



October 21, 2015

The City of Grove City
Development Department
Attn: Victoria Proehl
4035 Broadway
Grove City, OH 43123



RE: Comments for Prologis South Park; Application number 201509280070

Ms. Proehl,

Below is a summary of the comments received via email on October 14th, 2015 regarding the above mentioned project and their responses.

Development Department (Victoria Proehl, 614-277-3014)

1. Staff believes screening of the proposed use is important, due to the surrounding incompatible land uses on three (3) sides of the site. Based on existing topography, a ten (10) foot earthen mound should be installed along Marlane Drive with a 3:1 slope. In conjunction with this requirement, three staggered rows of six (6) foot high minimum evergreen trees at 20' maximum spacing and one 2" caliper minimum small class tree per 40 lineal feet of frontage are to be planted on the north side of the property line (along Marlane Drive). Please see Grove City Code Section 1136, Exhibit A-3 for more details. If a ten (10) foot 3:1 mound cannot be achieved, then the buildings should be reduced to accommodate such mounding. A six (6) foot high mound should be installed along the west side of the site, with the same tree installation as the north side. Please remove the fence and wall on all plan sheets. Similar mounding can be found on the east side of Gantz Road, north of Southpark Place.

RESPONSE: A 10' high mound has been added along the north side of the property (along Marlane Drive). A 6' high mound has been added to the west side of the property for screening. The mound extends approximately 2/3 of the length of the property and provides screening for the adjacent residents. The limits along the west that a mound is not provided for are in the northwest corner of the property adjacent to the retention pond for the neighboring property.

2. An eight (8) foot bike path should be installed along the entire width of the site (along Marlane Drive) in accordance with the Grove City Parks and Recreation Department Comprehensive Plan (<http://www.grovecityohio.gov/wp-content/uploads/2015/03/bikewayPlanFuture.pdf>).

RESPONSE: Prologis understands that as part of the city's future planning that Marlane Drive will be improved per the city's standard drawing C-GC-62, which would include a 8' bike path in the right-of-way along the Prologis frontage. The existing drainage along Marlane Drive creates difficulty with installing this requested bike path without the other roadway improvements already in place. Construction of the path along the project frontage is agreed to by Prologis, but it is much easier and more efficiently constructed as part of the roadway upgrade project. Prologis proposes that in lieu of installing the bike path at this time that Prologis and the city establish a cost per lineal foot for the path and Prologis will deposit the appropriate funds that they would be responsible for if constructing the path now into an escrow account for the city to use for this future construction.

3. Staff believes no curb cut should be permitted unless otherwise warranted by a traffic study showing the traffic generated will adversely impact the South Park Place/Gantz Road intersection and such cut could operate safely.
 - a. In the event that the traffic study does not warrant the Marlane Drive curb cut, an emergency access curb cut would be supported by Staff. The emergency access cut would be located in the general proximity of the eastern most curb cut.
 - b. In the event that a cut is warranted on Marlane Drive, the curb cut should be reconfigured to limit traffic to vehicles (no truck traffic permitted). The island detail on sheet C3.00 should be revised to show curbs and dimensions. Extend the median north towards Marlane Drive and widen the median to narrow the ingress/egress drive lanes to 12 feet. The median should be at least eight (8) feet wide with landscaping. Please include a decorative entry feature that would prevent trucks from accessing Marlane Drive. Submit all details of both the median and entry feature.

RESPONSE: The curb cut at the center of the site to Marlane Drive has been eliminated. The curb cut at the eastern end of the site is to remain. That access will be signed as emergency access only and will provide the fire department and other emergency personnel access to the site.

4. The applicant signature is missing from the application. Resubmit the application with all applicable signatures.

RESPONSE: The application has been resubmitted.

5. A project narrative describing the nature of the project should be submitted.

RESPONSE: An updated project narrative has been submitted, see attached.

6. The City Project Number should be added to the title block.

RESPONSE: The city project number has been added.

7. The current zoning of the property and adjacent parcels should be added to the plans.

RESPONSE: The zoning has been added.

8. The correct signature block should be included on plans. This block should only have spaces for the following signatures: City Administrator, Service Director, Review for the City of Grove City and Jackson Township Fire Department.

RESPONSE: The signature block has been revised.

9. Re-order the plan sheets by moving all SWPPP plans to the back of the packet and place the Landscape Plans after the Utility plans. Also, update the index of sheets to include all sheets and make sure every sheet has the correct scale listed.

RESPONSE: The sheets have been moved, scales have been revised and the index of sheets updated.

10. Parking and building setbacks should be illustrated on all plan sheets. A table showing all required setbacks (building and parking for all four sides) should be included on the Master Site Plan.

	Buildings	Car Parking	Truck Parking
North	100'	25'	45'
South	6'	N/A	20'
East	100'	30'	N/A
West	100'	30'	N/A

RESPONSE: The table has been added.

