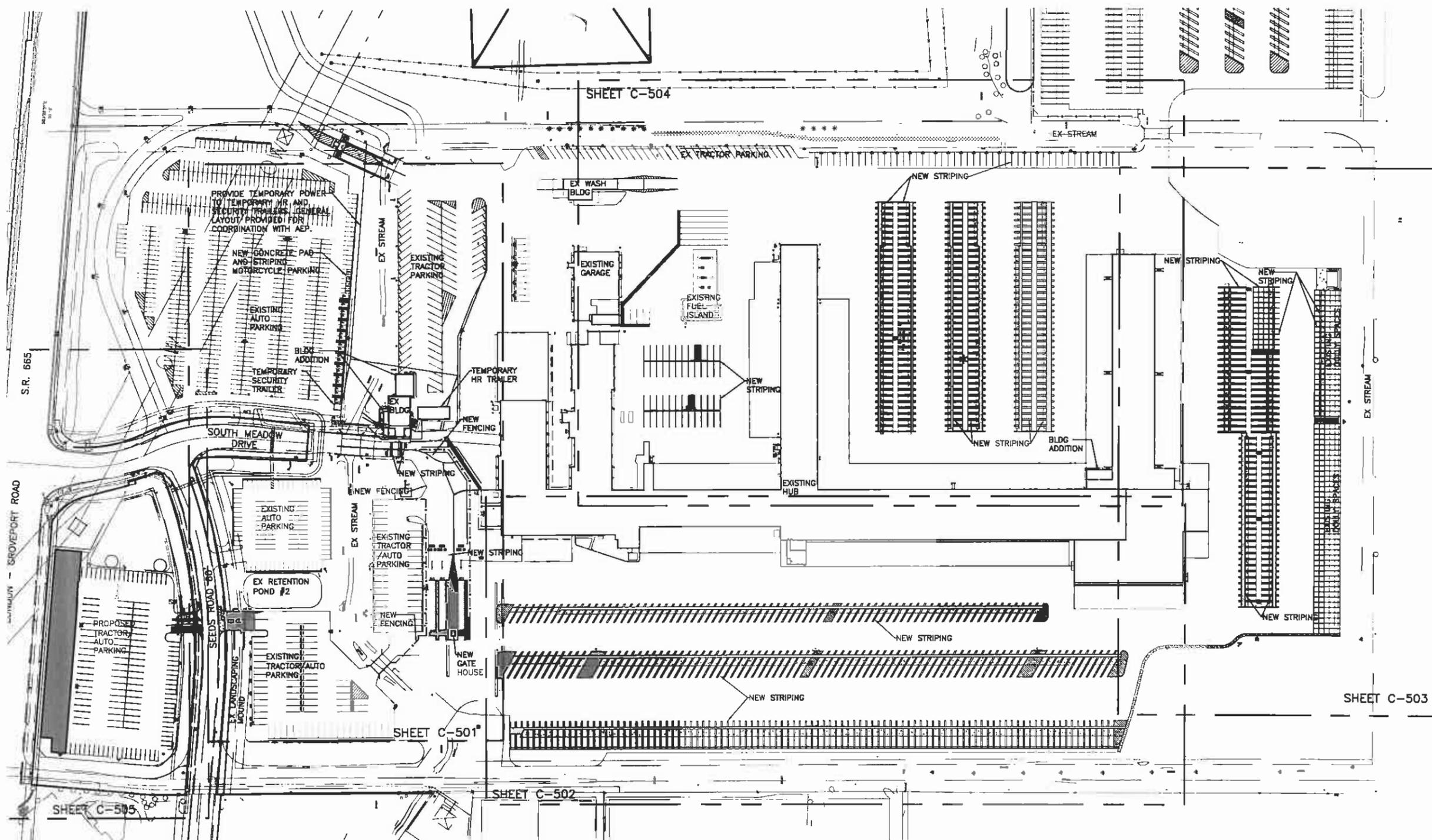
Drawn by: PML
Checked by: MLL

Address: 8100 SOUTH MEADOWS DRIVE

State or Province: OH

Sheet No: **C-105**

Drawing Number: 432-V-170



03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/16	ISSUED FOR PERMIT
01/22/16	OWNER REVIEW SET

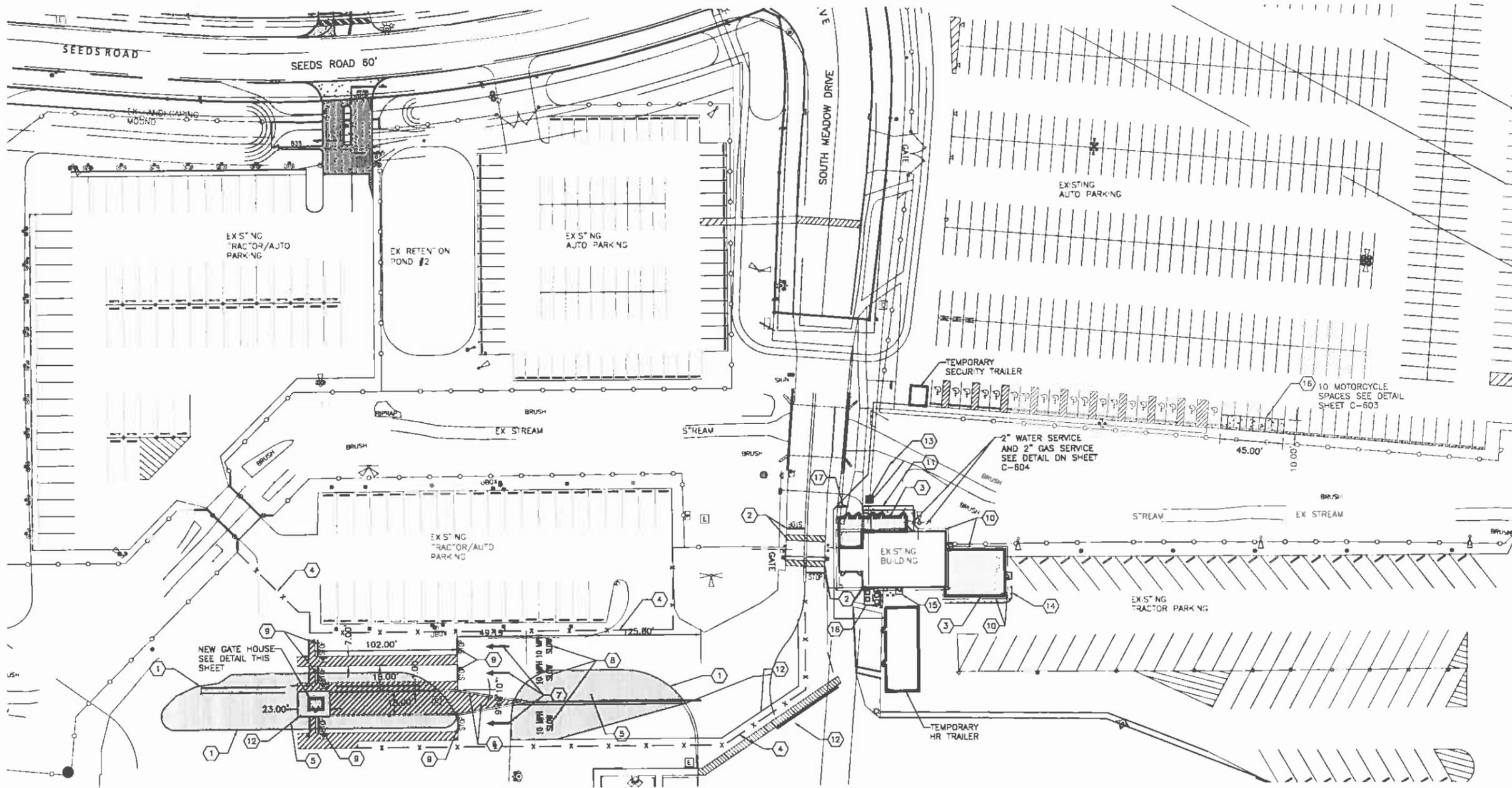
AECOM
 277 West Nationwide Boulevard
 Columbus, Ohio 43215-2598
 (614) 466-4500 fax (614) 464-0526
 http://www.aecom.com

FedEx
 Ground
 CO-LOCATION

FACILITIES & MATERIALS HANDLING SYSTEMS
 1000 FedEx Drive
 Moon Township, PA 15108
 412/269-1000

Location: GROVE CITY, OH
 Project: CY15 PAVEMENT RESTRIPIING AND INTERIOR RENOVATION
 Title: LAYOUT AND STRIPING PLAN - OVERALL
 Scale: 1" = 100'
 Drawn by: BWJ
 Checked by: JRD
 Address: 8190 R. MEADOWS RD
 Project No: 132-E-170

Sheet No: **C-500**
 Revision: A



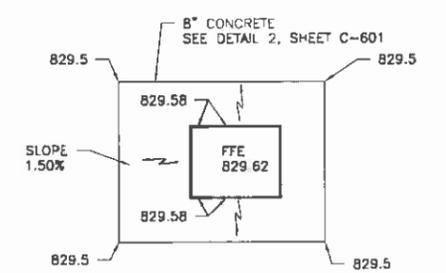
NOTES:

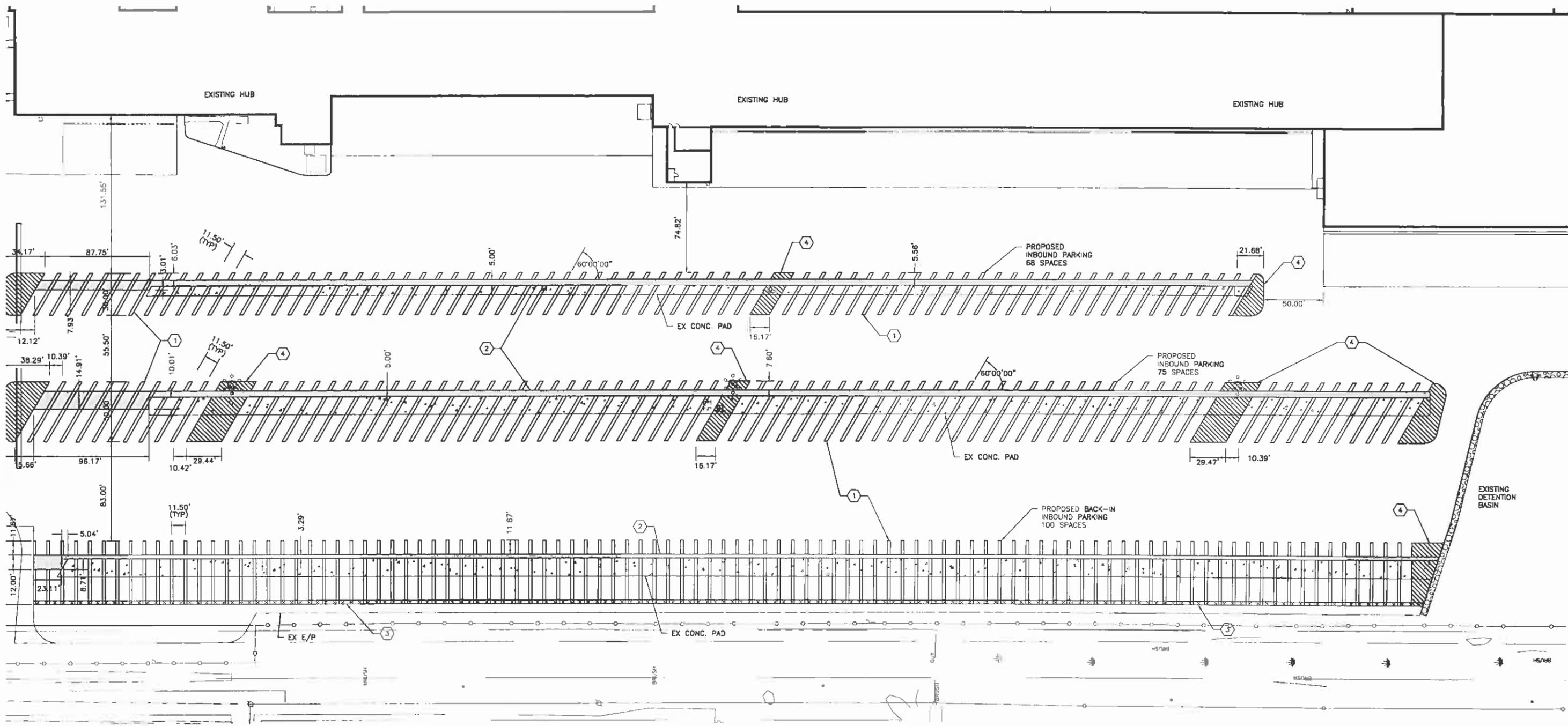
- 1. ASPHALT PAVEMENT ADDITION. SEE DETAIL 11 SHEET C-601
- 2. STOP BAR STRIPING AT GATE. SEE DETAIL 1 SHEET C-603
- 3. PROPOSED BUILDING ADDITION. SEE ARCHITECTURAL PLANS.
- 4. FENCE. SEE DETAIL 5 SHEET C-602
- 5. REPAIR DETAIL FOR ASPHALT AT PREVIOUSLY LANDSCAPED AREA. SEE DETAIL 11 SHEET C-601
- 6. KING AND TRAFFIC CONTROL STRIPING. SEE DETAIL 7 SHEET C-601.
- 7. ROW STRIPING. SEE DETAIL 3 SHEET C-603.
- 8. MUTED LETTERS. SEE DETAIL 4 SHEET C-603.
- 9. STOP BAR. SEE DETAIL 10 SHEET C-601.

- 10. GRAVEL STRIP. SEE DETAIL 5 SHEET C-603.
- 11. CONCRETE SIDEWALK. SEE DETAIL 6 SHEET C-603.
- 12. PORTABLE CONCRETE BARRIER. SEE DETAIL SHEET C-603.
- 13. RELOCATE EXISTING DRAIN INLET.
- 14. TYPE S GUARDRAIL
- 15. CONCRETE STOOP
- 16. CONCRETE PAD
- 17. REPLACE BRICK LANDSCAPE EDGING

LEGEND:

- 8" CONCRETE PAD. SEE DETAIL 1, SHEET C-601
- AREAS OF PAVEMENT REPLACEMENT





CODED NOTES:

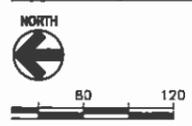
- ① NEW STRIPING. SEE DETAIL 8 SHEET C-801
- ② NEW CONCRETE PAD. SEE DETAIL 2 SHEET C-801
- ③ NEW CONCRETE FEEDER CURB. SEE DETAIL 9 SHEET C-801
- ④ CROSSWALK STRIPING DETAIL. SEE DETAIL 7 SHEET C-801

LEGEND:

- 8" CONCRETE PAD. SEE DETAIL 2 SHEET C-801
- FEEDER CURB. SEE DETAIL 9 SHEET C-801

NOTES:

1. PROVIDE CONCRETE CONTROL JOINTS SPACED AT A MAXIMUM OF TWO TIMES THE WIDTH OF THE INSTALLED CONCRETE.



03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/16	ISSUED FOR PERMIT
01/22/16	OWNER REVIEW SET

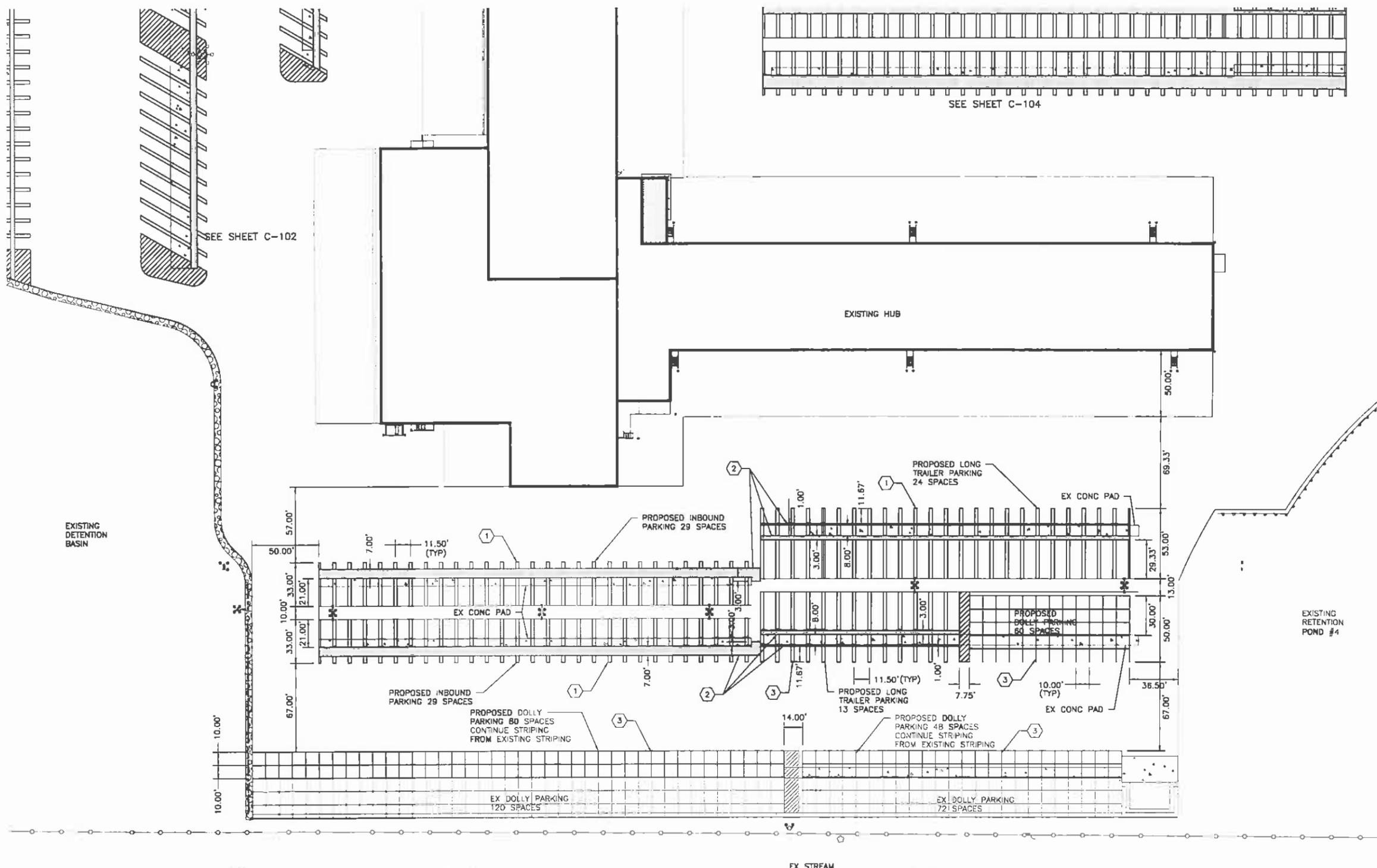
AECOM
 277 West Nationwide Boulevard
 Columbus, Ohio 43215-2508
 (614) 464-4500 fax (614) 494-0588
 http://www.aecom.com

FedEx
 Ground
 CO-LOCATION

FACILITIES & MATERIALS
 -ANALOG SYSTEMS
 1000 FedEx Drive
 Moon Township, PA 15108
 412/280-1000

Location: GROVE CITY
 State of: OH
 Project: CY15 PAVEMENT RESTRIPIING AND INTERIOR RENOVATION
 Drawing Title: "LAYOUT AND STRIPING PLAN"
 Scale: 1" = 40'
 Date: 01/16/16
 Drawn By: BW
 Checked By: JRD

Sheet No: **C-502**

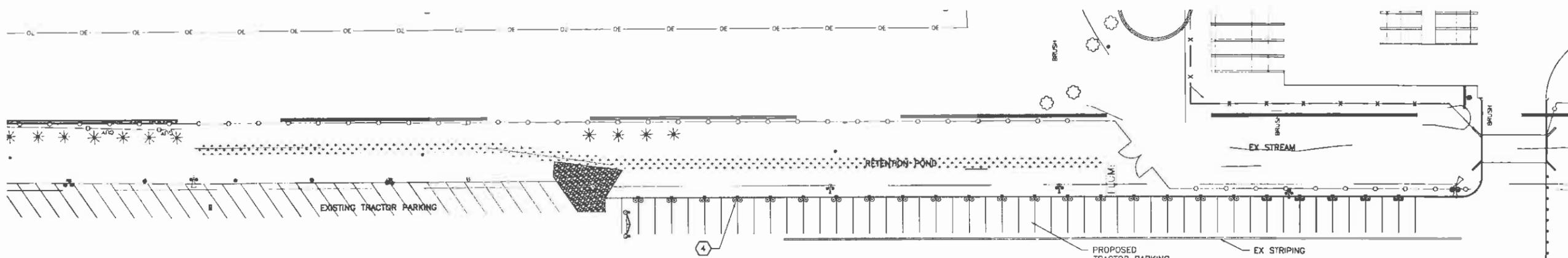


- CODED NOTES:**
- ① NEW STRIPING. SEE DETAIL 6 SHEET C-601.
 - ② NEW CONCRETE, SEE DETAIL 1 SHEET C-601.
 - ③ NEW PARKING STALL STRIPING. SEE DETAIL 7 SHEET C-601.

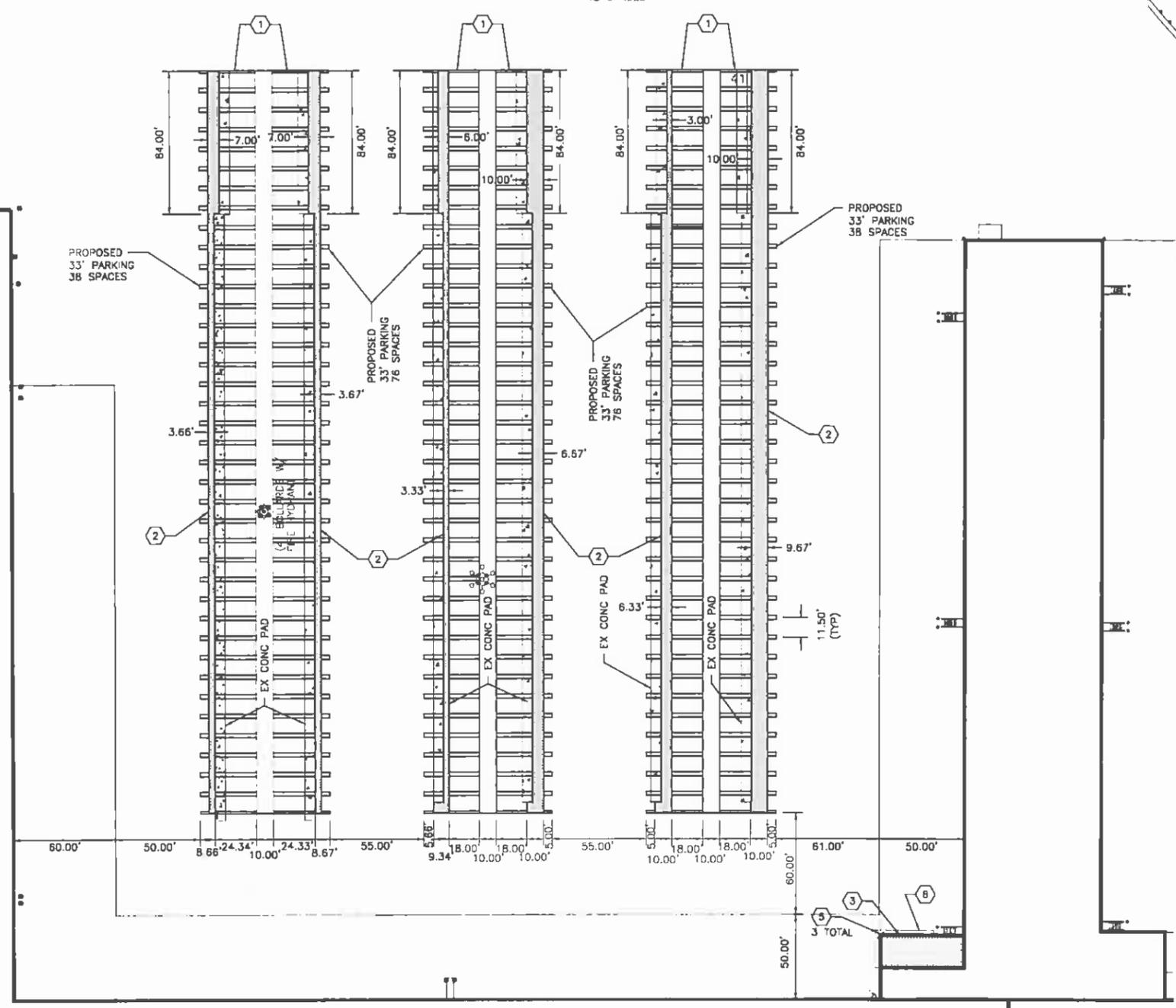
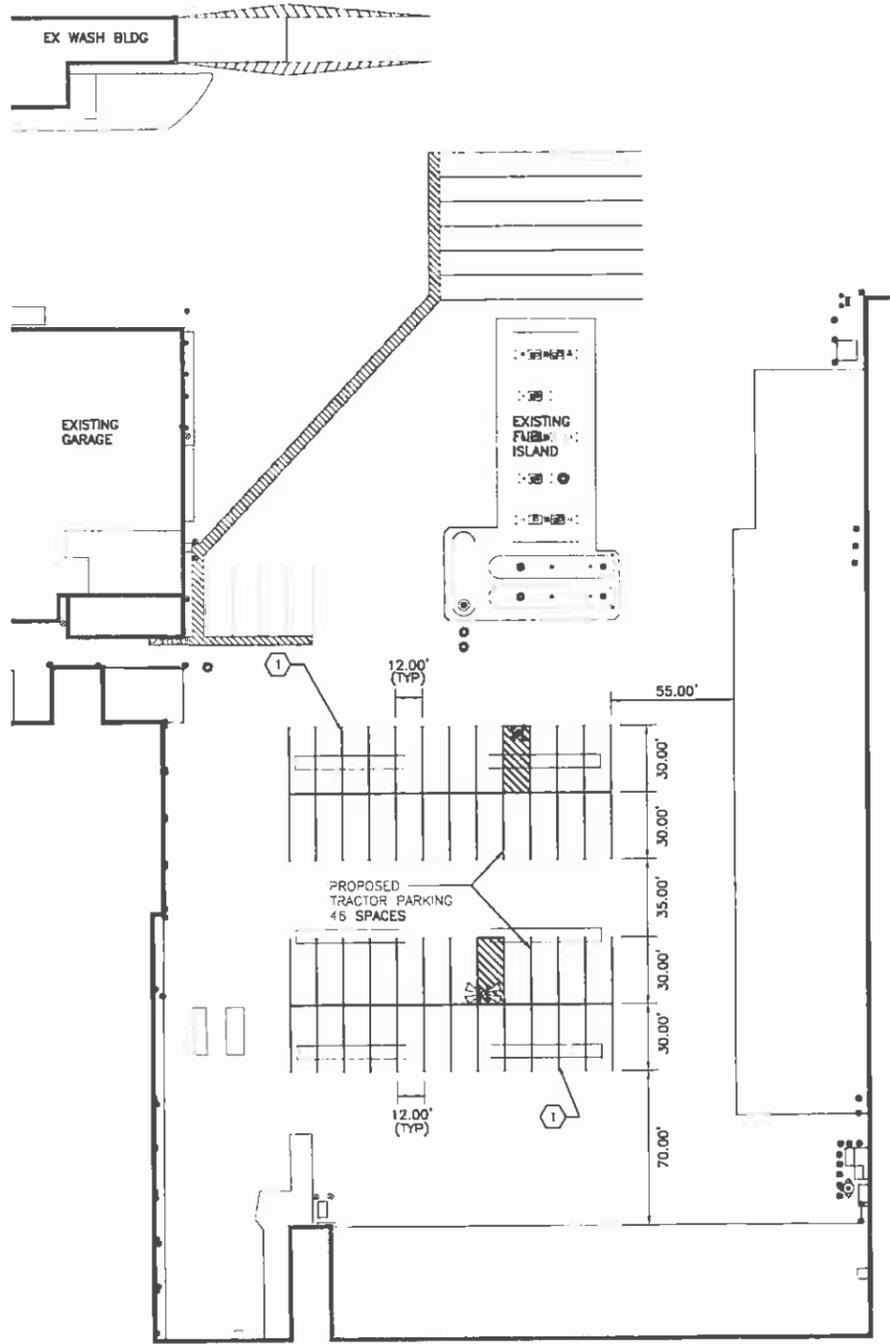
LEGEND:

■ 8" CONCRETE, SEE DETAIL 1 SHEET C-601

	03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL	 277 west nationwide boulevard columbus, ohio 43215-2988 (614) 464-4500 fax (614) 464-0588 http://www.aecom.com	 FACILITIES & MATERIAL HANDLING SYSTEMS 1000 Kestrel Drive Moon Township, PA 15108 412/250-1000	GROVE CITY OH	State of Pennsylvania	Sheet No.	
	02/17/16	ISSUED FOR PERMIT			CY15 PAYEMENT RESTRIPING AND INTERIOR RENOVATION	Project	Drawing Number	C-503
	01/22/16	OWNER REVIEW SET			LAYOUT AND STRIPING PLAN	Scale: 1" = 40' Drawn by: BRV Checked by: JRD	Address	Project Name

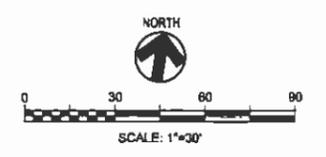
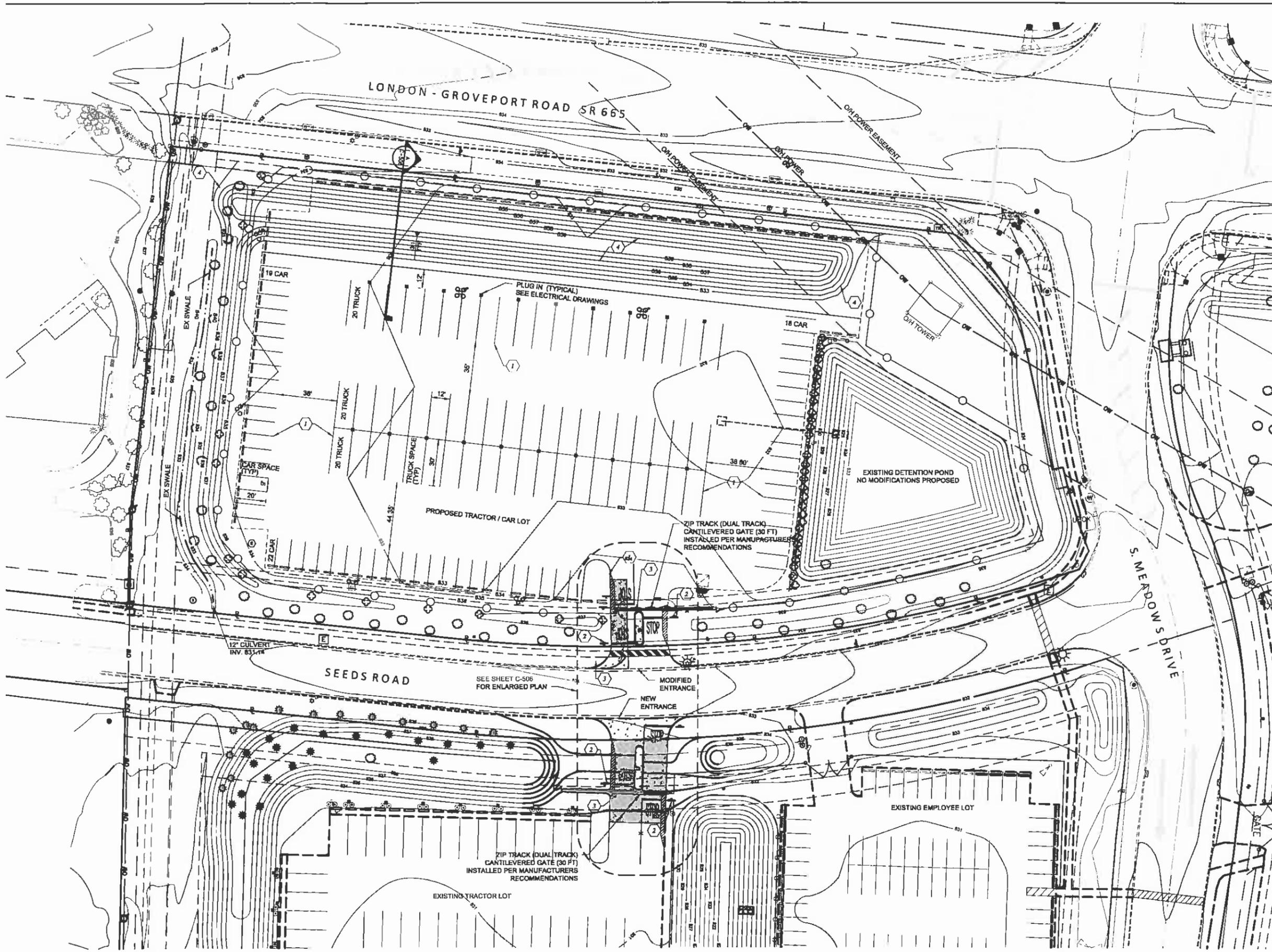


- CODED NOTES:**
- ① NEW STRIPING. SEE DETAIL 6 SHEET C-601.
 - ② NEW CONCRETE. SEE DETAIL 1 SHEET C-601
 - ③ BUILDING ADDITION. SEE ARCHITECTURAL PLANS.
 - ④ BLOCK HEATERS AND BOLLARDS
 - ⑤ 8" BOLLARDS, SEE DETAIL 7 SHEET C-602
 - ⑥ ASPHALT PAVEMENT PATCHING, 3' WIDE AROUND NEW ADDITION



- LEGEND:**
- 8" CONCRETE, SEE DETAIL 1 SHEET C-601
 - LIMITS OF SEALCOATING

03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/16	ISSUED FOR PERMIT



LEGEND

- EXISTING O/H LIGHTS w/ GUARD POSTS
- PROPOSED CHARGING STATIONS

CODED NOTES

- STRIPING PROPOSED
- PROPOSED STOP SIGNS
- PROPOSED GATES
- PROPOSED MOUNDING

03/01/15	ISSUED DEVELOPMENT PLAN APPROVAL
2/17/18	Issued for Permit
01/22/18	OWNER REVIEW SET

AECOM **FedEx** Ground
 277 West Richardson Blvd
 Columbus, Ohio 43215-2988
 (614) 484-4500 Fax (614) 484-0585
<http://www.aecom.com>