11. Per Section 1135.12(l), parking is not permitted between the property line and the side setback next to residential districts. In accordance with the chart above, the west side setback is 100'. The submitted plans show parking within this 100' setback and would require a variance through the Board of Zoning Appeals.
RESPONSE: Prologis will pursue a variance of the setback requirements.
12. Show all lighting levels on the photometric plan to the property boundaries. Lighting levels to the east, north and west should go down to zero (0) to reduce impacts on inconsistent land uses.
RESPONSE: The lighting plan has been updated and resubmitted.
13. A parking table should be included on the Master Site Plan with a parking breakdown. Code requires one (1) parking space per two (2) employees.
RESPONSE: The requested information has been added.
14. A note should be added to the building elevations that all rooftop mechanicals will be screened on all sides by raising the building parapet.
RESPONSE: A note has been added to the building elevations.
15. A separate 8.5x11" materials sheet should be included, listing manufacturer, color, and material for all exterior finishes.
RESPONSE: A materials board has been submitted.
16. A material sample board should be submitted with samples of all proposed exterior finishes.
RESPONSE: A materials board with the information has been submitted.

Building Division (Laura Scott, 614-277-3086)

17. Provide more detail on the wall paks, including fixture detail.
18. Building height does not meet code and would require a variance through the Board of Zoning Appeals.
RESPONSE: Prologis will be pursuing a variance.

Urban Forestry (Jodee Lowe, 614-277-1103)

19. 1136.06(c): Standards for Off-Street Parking Facilities, Rear and Side Yards Adjacent Incompatible Use Districts- The setback for off-street car and truck parking facilities is determined by two development options for cars and a specific requirement for trucks is shown in Exhibit B-2. Truck parking on the north and vehicle parking on the west is incompatible with surrounding land uses. Staff believes the proposed 6' solid vinyl fence and plant material will not be an adequate solution to meet the city's code with respect to the incompatible parking facilities.
 - a. Option A for cars requires a 20' minimum parking and/or drive aisle set-back with either a continuous 6' height wall or solid fence or a 90% opaque 5' height evergreen screen, or a combination thereof. In addition to the wall or fence, one 2" caliper small class tree, two 6' height evergreen trees and two 18" height shrubs are to be planted per each 40 lineal feet of property line.
 - b. Option B for cars requires a 30' minimum parking and/or drive aisle setback with a continuous 4' height earthen mound. In addition to the mounding requirement a double staggered row of 6' height minimum evergreen trees at 20' maximum spacing and one 2" caliper minimum small class tree and two 18" height deciduous shrubs per each 40 lineal feet of property line are to be planted (on the west and east sides of the property).

RESPONSE: Landscaping has been revised.

20. 1136.06(d): Interior Vehicular Use Areas: There needs to be a 2" caliper tree planted in every island bed. Currently the vehicular parking spaces between the two buildings has 4 end islands without trees.

RESPONSE: Landscaping has been revised.

21. Be advised Code section 1136.07 requires additional landscaping for incompatible land uses. This code section requires 80% opaque screening in addition to the incompatible parking lot screening requirements as listed in Comment #18. Staff would be supportive of a deviation from this requirement if the ten (10) foot mound is installed in accordance with Comment #1 and meets the 80% opacity requirement. See Code section below.

- a. 1136.07: Landscape Buffer Relating to Uncomplimentary Land Uses and Zones-where it is determined that as a result of new developments, construction or reconstruction, uncomplimentary or incompatible land uses or zones are created, a continuous 80% opaque landscape hedge, solid fence, wall or earthen mound visual screen, IN ADDITION TO screening of vehicular use are provisions, shall be required. The determination of uncomplimentary or incompatible land uses or zones will be made using zoning classifications. The Planning commission will make the determination based on land uses.

RESPONSE: The mounding has been added and the landscaping has been revised.

22. 1136.09 (a)(4): Light and Heavy Industry Districts- Monument signs will need to be set in a landscape bed that is a minimum 2' larger than the foundation of the sign on all sides with permanent shrubs. The initial height of the plants at installation needs to be 24".

RESPONSE: The owner will pursue approval for signage separately and will provide landscaping at that time.

23. 1136.09(d): Tree Planting Typical: drawings need to reflect the notes that state that 50% of the burlap and wire cage will be removed. Current plan states near the picture that 1/3 will be removed.

RESPONSE: Added.

Service Department (Cindi Fitzpatrick, 614-277-1110)

24. Comments will be forthcoming.

Engineering, EMH&T (Erik Meininger, P.E., 614-775-4806)

25. Developer shall provide a traffic study to evaluate traffic access to the site, estimated trips generated and the need to access Marlane Drive. In addition, this study should evaluate traffic distribution between Southpark Place and Marlane Drive, potential needs for roadway improvements along Marlane Drive, and general impacts to the local roads.