CO-LOCATION

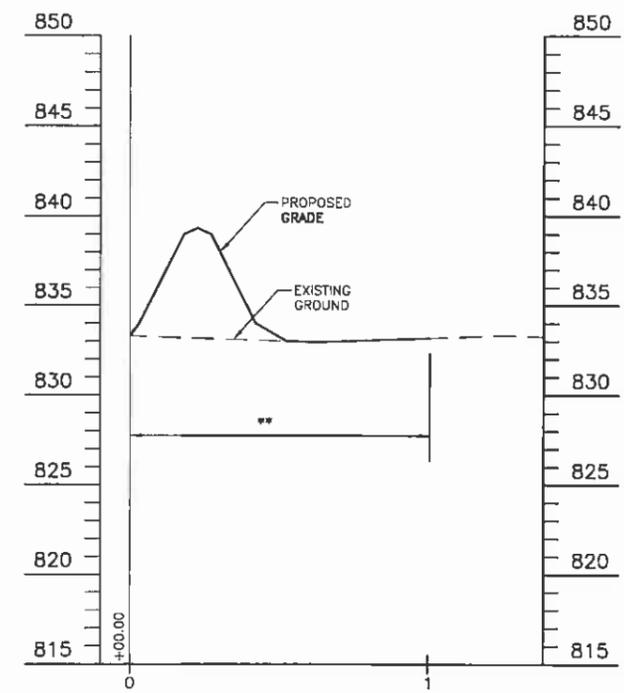
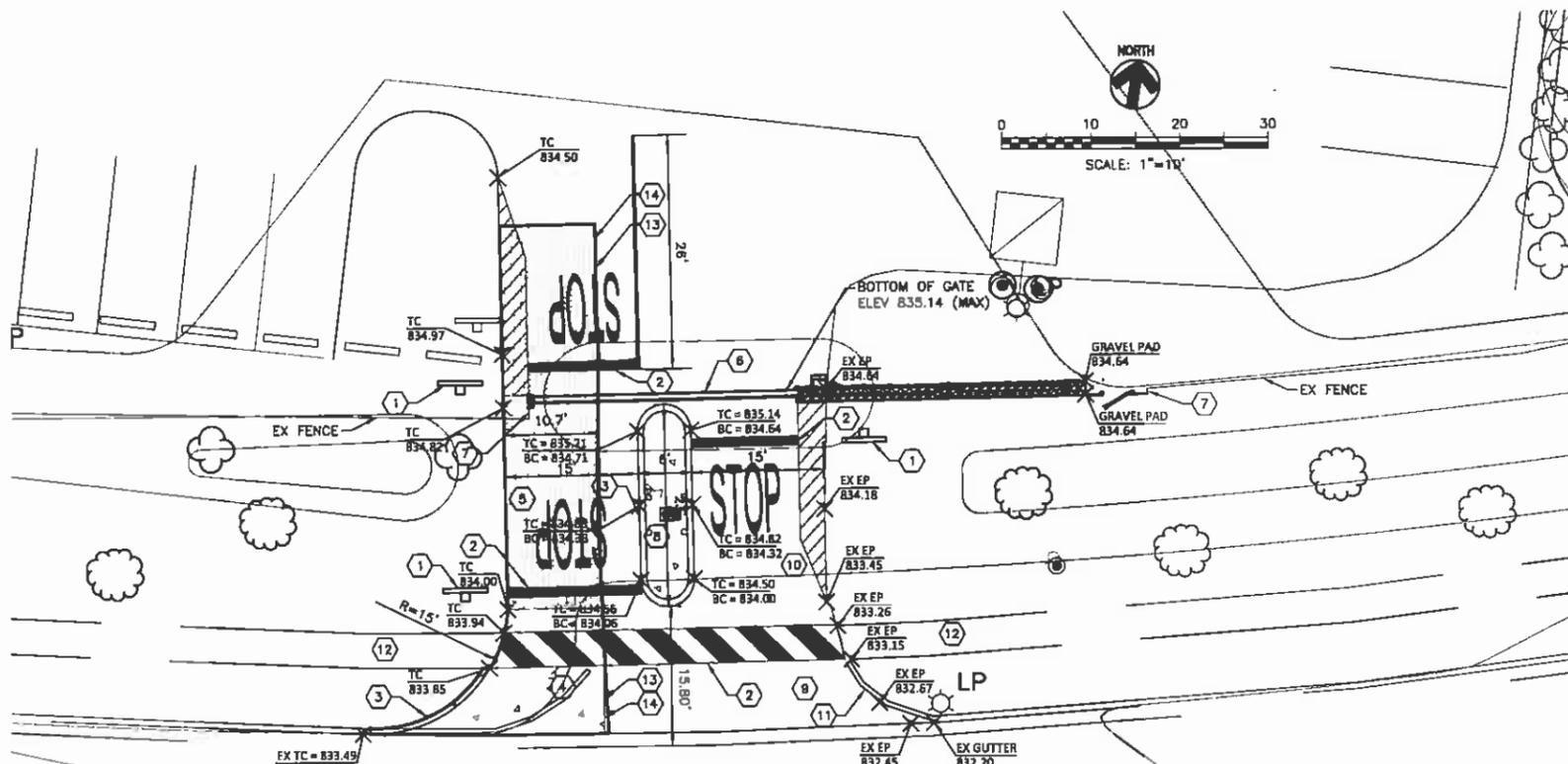
GROVE CITY
 Project: **CY15 EXPANSION AND GRADING**
 Proposed Parking

State of Ohio OH
 Date of Review: OH

Drawn by: **PHL** Checked by: **MLL**
 Scale: 1"=30'

Sheet No: **C-505**

Drawing Number: **470 x 470**



SECTION A-A
 SCALE: HORIZ. 1" = 30'
 VERT. 1" = 5'
 SEE SHEET C-505

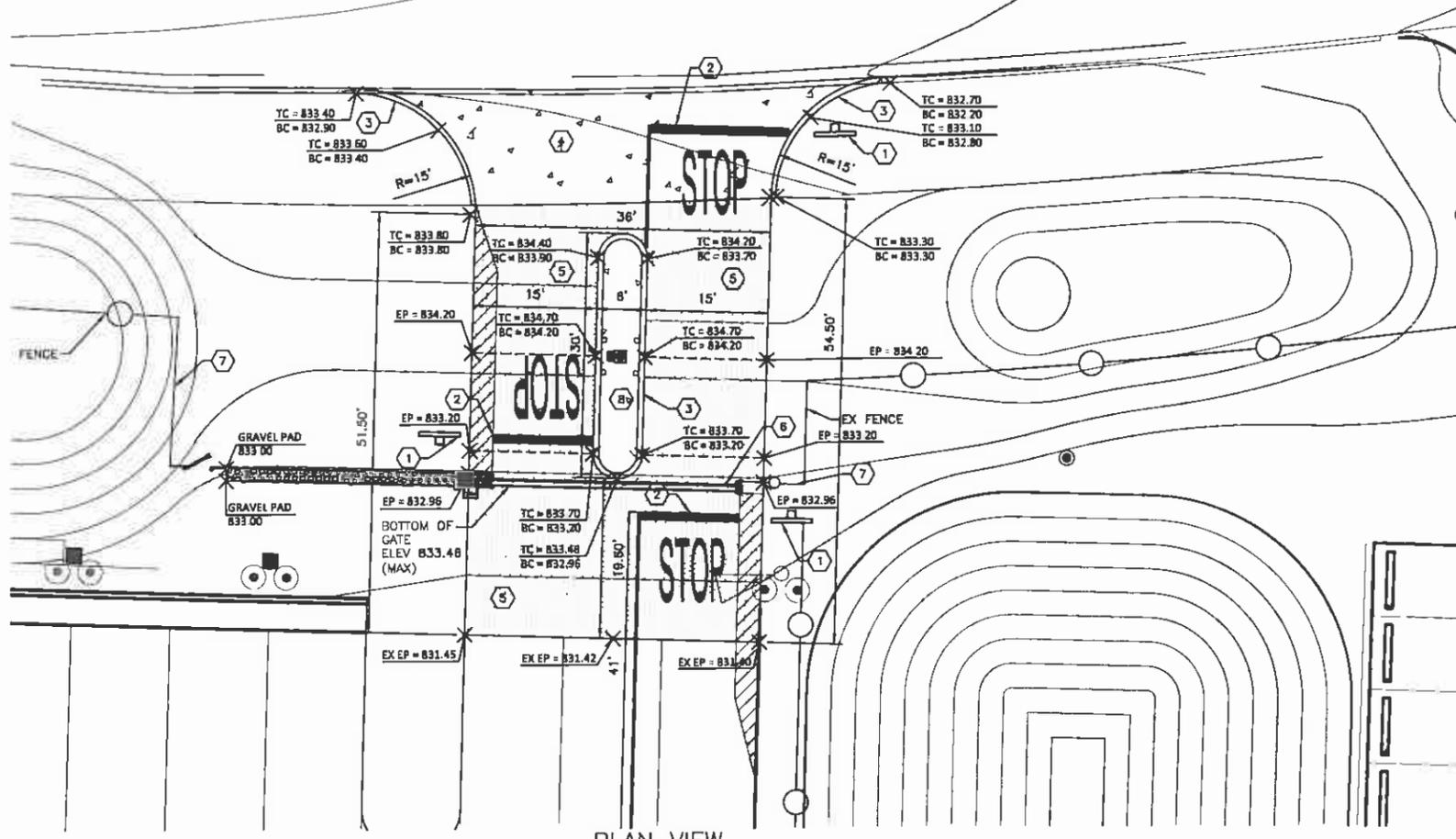
** PROPOSED GRADE MATCHES EXISTING GROUND

LEGEND

- 4 NEW CONCRETE PAVEMENT - SEE DETAILS SHEET C-601
- 5 NEW ASPHALT PAVEMENT - SEE DETAILS SHEET C-601

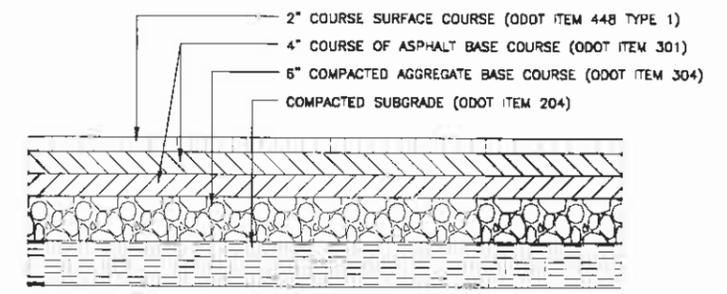
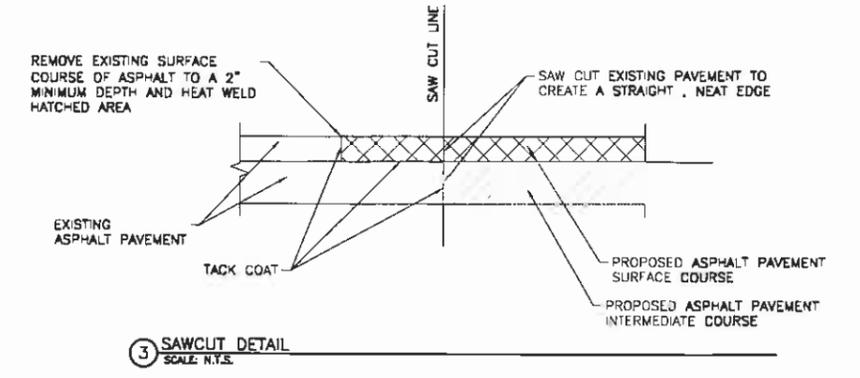
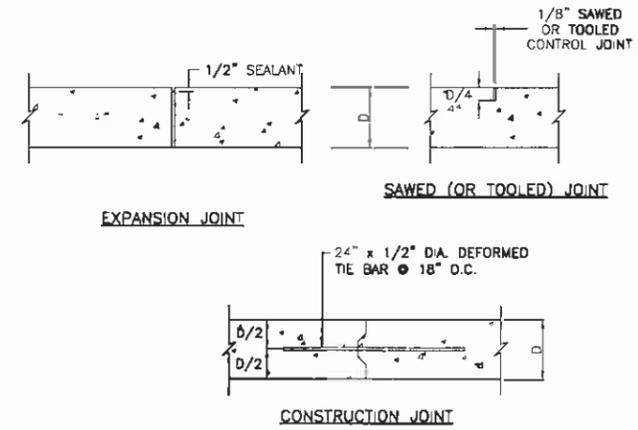
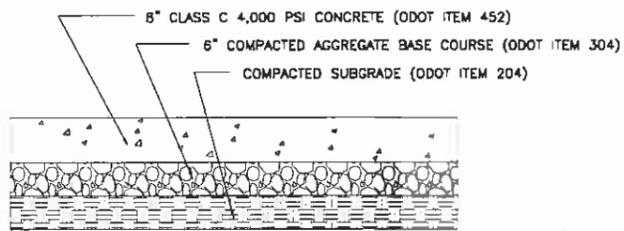
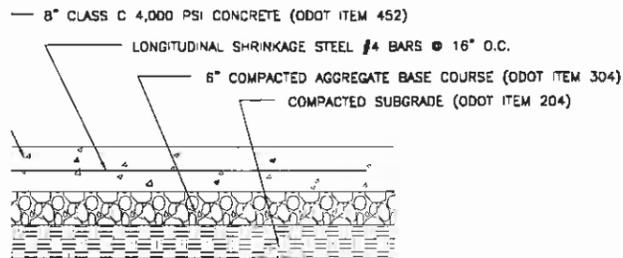
CODED NOTES

- ① STOP SIGN
- ② STOP BAR / CROSS WALK - (SEE DETAIL 10 SHEET C-801)
- ③ CURB - STRAIGHT
- ④ CONCRETE ENTRANCE DRIVE - (SEE DETAIL 2 SHEET C-601)
- ⑤ ASPHALT ENTRANCE DRIVE - NEW (SEE DETAILS SHEET C-601)
- ⑥ ORNAMENTAL SLIDE GATE - (SEE DETAIL SHEET C-604)
- ⑦ FENCE - NEW (SEE DETAILS SHEET C-602)
- ⑧ CONCRETE MEDIAN - NEW (SEE REINFORCED CONCRETE SIDEWALK DETAIL SHEET C-601)
- ⑨ CONCRETE ENTRANCE DRIVE - EXISTING
- ⑩ ASPHALT ENTRANCE DRIVE - EXISTING
- ⑪ CURB - EXISTING TO REMAIN
- ⑫ SIDEWALK - EXISTING
- ⑬ SAWCUT (SEE DETAILS SHEET C-801)
- ⑭ NEW ASPHALT PAVEMENT SHALL MATCH EXISTING PAVEMENT AT SAWCUT



PLAN VIEW
 SCALE: 1" = 10'

03/01/16 ISSUED DEVELOPMENT PLAN APPROVAL		 277 west national boulevard columbus, ohio 43215-2599 (614) 494-4500 fax (614) 494-0568 http://www.aecom.com	 FACILITIES & MATERIALS HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/269-1000	State of OH		Sheet No.	
2/17/16 Issued for Permit				Project: GROVE CITY EXPANSION	Drawing Number: C-506		Date:
01/22/16 OWNER REVIEW SET				GRADE DETAILS AND MOUNDING SECTION		Drawn by: AML	Checked by: MLL
		CO-LOCATION		Address:		Scale:	

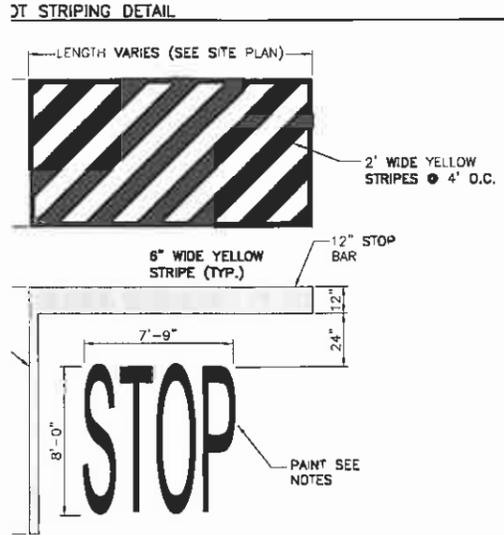
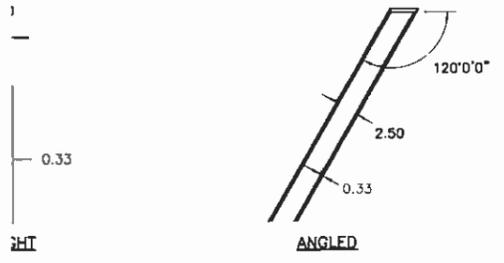


AB SHALL BE TREATED WITH ONE OF THE FOLLOWING:
 - BARRICADE WB244, EUCLID CHEMICAL CO.
 - SS HARDEN X SI, SEALSOURCE INTERNATIONAL, LLC.
 INFORCE CONCRETE WITH MACRO SYNTHETIC FIBER
 ENFORCEMENT AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
 ≥4,000 PSI MINIMUM.
 E CONCRETE CONTROL JOINT DETAIL

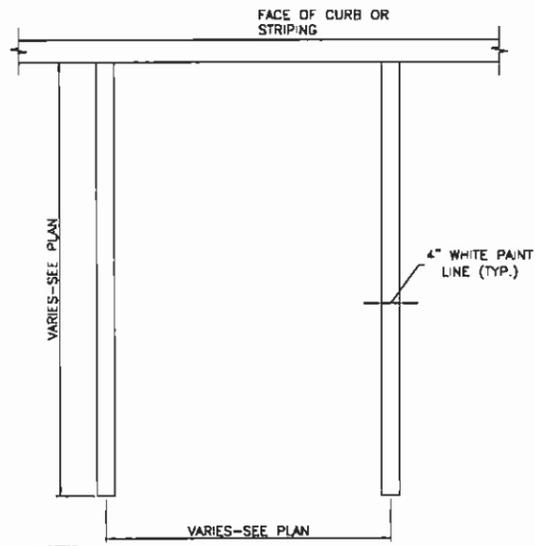
CONCRETE PAVEMENT SECTION

CONCRETE JOINT DETAIL

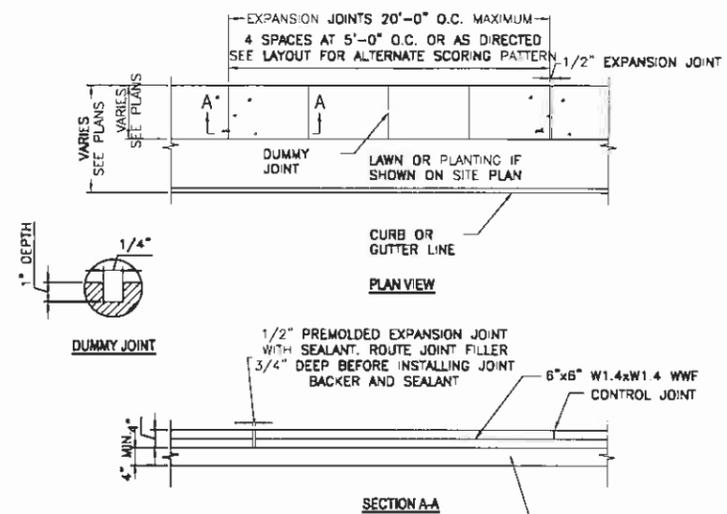
ASPHALT PAVEMENT DETAIL



TRAFFIC STRIPING DETAIL

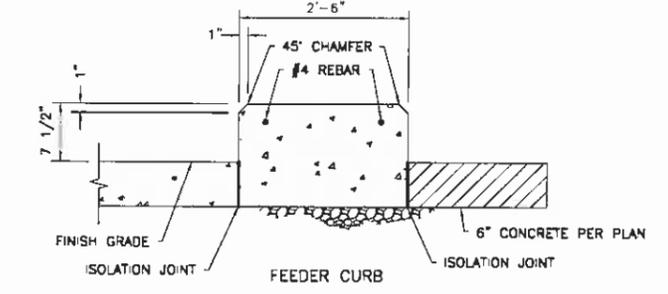
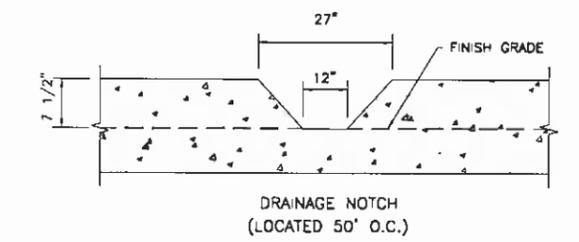


TYPICAL PARKING AND TRAFFIC CONTROL STRIPING DETAIL

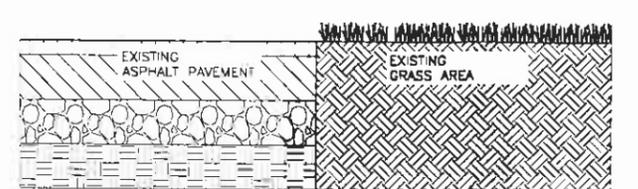
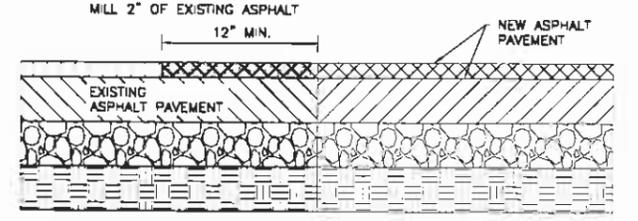


NOTES:
 1. 1/4" WIDE x 1" DEEP CONTROL JOINTS SCORED AT 5'-0" INTERVALS.
 2. CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT.
 3. SIDEWALK TO BE BROOM FINISHED PERPENDICULAR TO SIDEWALK DIRECTION.
 4. COLOR TO BE SELECTED BY OWNER
 5. CONCRETE = CLASS III; F'C = 4,000 PSI

REINFORCED CONCRETE SIDEWALK



FEEDER CURB DETAIL



ASPHALT OVERLAP DETAIL AT PREVIOUSLY LANDSCAPED AREAS

TRAFFIC STRIPING DETAIL

TYPICAL PARKING AND TRAFFIC CONTROL STRIPING DETAIL

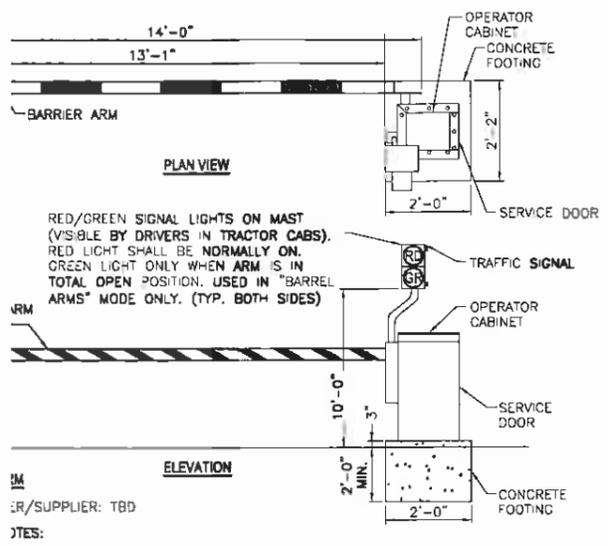
REINFORCED CONCRETE SIDEWALK

FEEDER CURB DETAIL

ASPHALT OVERLAP DETAIL AT PREVIOUSLY LANDSCAPED AREAS

03/01/18	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/18	ISSUED FOR PERMIT
01/22/18	OWNER REVIEW SET

AECOM 277 West Northfield Boulevard Columbus, Ohio 43215-2568 (614) 466-4300 fax (614) 464-0588 http://www.aecom.com	FedEx Ground FACILITIES & MATERIAL HANDLING SYSTEMS 1000 Fectx Drive Moon Township, PA 15108 412/269-1000	GROVE CITY OH	Project: CY15 PAVEMENT RESTRIPING AND INTERIOR RENOVATION Miscellaneuous Details	Drawing Number: C-601
		CO-LOCATION	Drawn By: BAV Checked By: JRD	Date: 01/22/18



RED/GREEN SIGNAL LIGHTS ON MAST (VISIBLE BY DRIVERS IN TRACTOR CABS). RED LIGHT SHALL BE NORMALLY ON. GREEN LIGHT ONLY WHEN ARMS IN TOTAL OPEN POSITION. USED IN "BARREL ARMS" MODE ONLY. (TYP. BOTH SIDES)

OPERATOR CABINET CONCRETE FOOTING

TRAFFIC SIGNAL

OPERATOR CABINET

SERVICE DOOR

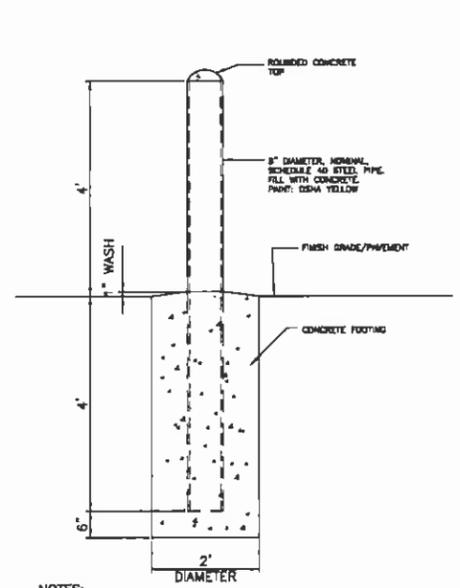
CONCRETE FOOTING

NOTES:

THE BARRIER ARM ACTUATION SWITCHES ARE TO BE LOCATED AT THE ARM CABINETS ON THE SIDE AWAY FROM THE ARM ASSEMBLY. EACH ARM IS TO HAVE A SEPARATE SWITCH CONTROL MOUNTED ON A PEDESTAL LOCATED OUTSIDE THE GUARD HOUSE, NO CLOSER THAN 6 FEET FROM THE BARRIER ARM ASSEMBLY. THAT CONTROL THAT ARM ONLY. NO REMOTE ACTUATORS WILL BE ACCEPTED.

CONCRETE FOOTING SHALL BE SIZED AS REQUIRED BY A LOCAL ENGINEER IN ACCORDANCE WITH ALL JOB SPECIFICATIONS. FOOTING AS SHOWN ARE DESIGNED FOR AVERAGE SOIL AND SITE CONDITIONS. BARRIER ARM COLORS AND PATTERN ARE PER MUTCD STANDARDS.

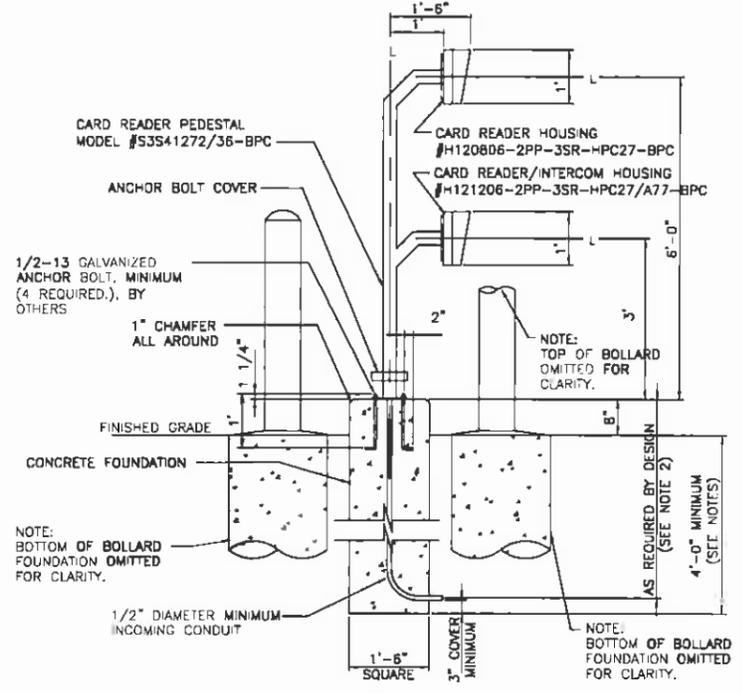
ARM / TRAFFIC SIGNAL DETAIL



NOTES:

- 8" NOMINAL DIAMETER BOLLARDS ARE FOR INTERIOR BUILDING APPLICATIONS.
- PAINT NOTE:
PRIME COAT: 1-SHOP
FINISH COAT: 2-FIELD

8" BOLLARD
SCALE: N.T.S.

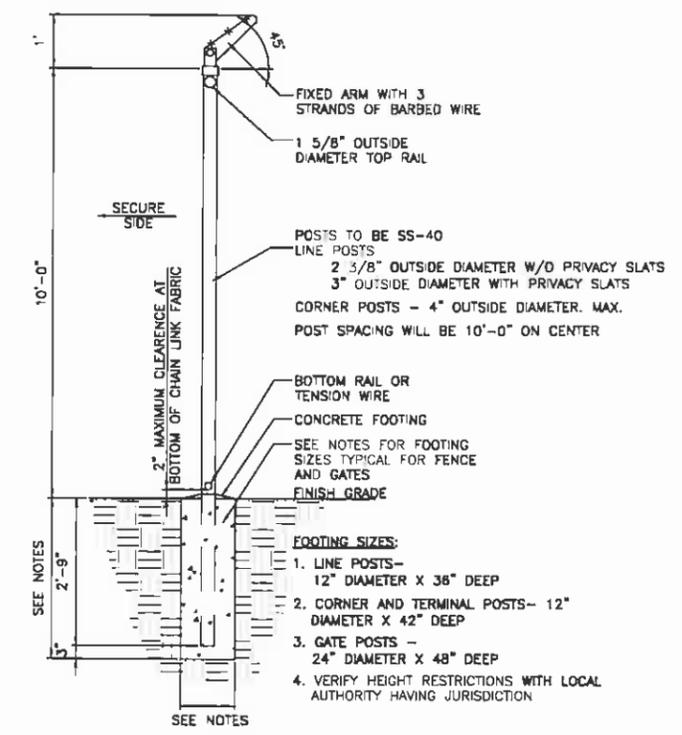


NOTE: BOTTOM OF BOLLARD FOUNDATION OMITTED FOR CLARITY.

NOTE: TOP OF BOLLARD FOUNDATION OMITTED FOR CLARITY.

NOTE: BOTTOM OF BOLLARD FOUNDATION OMITTED FOR CLARITY.

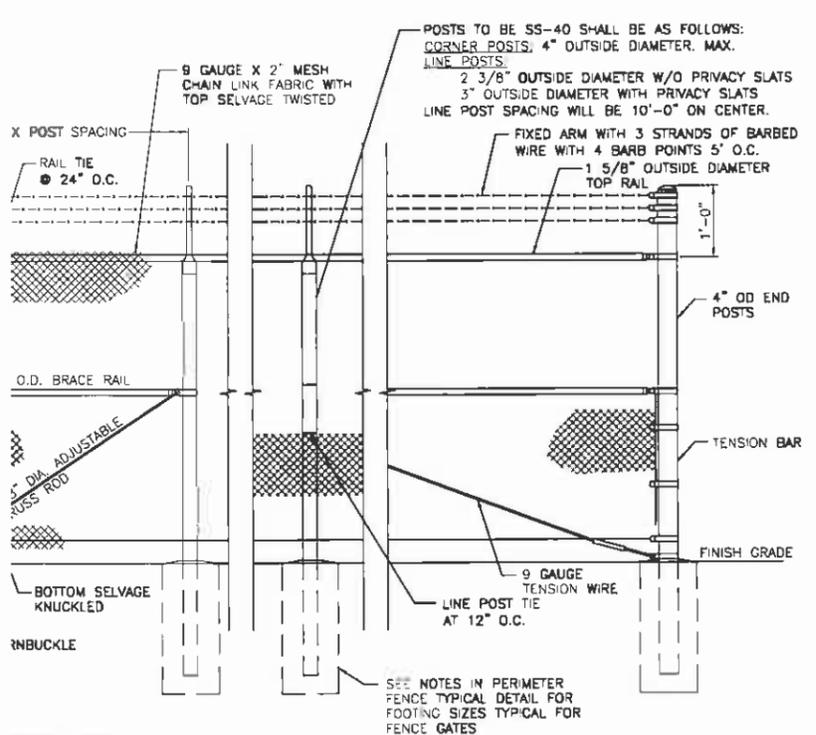
GATE ENTRY ACCESS PANEL - DUAL HEIGHT - SECTION
SCALE: N.T.S.



FOOTING SIZES:

- LINE POSTS - 12" DIAMETER X 36" DEEP
- CORNER AND TERMINAL POSTS - 12" DIAMETER X 42" DEEP
- GATE POSTS - 24" DIAMETER X 48" DEEP
- VERIFY HEIGHT RESTRICTIONS WITH LOCAL AUTHORITY HAVING JURISDICTION

PERIMETER FENCE TYPICAL SECTION
SCALE: N.T.S.



POSTS TO BE SS-40 SHALL BE AS FOLLOWS:
CORNER POSTS: 4" OUTSIDE DIAMETER, MAX.
LINE POSTS:
2 3/8" OUTSIDE DIAMETER W/O PRIVACY SLATS
3" OUTSIDE DIAMETER WITH PRIVACY SLATS
LINE POST SPACING WILL BE 10'-0" ON CENTER.

FIXED ARM WITH 3 STRANDS OF BARBED WIRE WITH 4 BARB POINTS 5' O.C.

1 5/8" OUTSIDE DIAMETER TOP RAIL

4" OD END POSTS

TENSION BAR

FINISH GRADE

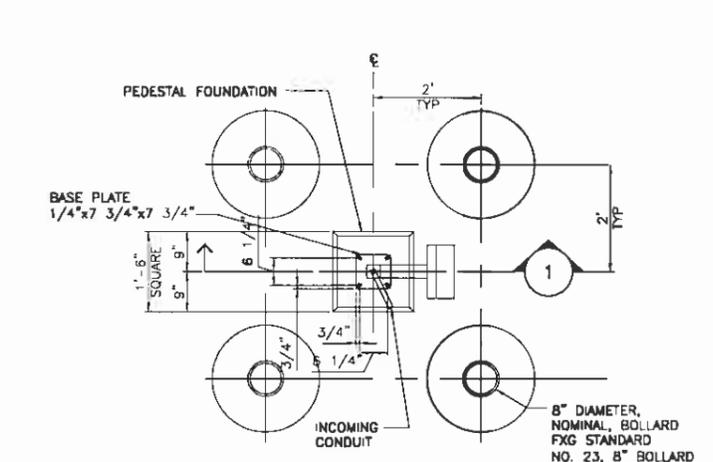
9 GAUGE TENSION WIRE

LINE POST TIE AT 12" O.C.