- a. The existing condition of Marlane Drive is narrow and in poor condition and the proposed improvements/traffic will impact this road. Based on information from the Traffic Study and recommendations from the City, the Developer shall make appropriate improvements to Marlane to ensure safe access to site and background/local traffic.

RESPONSE: The curb cuts to Marlane Drive have been revised to a single access point that is designated for emergency vehicles only.

26. Developer shall provide screening/mounding along Marlane Drive to screen properties on the north side of Marlane from viewing the loading areas. It is requested that the Developer provide an exhibit which takes a cross section between building and Marlane Drive to demonstrate elevation and screening heights with respect to building

and loading dock elevations. This will be useful for the City, Commission and public understand visibility of this side of the building from the roadway.

RESPONSE: The mounding detailed in comment #1 has been provided along Marlane Drive. An exhibit has been provided as requested.

27. Developer shall clarify site circulation. It appears that the employee traffic will be comingling with the truck traffic to access the eastern and western parking areas.

RESPONSE: The employee traffic will have to cross the truck courts to access the parking on the eastern side of building 1 and the western side of building 2. The customers that Prologis typically serves are accustomed to these types of situations and will have protocols in place for safety.

28. Developer shall provide additional access to Building 1 from central drive across from access to Building 2.

RESPONSE: An additional access has been added.

29. Parking spaces shall be 180 sf.

RESPONSE: The parking stalls have been revised to 9'x20'.

30. STORMWATER - It is noted that all final design calculations shall be provided for review with detailed engineering/construction plans (this is when the stormwater design will be finalized and approved by City). The intent on this submittal and review is to ensure that the Developer is making proper accommodations onsite to address stormwater quality and management. Detailed review will be concurrent with final site plans/construction plans.

RESPONSE: A stormwater report was submitted with the original submittal. Due to comment # 35 some re-design was necessary. Included in this submittal is the revised stormwater report. As previously requested, 2 copies are provided. Should any additional copies be needed please feel free to contact JHA and copies will be provided.

31. SANITARY - Proposed sanitary sewer (and requisite easements) shall be extended across the entirety of the property frontage along Marlane Drive and sized accordingly to pick up upstream/offsite drainage. See attached tributary map for the Marsh Run Trunk Sewer (GC3360). Extension shall include service wyes to facilitate future tie-ins for properties on the north side of Marlane Drive. Sizing of the sewer shall be appropriate with tributary area, detailed sanitary calculations will be required in conjunction with Construction Plan submittal.

- a. It is noted that the Developer will need to provide separate construction plans for public sanitary sewer extension along Marlane. This will allow the City to create appropriate record plan drawings and coordinate approvals of the plans with the various stakeholders (Grove City and City of Columbus).

RESPONSE: The sanitary has been extended the length of the property frontage and wyes have been shown stubbed off the mainline for future connection. Details regarding the design will be addressed in the construction plans.

32. RIGHT OF WAY - Existing right of way along Marlane appears to be 24' from centerline. Plans show a 60' RW total. Please clarify existing RW width. It is requested that the Developer provide the City with 35' of RW from Centerline of Marlane Drive (70' total RW Width) to support future roadway improvements consistent with a Collector Street C-GC-62. This will support two lane traffic (12' lanes) plus requisite drop lanes for entrances and sidepath (see Comment #2 above).

RESPONSE: The Right of way has been established based on deed information provided to JHA. Attached is a copy of the information used to locate the right of way shown. Should you have any additional questions regarding the existing right of way shown please contact Jeremy Van Ostran at 740-344-5451. Proposed right of way is being shown in the northwest corner to establish a minimum 35' right of way from the centerline of Marlane Drive where it does not currently exist.

33. WATER - It appears that a public water main will be extended partially through the site from Southpark Place. It will be required that this public water line (12-inch) be extended through the site, to Marlane Drive, and the appropriate easements provided. Additionally, the utility easement and RW along Marlane Drive should include consideration for future waterline extension along Marlane (which will complete looping of South Park Place water main) and facilitate extension of water service east along Marlane.
- The City should request the Developer to provide funding for the waterline extension across their Marlane Drive frontage...their site is leaving a large gap that will need to be spanned in the future. Approx. 2100' x \$75/lf = \$150,000 for 12" WM to be completed by City in future.*
 - It is noted that the Developer will need to provide separate construction plans for public water main extension through site. This will allow the City to create appropriate record plan drawings and coordinate approvals of the plans with the various stakeholders (Jackson Township Fire Department, Grove City, and City of Columbus).

RESPONSE: The water has been up sized to a 12 inch and shown extending through the site and into the right of way of Marlane Drive for future connection.

34. WATER SERVICE - All water services and taps will be required to be reviewed and approved by the City of Columbus, Division of Water.

RESPONSE: JHA will coordinate with the City of Columbus for review and approval.

35. POND DESIGN – Pond shall be engineered consistent with the City's Stormwater Design Manual (