SEE NOTES IN PERIMETER FENCE TYPICAL DETAIL FOR FOOTING SIZES TYPICAL FOR FENCE GATES

MANUFACTURER: LONG FENCE COMPANY
APPROVED EQUAL

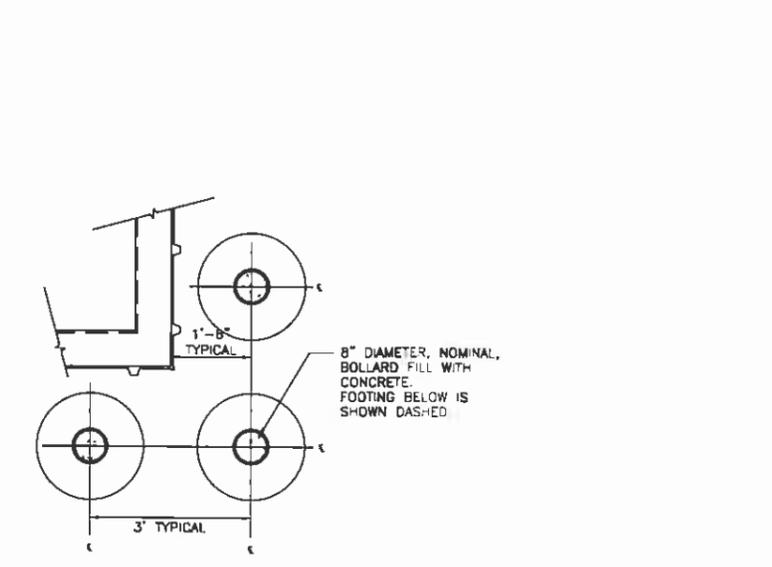
WIRE CHAIN LINK FENCE



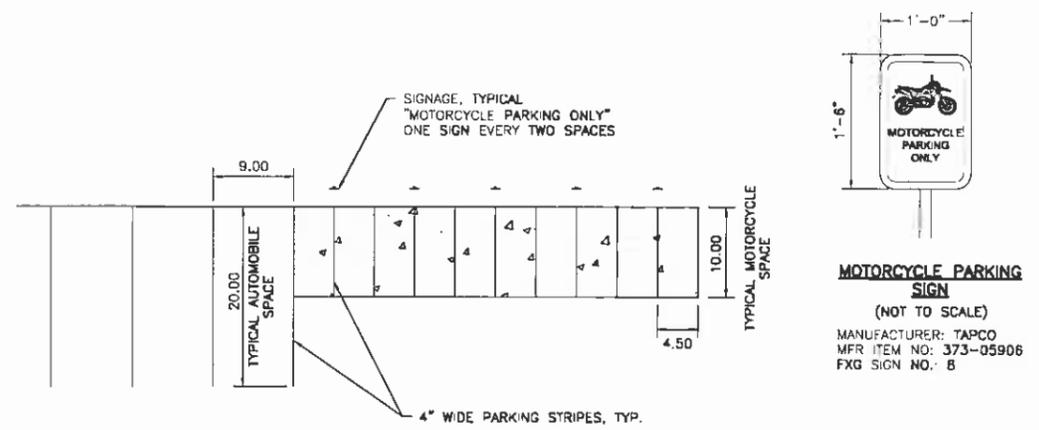
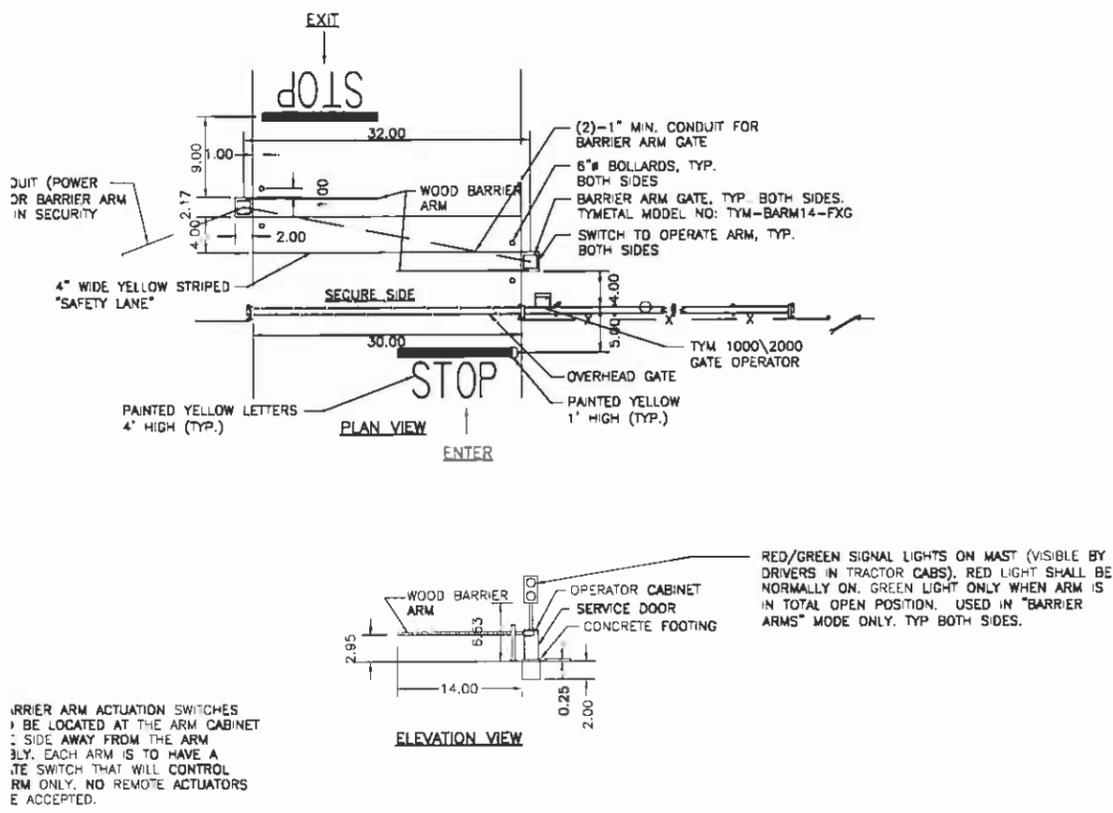
NOTES:

- THE MINIMUM DEPTH FOR THE PEDESTAL FOUNDATION SHALL BE 4'-0" BELOW THE FINISHED GRADE ELEVATION, AND SHALL BE DESIGNED IN ACCORDANCE WITH THE LOCAL SOIL CONDITIONS AND LOCAL CODES. SAID DESIGN SHALL, WITHOUT EXCEPTION, BE REVIEWED BY A LOCAL ENGINEER.
- CONDUIT TO EXIT FOUNDATION BELOW FROST LINE.
- DIMENSIONS DETERMINED BY FXG.
- PEDESTAL AND CARD READER HOUSINGS ARE TO BE PARAGON METAL PRODUCTS OR APPROVED EQUAL.
- PEDESTAL ARRANGEMENT TO BE FURNISHED BY TYMETAL INC. AND INSTALLED BY TYMETAL INC. APPROVED INSTALLER.

GATE ENTRY ACCESS PEDESTAL PLAN
SCALE: N.T.S.



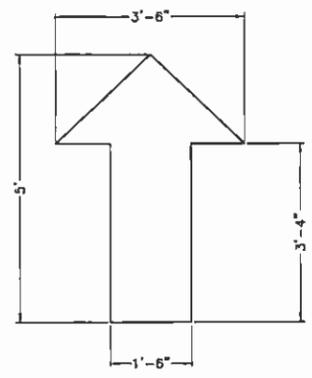
BOLLARDS AT BUILDING CORNER DETAIL
SCALE: N.T.S.



- NOTES:**
1. PARKING FOR MOTORCYCLES SHALL BE PROVIDED AT ALL HUBS AND AUTOMATED SATELLITES.
 2. MOTORCYCLE PARKING TO BE LOCATED ADJACENT TO THE SECURITY/GATEWAY BUILDING WHEN POSSIBLE.
 3. QUANTITY OF MOTORCYCLE PARKING TO BE HALF OF ACCESSIBLE PARKING, MINIMUM 4 SPACES.
 4. VERIFY AND COORDINATE SITE SPECIFIC REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION.

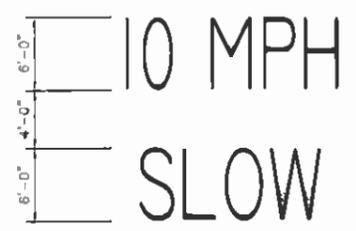
2 TYPICAL MOTORCYCLE PARKING PLAN
SCALE: N.T.S.

DATE



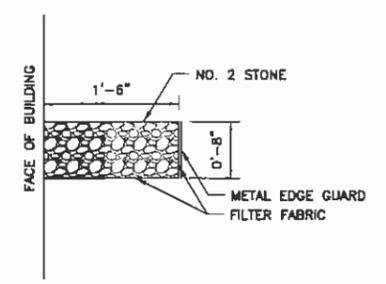
- NOTE:**
1. WHITE (ARROWS TO BE CENTERED IN TRAVEL LANE) FOR EMPLOYEE PARKING.
 2. YELLOW (ARROWS TO BE CENTERED IN TRAVEL LANE) FOR TRUCK TRAFFIC.

3 PAINTED TRAFFIC ARROW DETAIL
SCALE: N.T.S.

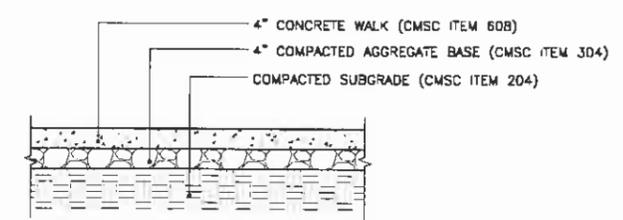


- NOTES:**
1. NOTES SHALL BE CENTERED IN LANE
 2. NOTES ARE TO BE WHITE PAINT AND 4" WIDE, TYP.

4 PAINTED SPEED LIMIT DETAIL
SCALE: N.T.S.

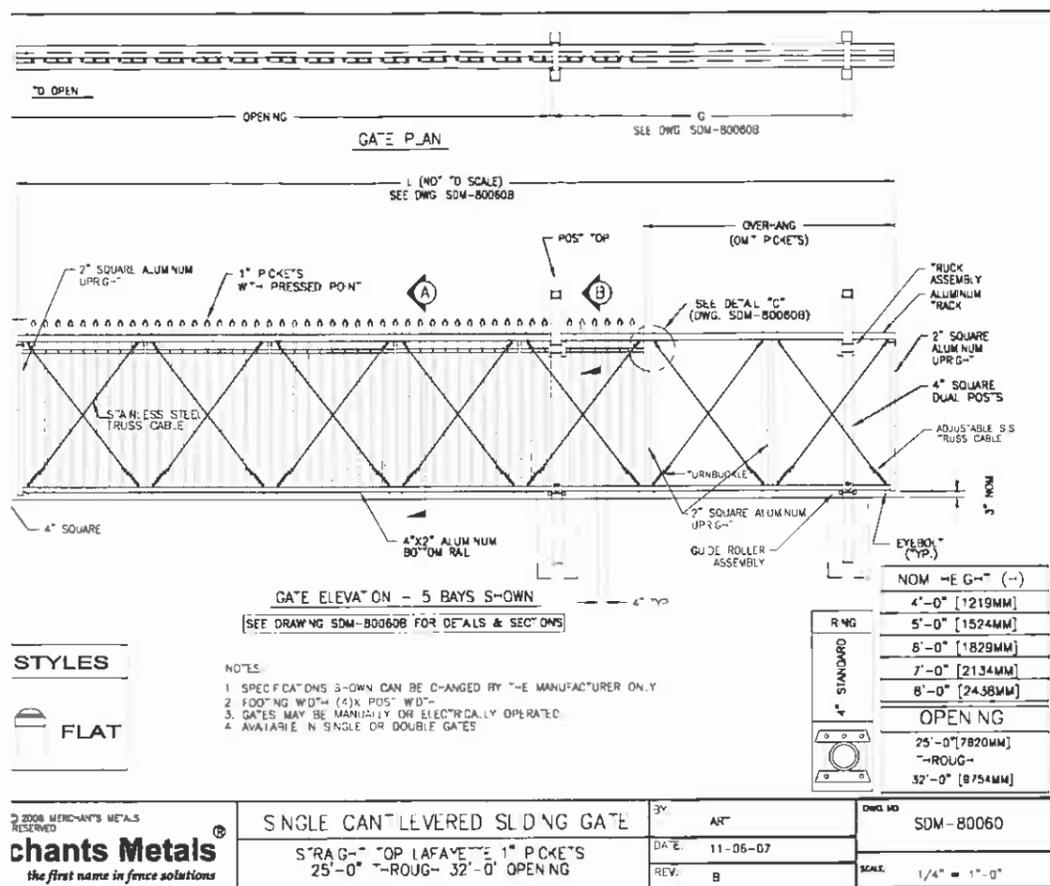


5 PERIMETER GRAVEL STRIP DETAIL
SCALE: N.T.S.

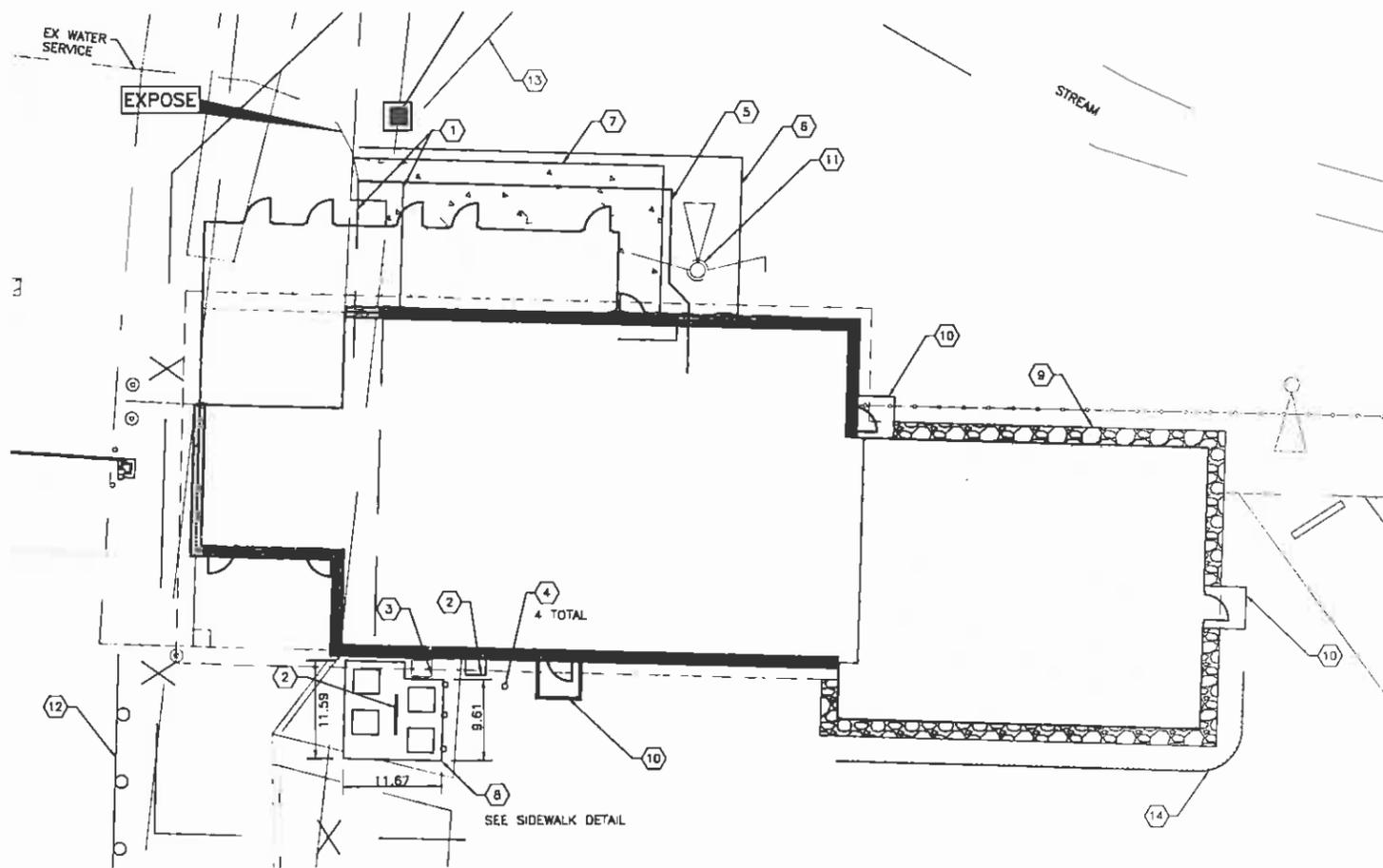


6 CONCRETE WALK DETAIL (NON-REINFORCED)
SCALE: N.T.S.

		03/01/16 ISSUED DEVELOPMENT PLAN APPROVAL		AECOM 277 West Nationwide Boulevard Columbus, Ohio 43215-2598 (614) 496-4300 Fax (614) 464-0588 http://www.aecom.com	FedEx Ground FACILITIES & MATERIAL HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/288-1000	Location GROVE CITY State of OH Project CY15 PAVEMENT RESTRIPING AND INTERIOR RENOVATION		Drawing Number C-603	
		02/17/16 ISSUED FOR PERMIT				Title MISCELLANEOUS DETAILS Scale Drawn By BRW Checked By JRD Approved			Sheet No.
		01/22/16 OWNER REVIEW SET				CO-LOCATION			



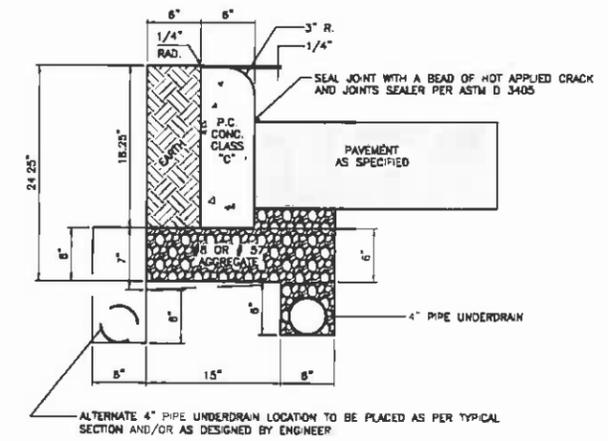
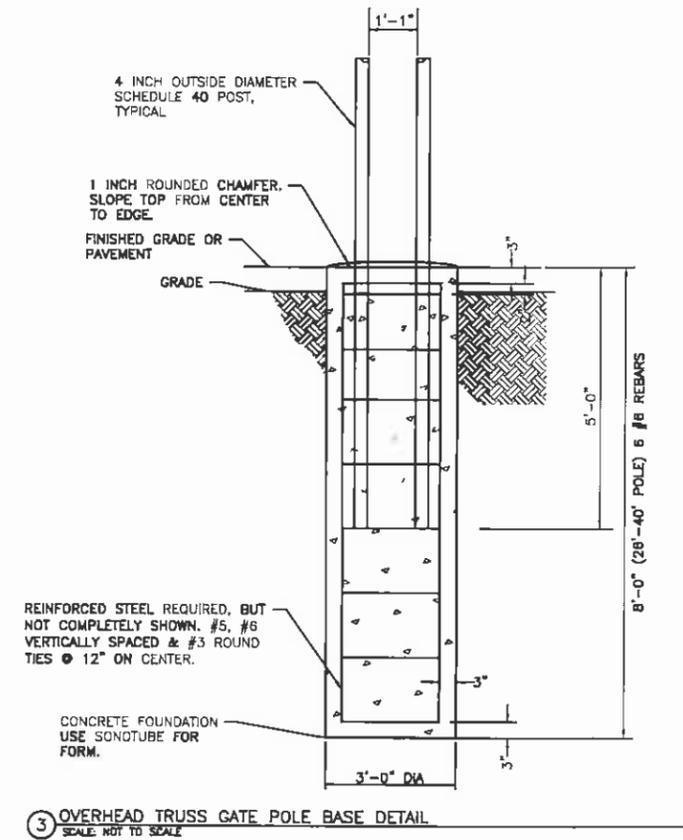
DE GATE (W/O PICKETS)



CODED NOTES:

- EXISTING 2" WATER SERVICE AND 2" GAS SERVICE TO BE RELOCATED.
- EXISTING ELECTRICAL UNITS TO BE REMOVED.
- EXISTING ELECTRICAL UNIT TO REMAIN.
- EXISTING BOLLARDS TO BE REMAIN.
- PROPOSED 2" WATER SERVICE.
- PROPOSED 2" GAS SERVICE.
- CONCRETE WALK, SEE DETAIL 8 SHEET C-603.
- CONCRETE PAD, SEE DETAIL 6 SHEET C-603.
- GRAVEL STRIP, SEE DETAIL 5 SHEET C-603.
- CONCRETE FROST STOOP (5'x5').
- EXISTING SECURITY POLE TO REMAIN.
- EXISTING GUARDRAIL TO BE REMOVED.
- REGRADE SWALE FOR POSITIVE DRAINAGE.
- PROPOSED GUARDRAIL, TYPE S.

EXPOSE:
EXACT LOCATION OF EXISTING WATERLINE IS UNKNOWN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE WATERLINE AND FIELD VERIFY THE EXACT LOCATION AND DEPTH.



ING ADDITION DETAIL

03/01/16	ISSUED DEVELOPMENT PLAN APPROVAL
02/17/16	ISSUED FOR PERMIT
01/22/16	OWNER REVIEW SET

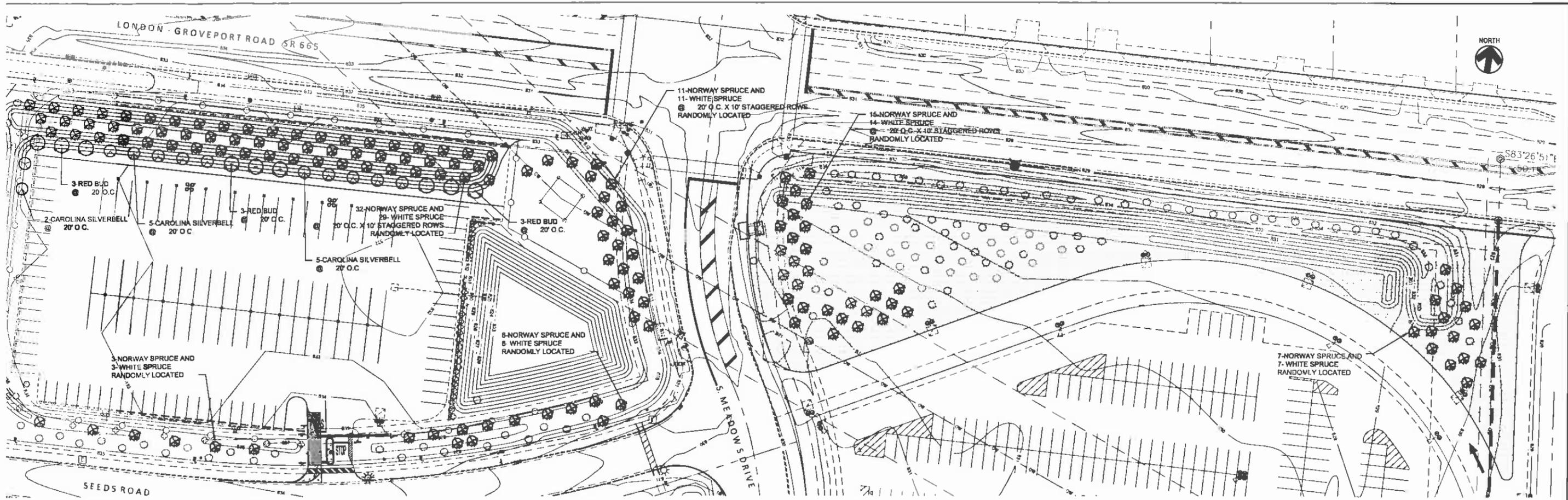
AECOM
277 west nationwide boulevard
columbus, ohio 43215-2568
(814) 484-4500 fax (814) 484-0588
http://www.aecom.com

FedEx Ground
CO-LOCATION

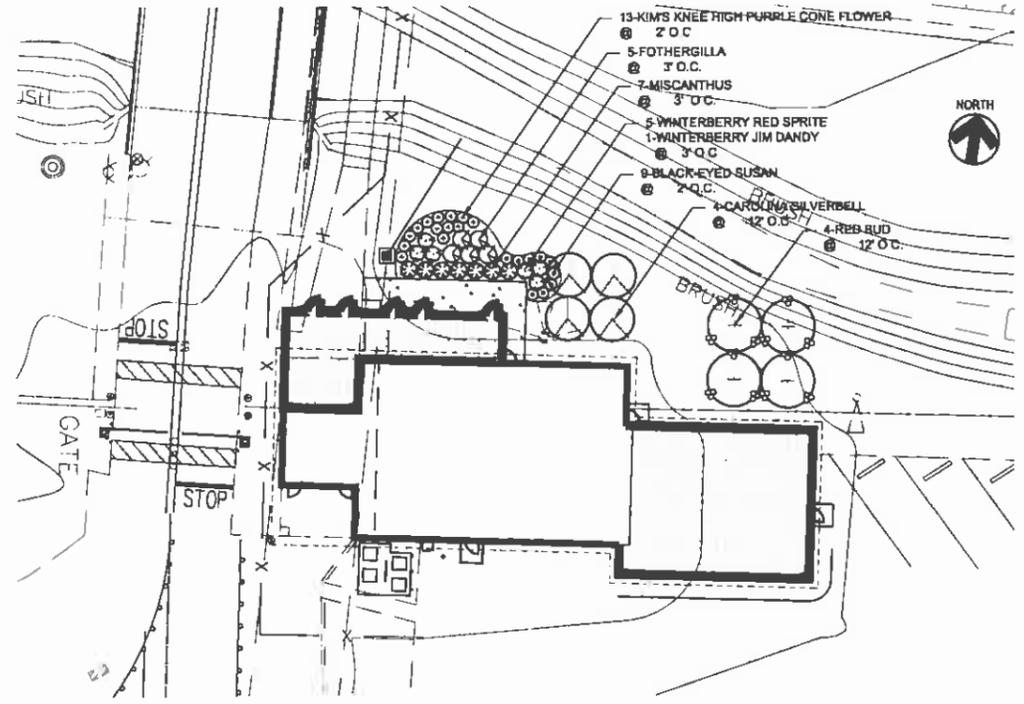
FACILITIES & MATERIAL HANDLING SYSTEMS
1000 Fiedels Drive
Moon Township, PA 15108
412/289-1000

LOCATION: GROVE CITY, OH
CY15 PROJECT: PAVEMENT RESTRIPIING AND INTERIOR RENOVATION
TITLE: MISCELLANEOUS DETAILS
Scale: DWG
Checked: JRD
Date: 3-01-16
Project: 8120 S. MEADOWS DR.
8120 S. MEADOWS DR.

Sheet No: **C-604**
Drawing Number: 432-F-179
Rev: A



NORTHWEST AND NORTHEAST TRUCK PARKING
SCALE 1" = 40'



BUILDING EXPANSION
SCALE 1" = 20'

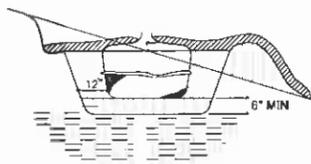
PLANT LIST

Qty	Botanical Name	Common Name	Caliper	Height	Spread	Root	Character
13	<i>Cercis canadensis</i>	Red Bud	2" standard trunk	8'-10'	4'	B&B	Single Trunk, well branched, Healthy
13	<i>Halesia carolina</i>	Carolina Silverbell	2" standard trunk	8'-10'	4'	B&B	Single Trunk, well branched, Healthy
74	<i>Picea abies</i>	Norway Spruce	2" min.	6' min	2'-3'	B&B	Full to ground, Well branched, Healthy
70	<i>Picea glauca</i>	White Spruce	2" min.	6' min.	2'-3'	B&B	Full to ground, Well branched, Healthy
13	<i>Echinacea purpurea</i> 'Kim's Knee High'	Kim's Knee High Purple Cone Flower				1 gal.	Full in pot, Healthy, Not root bound
5	<i>Fothergilla gardenii</i>	Fothergilla		24"		5 gal.	Full in pot, Healthy, Not root bound
1	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry		24"		5 gal.	Full in pot, Healthy, Not root bound
5	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry		24"		5 gal.	Full in pot, Healthy, Not root bound
7	<i>Miscanthus gracillimus</i> 'Morning Light'	Miscanthus				3 gal.	Full in pot, Healthy, Not root bound
9	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan				1 gal.	Full in pot, Healthy, Not root bound

- LEGEND**
- ⊗ EXISTING O/H LIGHTS w/ GUARD POSTS
 - PROPOSED CHARGING STATIONS
 - ▭ LIMITS OF LANDSCAPE RESTORATION - DEAD LANDSCAPING SHALL BE REPLACED

GENERAL NOTES

SEE SPECIFICATIONS FOR DRAINAGE TEST REQUIREMENTS PRIOR TO PLANTING
DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
IMMEDIATELY SOAK WITH WATER
DO NOT BREAK ROOTBALL
ROPES, BURLAP, 50% OF WIRE CAGE, AND ALL TRUNK WRAP SHOULD BE REMOVED PRIOR TO INSPECTION



PLANTING PROCEDURE

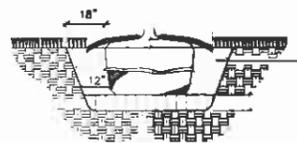
- 1 EXCAVATE ROOTBALL PIT
- 2 ADD EXCAVATED SOIL AND TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE
- 3 BACKFILL WITH SOIL MIX AND WATER 1"
- 4 COMPLETE BACKFILLING, CONSTRUCT A TRENCH EDGE AND ADD SPECIFIED MULCH
- 5 STAKE AND GUY SECURELY

1 TYPICAL TREE ROOTBALL PIT ON SLOPE

SCALE: N.T.S.

GENERAL NOTES

- 1 SEE SPECIFICATIONS FOR DRAINAGE TEST REQUIREMENTS PRIOR TO PLANTING
- 2 DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
- 3 IMMEDIATELY SOAK WITH WATER
- 4 DO NOT BREAK ROOTBALL
- 5 ROPES, BURLAP, 50% OF WIRE CAGE, AND ALL TRUNK WRAP SHOULD BE REMOVED PRIOR TO INSPECTION

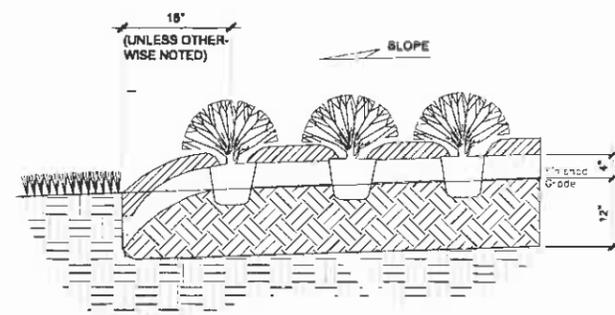


PLANTING PROCEDURE

- 1 EXCAVATE ROOTBALL PIT
- 2 ADD EXCAVATED SOIL AND TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE
- 3 BACKFILL WITH SOIL MIX AND WATER 1"
- 4 COMPLETE BACKFILLING, CONSTRUCT A TRENCH EDGE AND ADD SPECIFIED MULCH
- 5 STAKE AND GUY SECURELY

2 TYPICAL TREE ROOTBALL PIT

SCALE: N.T.S.



PLANTING PROCEDURE

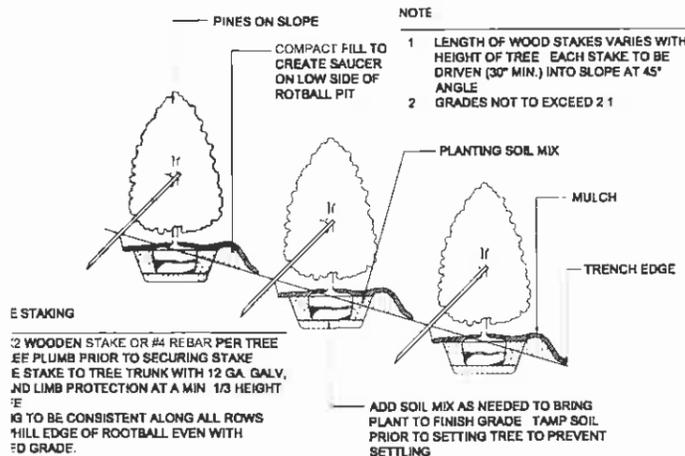
- 1 LAYOUT BED AND OUTLINE WITH TRENCH EDGE. PLACE SOIL FROM EDGE WITHIN BED
- 2 ROTOTILL BED TO A DEPTH OF 12" SPREAD 4" MINIMUM LAYER OF PLANTING SOIL MIX OVER THE BED. ROTOTILL SOIL MIX INTO TOP OF BED. INSTALL PLANTS AND MULCH. WATER THOROUGHLY.

3 SHRUB PLANTING

SCALE: N.T.S.

PLANTING NOTES:

- 1 CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
- 2 ALL PLANTS MUST BE VIGOROUS, HEALTHY MATERIAL, FREE FROM PESTS AND DISEASE
- 3 ALL PLANTS AND TREES MUST MEET ALL REQUIREMENTS SPECIFIED IN THE PLANT LIST, DETAILS AND SPECIFICATIONS
- 4 ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS
- 5 ALL PLANTS AND PLANTING AREAS MUST BE MULCHED AS SPECIFIED
- 6 CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK
- 7 CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER.
- 8 CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF THE OWNER)
- 9 CONTRACTOR SHALL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE LANDSCAPE ARCHITECT APPROVE ALL STAKING PRIOR TO INSTALLATION.
- 10 ALL TREES IN LEAF MUST BE ACCLIMATED FOR TWO WEEKS UNDER MIST SYSTEM PRIOR TO INSTALLATION
- 11 ANY MATERIAL WHICH DIES OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED FROM THE SITE AND BE REPLACED
- 12 STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.



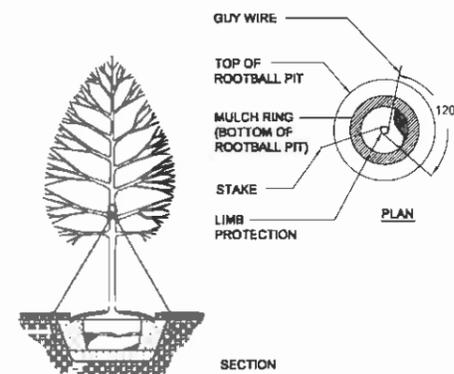
STAKING

- 1 2 WOODEN STAKE OR #4 REBAR PER TREE
- 2 SET PLUMB PRIOR TO SECURING STAKE
- 3 SET STAKE TO TREE TRUNK WITH 12 GA. GALV.
- 4 AND LIMB PROTECTION AT A MIN. 1/3 HEIGHT
- 5 SET TO BE CONSISTENT ALONG ALL ROWS
- 6 TILL EDGE OF ROOTBALL EVEN WITH FINISHED GRADE.

4 TYPICAL PINES ON SLOPE

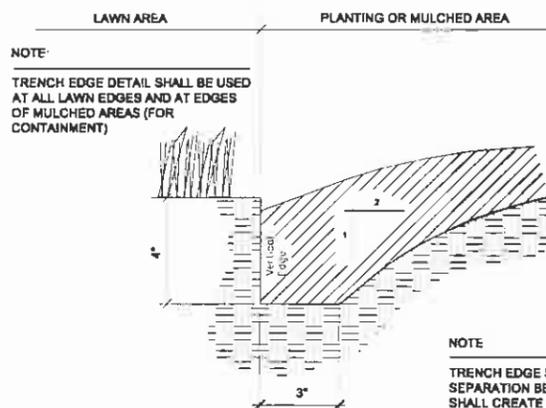
SCALE: N.T.S.

NOTE:
SET TREE PLUMB PRIOR TO STAKING



5 TYPICAL TREE STAKING AND GUYING

SCALE: N.T.S.



NOTE:

TRENCH EDGE DETAIL SHALL BE USED AT ALL LAWN EDGES AND AT EDGES OF MULCHED AREAS (FOR CONTAINMENT)

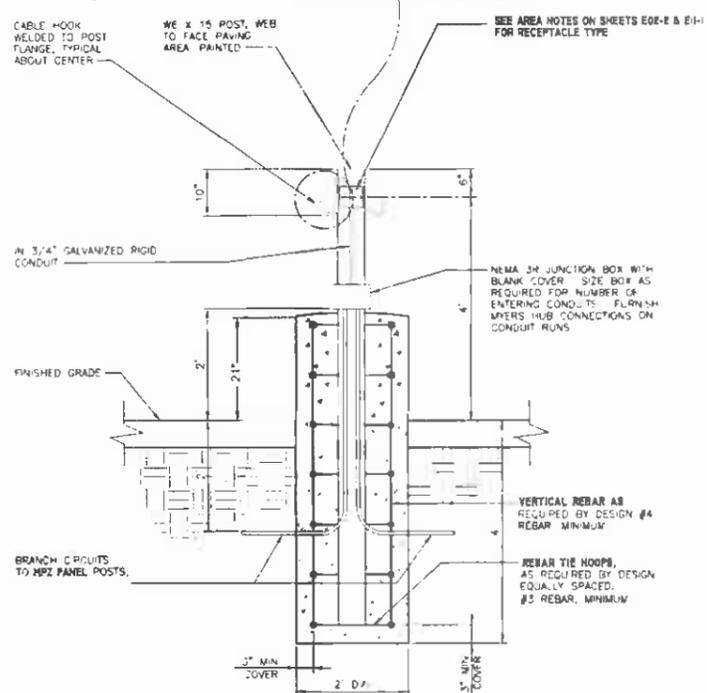
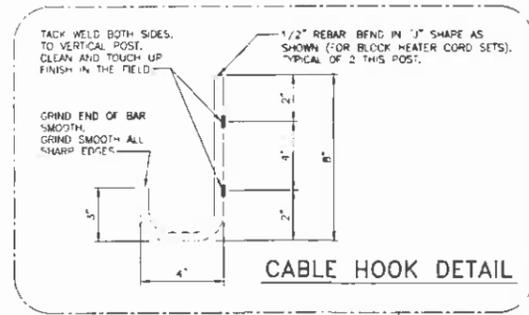
NOTE:

TRENCH EDGE SHALL CREATE A CLEAR SEPARATION BETWEEN AREAS AND SHALL CREATE SMOOTH AND EVEN LINES (AS INDICATED ON PLANS)

6 TRENCH EDGE

SCALE: N.T.S.

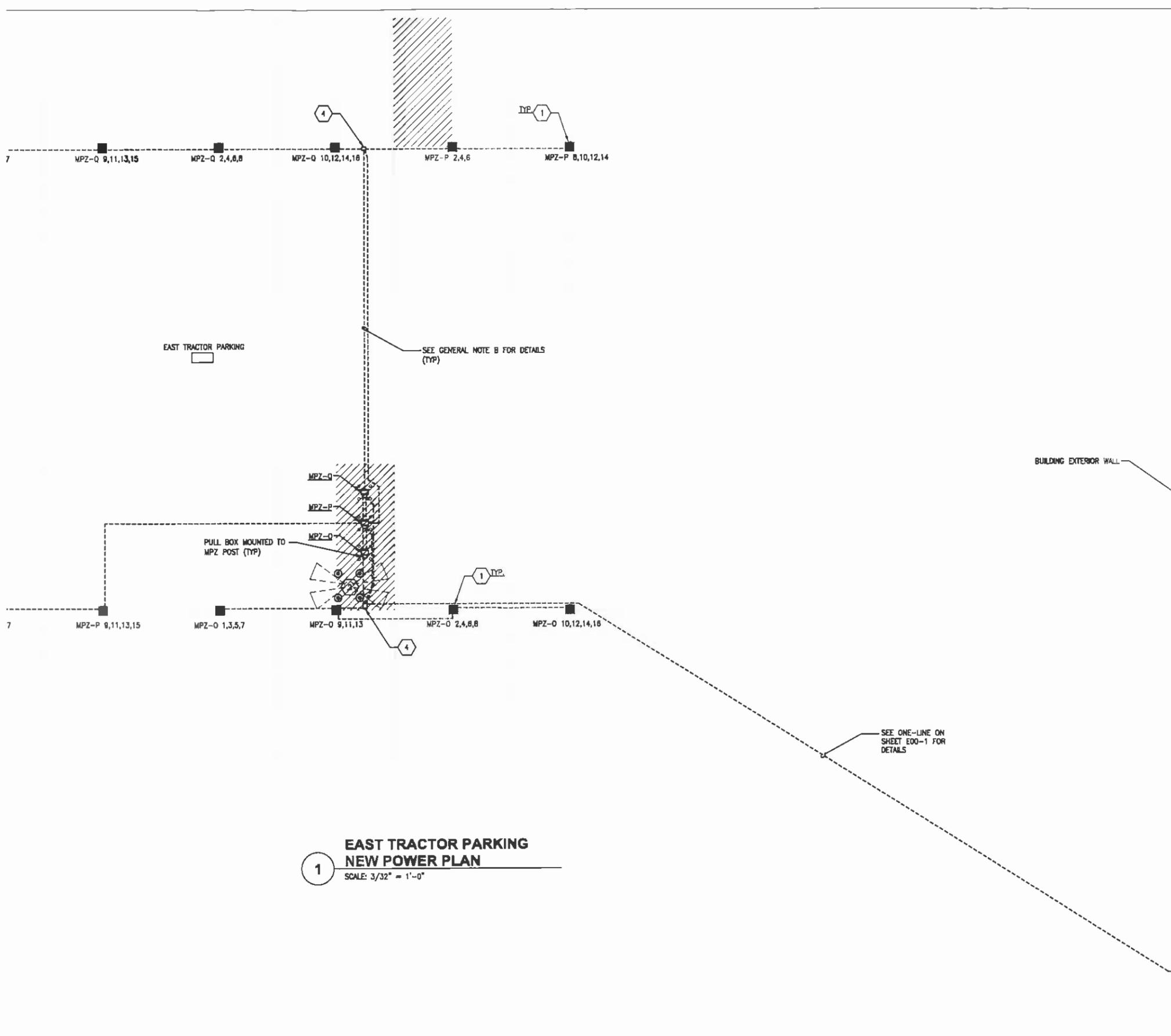
<p>AECOM 777 West Nationwide Boulevard Columbus, Ohio 43215-2566 (614) 494-4500 Fax (614) 494-0538 http://www.aecom.com</p>		<p>FedEx Ground CO-LOCATION</p>		<p>FACTILES & MATERIAL AND NG SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/288-1000</p>		<p>PROJECT: COLUMBUS CY15 EXPANSION AND GRADING LANDSCAPE DETAILS</p>		<p>Date of Revision: OH</p>		<p>Sheet No: L-102</p>	
<p>03/01/18 ISSUED DEVELOPMENT PLAN APPROVAL</p>		<p>2/17/18 Issued for Permit</p>		<p>01/22/18 OWNER REVIEW SET</p>		<p>Scale: 1"=30'</p>		<p>Drawn by: []</p>		<p>Rev: []</p>	



- NOTES:
- ENTIRE PIER BY ELECTRICAL CONTRACTOR
 - ALL CONDUITS ABOVE GRADE SHALL BE GALVANIZED RIGID CONDUIT

1 **BLOCK HEATER RECEPTACLE POST-TRACTORS**
ELEVATION/SECTION
 SCALE: NTS

										AECOM 277 west nationwide boulevard columbus, ohio 43215-2586 (614) 464-4500 fax (614) 464-0588 http://www.aecom.com		FedEx Ground FACILITIES & MATERIAL HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/289-1000		Location: COLUMBUS State or Province: OH		Sheet No.: E00-4	
		2/17/16		Issued for Permit						Project: CY15 EXPANSION Title: BLOCK HEATER PEDESTAL DETAILS							
		01/22/16		Owner Review Set						Scale: NTS Drawn By: MVP Design Eng.: MMJ Checked By: MMJ Date: 08-14-15		Address: 5120 SOUTH MEADOWS DRIVE GROVE CITY, OH 43123		Drawing Number: 432-Y-179 Revision: A			
Rev	Date	Revised Items	Dr	DF	Date	Revised Items	Dr	DF	Project No.	Project: NONE This drawing is the Proprietary Property of TFCX GROUND PACKAGE SYSTEM, Inc and must not be used in any other circumstance except in correlation with our work.							



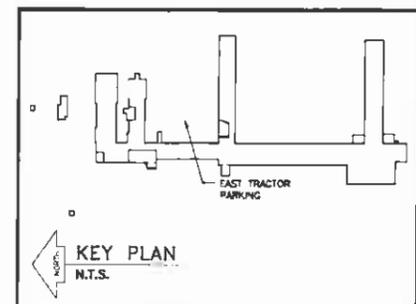
**1 EAST TRACTOR PARKING
NEW POWER PLAN**
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- A. SEE SHEET E00-1 FOR ONE-LINE DIAGRAM AND PANEL SCHEDULE DETAILS. CONTRACTOR TO VERIFY FEASIBILITY OF REUSING EXISTING DUCT BANK/CONDUIT ROUTING TO ABANDONED ELECTRICAL EQUIPMENT (CODED NOTE 2).
- B. MINI POWER CENTERS SHALL HAVE (1) 20A 120V 1Ø BREAKER INSTALLED PER EACH OF THE (46) TOTAL DEDICATED BLOCK HEATER CIRCUITS. EACH CIRCUIT SHALL FEED A NEMA 2ØR GFL1-PLW RECEPTACLE MOUNTED ON THE BLOCK HEATER RECEPTACLE POST VIA 1" PVC WITH (2) #10 AWG AND (1) #10 GND. SEE SHEET E00-4 FOR DETAILS.
- C. LOCATION OF MINI POWER CENTERS AS SHOWN ON THIS SHEET IS DIAGRAMATIC ONLY. CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL LOCATION OF POWER CENTERS.
- D. MINI POWER CENTERS SHALL BE MOUNTED ON A STEEL POLE. SEE SHEET E-004.
- E. HATCHED SPACES ARE UNUSABLE FOR PARKING. CORRESPONDING RECEPTACLE POSTS WILL ONLY HAVE (3) DEDICATED CIRCUITS RUN TO THEM.

(X) CODED NOTES

- 1. BLOCK HEATER RECEPTACLE POST. SEE SHEET E00-4 FOR DETAILS.
- 2. UNUSED 'MOO DOCK' ELECTRICAL EQUIPMENT. (2) 480V 1 PH DISCONNECTS, EACH WITH TRANSFORMER AND 120/240V FUSES WITH NO LOAD.
- 3. UTILIZE EXISTING 150A, 3 PH, 480V BREAKER IN PANEL 'BH' TO FEED (3) NEW 480/208V, 3ØKVA, 90A POST-MOUNTED EATON MINI POWER CENTERS (MPZ-Q, MPZ-P, MPZ-O), STYLE P48028T30P IN EAST TRACTOR PARKING LOT.
- 4. PROVIDE NEW HANDHOLE WITH WEATHER-PROOF SPLICES.



				FACILITIES & MATERIAL HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/289-1000		Location: COLUMBUS Project: CY15 EXPANSION Title: EAST TRACTOR PARKING		State or Province: OH Sheet No: 3/32"-1'-0" Date: 01/22/16		Drawing Number: E02-2 Revision: 432-Y-179	
277 west nationwide boulevard columbus, ohio 43215-2566 (614) 464-4500 fax (614) 464-0588 http://www.aecom.com		Project No: NONE		This drawing is the Proprietary Property of PECK GROUND PACKAGE SYSTEM, Inc. and		Design: MMJ Check: MMJ Date: 01/22/16		Address: 6120 SOUTH MEADOWS DRIVE		Drawing Number: 432-Y-179 Revision: A	

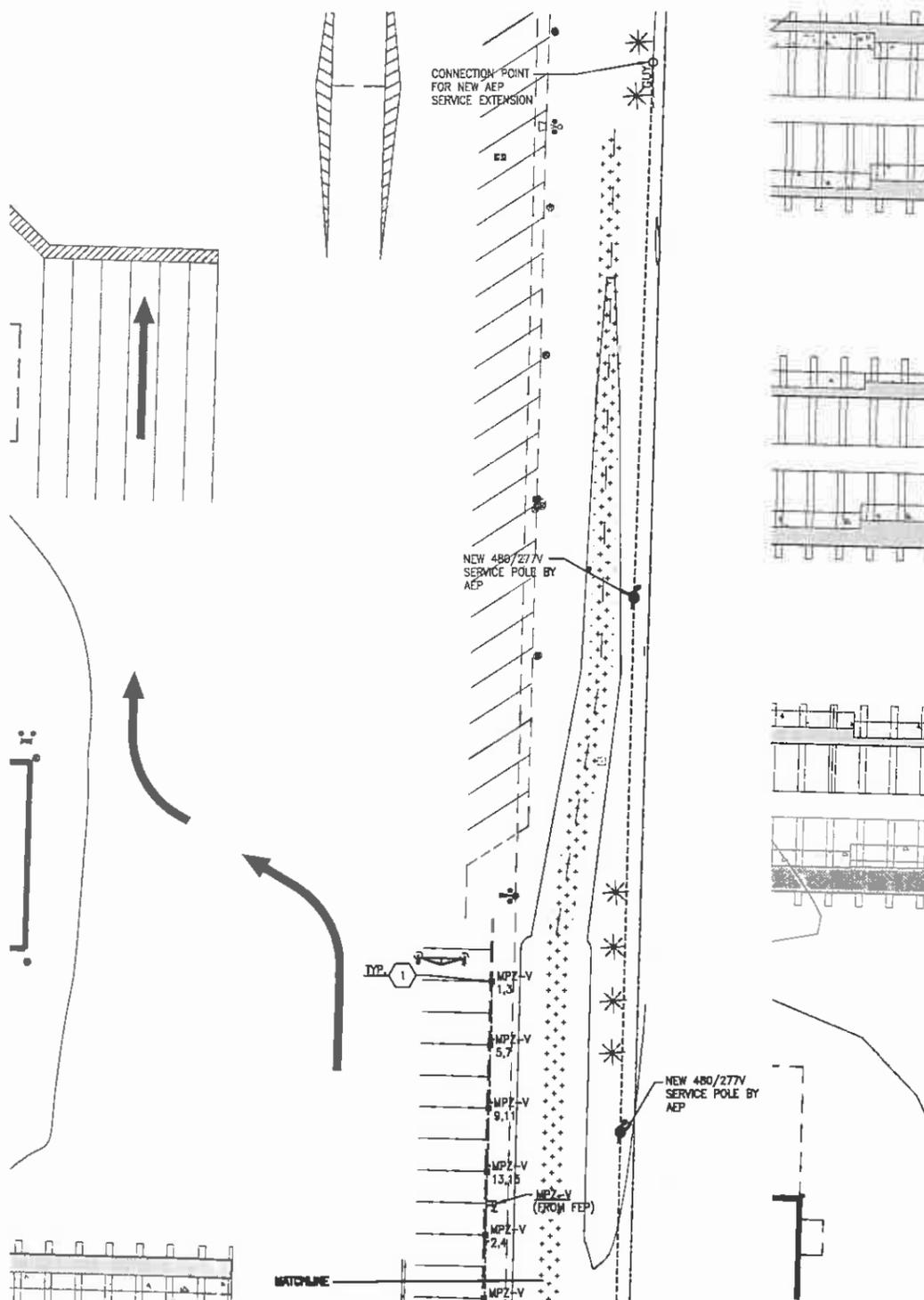
GENERAL NOTES

A. SEE SHEET E00-3 FOR PANEL SCHEDULES AND ONE-LINE.

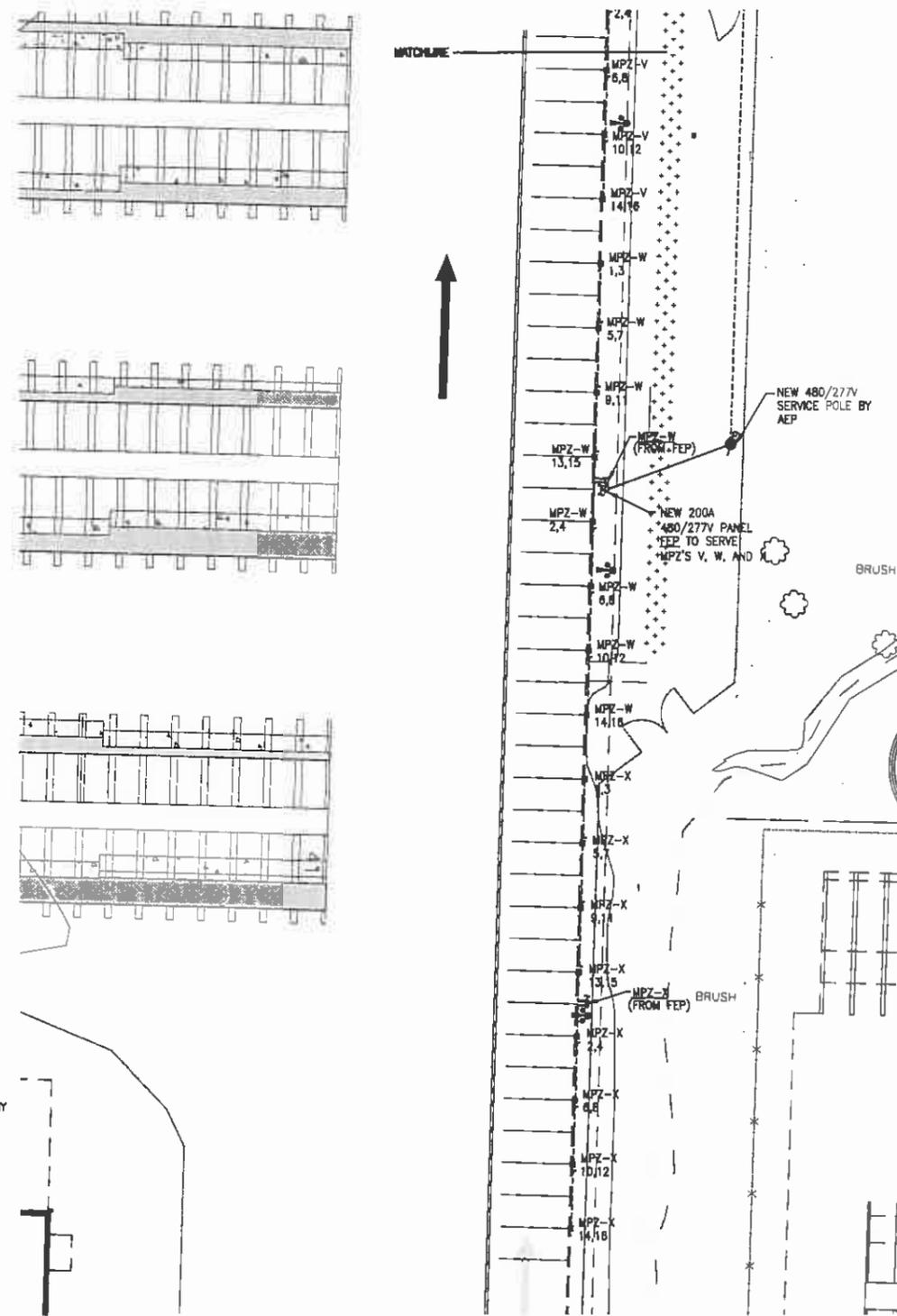
B. COORDINATE ALL REQUIREMENTS WITH AEP PRIOR TO BID.

(X) CODED NOTES

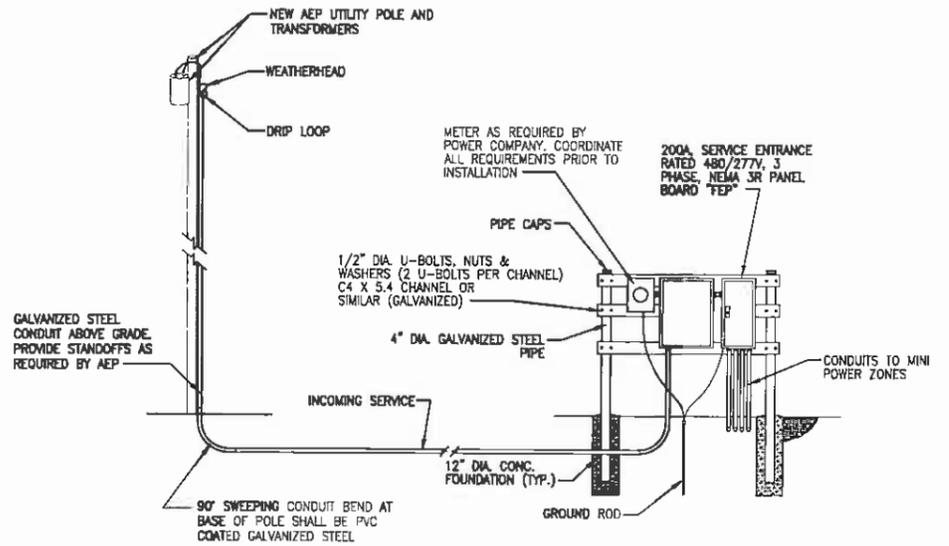
1. BLOCK HEATER RECEPTACLE POSTS. REFER TO SHEET E00-4 FOR DETAIL TYPICAL.



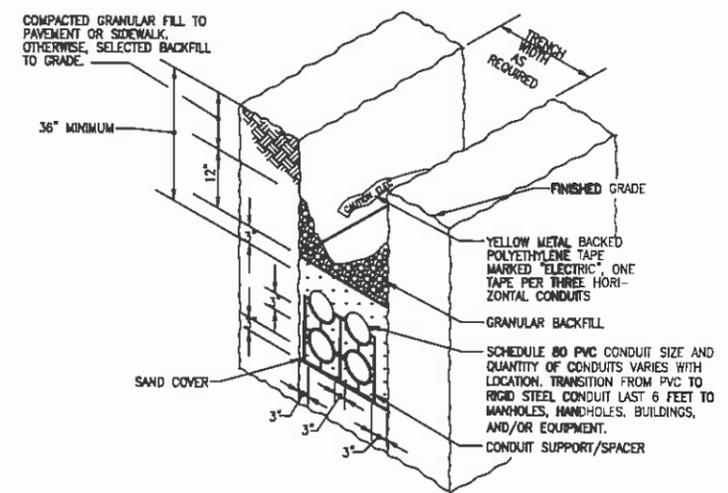
1 FAR EAST TRACTOR PARKING PART A
SCALE: 1" = 30'



2 FAR EAST TRACTOR PARKING PART B
SCALE: 1" = 30'



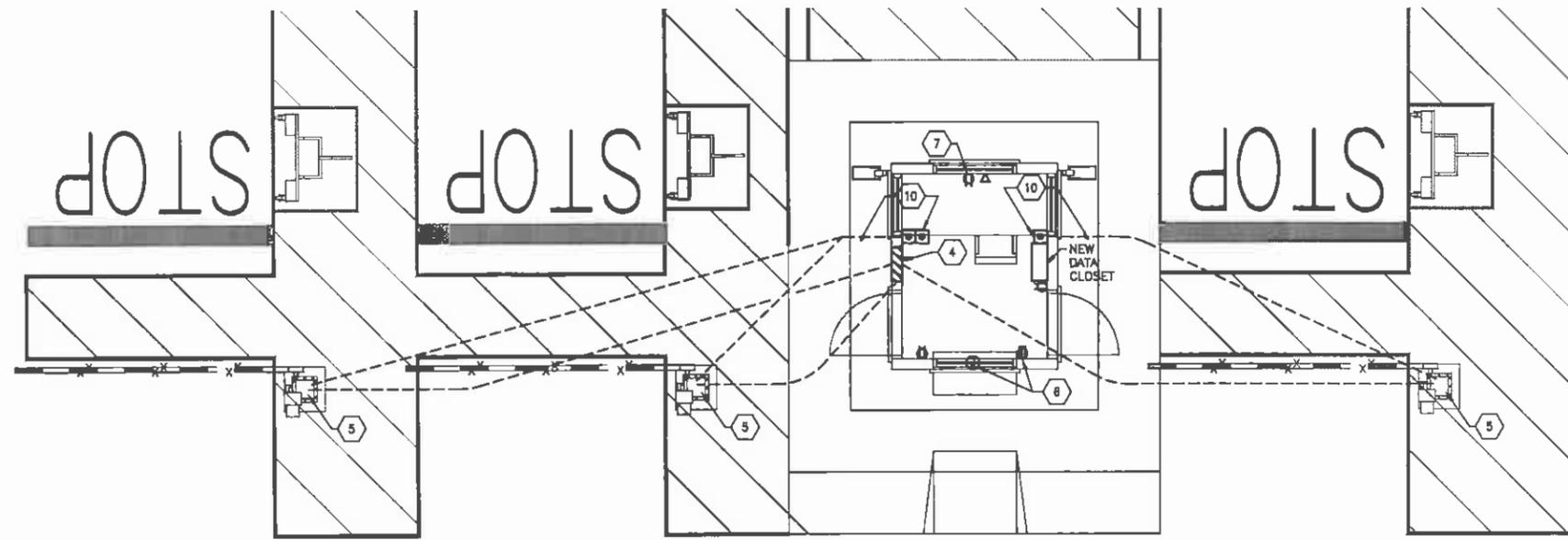
3 SERVICE EQUIPMENT DETAIL
SCALE: NTS



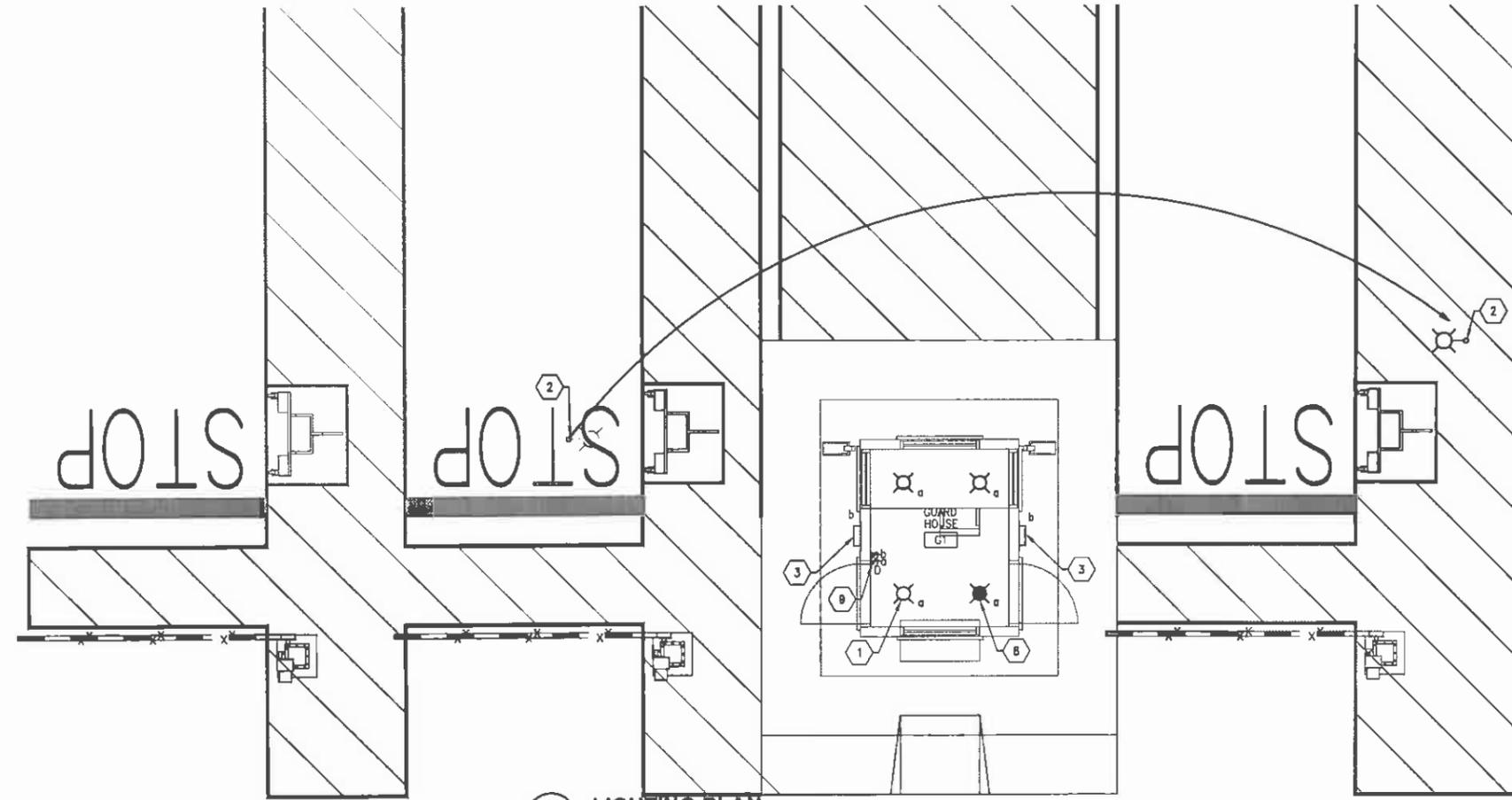
4 DIRECT BURIED CONDUIT DETAIL
SCALE: NTS



				FACILITIES & MATERIAL HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/259-1000		Location: COLUMBUS Project: EXPANSION AND GRADING Title: FAR EAST TRACTOR PARKING		State or Province: OH Sheet No: E02-3	
277 west nationwide boulevard columbus, ohio 43215-2566 (614) 464-4500 fax (614) 464-0588 http://www.aecom.com		CO-LOCATION		Scale: 1" = 30' Date:		Design:		Drawing Number: 132-Y-170 Revision: A	
2/17/10	Issued for Permit	01/22/15	Owner Review Set	Project No. 132-Y-170		The drawing is the Proprietary Property of FIDEX GROUND PACKAGE SYSTEM, Inc. and		8120 SOUTH WENDELL DRIVE	



1 ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



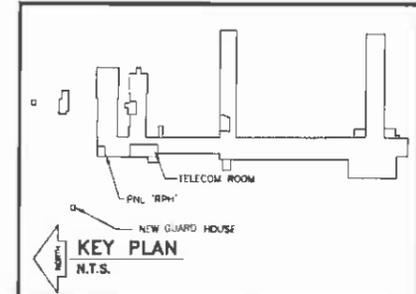
2 LIGHTING PLAN
SCALE: 1/4"=1'-0"

POWER DATA GENERAL NOTES

- A. RUN FIBER CABLE FROM TELECOM ROOM SHOWN ON ED1-1 FOR NEW PATCH PANEL AND SWITCH IN NEW DATA CLOSET (APPROXIMATELY 800'). SERVE NEW DATA OUTLET VIA 4 PAIR UTP CAT6 CABLE FROM NEW PATCH PANEL.

(X) CODED NOTES

1. (4) NEW 3.5" RECESSED LED CAN LIGHTS FED FROM (1) NEW 20A, 120V 1 PHASE BREAKER IN PANEL 'GH'. LIGHT FIXTURE TO BE IRIS P3LED09FL40835E010 E5MRH OR APPROVED EQUAL TYPE IC RATED FOR DIRECT CONTACT WITH INSULATION.
2. EXISTING OUTDOOR SITE LIGHTING POLE #29 FROM YARD CONTROL CONTACTOR 'C' IN YARD CONTROL PANEL 'YCP', LOCATED IN SWITCHGEAR ROOM. THIS CIRCUIT IS POWERED FROM THE A-C PHASE OF A 480V 3 POLE BREAKER IN PANEL 'SLP', CIRCUITS 19, 21, AND 23. SEE SHEET ED2-1 FOR LOCATION OF PANELS 'SLP' AND 'YCP'. LIGHT POLE SHALL BE MOVED ACROSS THE STREET TO LOCATION INDICATED ABOVE. EXTEND CONDUIT & WIRE AS NECESSARY TO NEW LOCATION. PROVIDE NEW CONCRETE FOUNDATION THAT MATCHES EXISTING SIZE/MATERIALS.
3. (2) NEW EXTERIOR WALL MOUNTED LIGHTS TO BE SERVED FROM SAME BREAKER AS INTERIOR LIGHTING. FIXTURE TO BE LED WALL PACK WITH PHOTOCELL FOR AUTOMATIC DUSK-DAWN LIGHTING. COOPER-IST-F01-LED-E1-BL3-XX-P, OR APPROVED EQUAL.
4. NEW 208/120V 100A, 10KVA 12-POLE PANEL 'GH' SHALL BE SUBFED FROM 3 PHASE, 100A, 208/120V BREAKER IN PANEL RP-H SECTION 2 LOCATED ON THE SOUTH EXTERIOR WALL OF LOCAL CITY OFFICE #2 (APPROXIMATELY 400'). REFER TO SHEET E00-1 FOR PANEL SCHEDULE AND PARTIAL ONE-LINE.
5. PROVIDE A 20 A, 120V 1 PHASE BREAKER FOR EACH GATE CONTROLLER. EXTEND (3) #12 AWG TO GATE IN 1" CONDUIT. COORDINATE PUSH BUTTONS, WIRING, AND CONDUIT RUN WITH MANUFACTURER AND OWNER.
6. PACKAGE TERMINAL AIR CONDITIONER (PTAC) UNIT SHALL BE FED FROM 15A, 208V 1 PHASE BREAKER IN PANEL 'GH' VIA LCDI 230V 15A CORD CONNECTION TO DEDICATED RECEPTACLE.
7. PROVIDE (1) 20 A, 120V CIRCUIT FOR ALL DUPLEX RECEPTACLES.
8. THIS LIGHT SHALL BE PROVIDED WITH BATTERY BACKUP WITH MINIMUM OF 90 MINUTES BACKUP.
9. NEW 0-10V DIMMER SWITCH COMPATIBLE WITH NEW LED DOWNLIGHTS, EQUAL TO LUTRON MAESTRO SERIES.
10. PROVIDE A 2" CONDUIT FROM THE GATE CONTROLLER TO THE WALL MOUNTED CONTROL STATION, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH GATE MANUFACTURER AND OWNER.



				FACILITIES & MATERIAL HANDLING SYSTEMS 1000 FedEx Drive Moon Township, PA 15108 412/289-1000		Location: COLUMBUS Project: EXPANSION Title: NEW GUARD HOUSE ELECTRICAL PLANS		State or Province: OH Sheet No.: E08-1	
277 west nationwide boulevard columbus, ohio 43215-2566 (614) 464-4500 fax (614) 464-0588 http://www.aecom.com		CO-LOCATION		Scale: 1/8" = 1' 0" Date Drawn: 08-14-15		Drawn By: MJP Checked By: MMJ Design Firm:		Address: 6120 SOUTH MEADOWS DRIVE COLUMBUS CITY, OH 43212	
Project No: NONE		This drawing is the Proprietary Property of FEDEX GROUND PACKAGE SYSTEM, INC. and must not be used in any other circumstance except in connection with our work.		Date: 08-14-15		Master:		Drawing Number: 432-Y-179 Review: A	
Rev	Date	Revised Name	Dr	DC	Date	Issued Items	Dr	DC	
					2/17/16	Issued for Permit			
					01/22/18	Owner Review Set			

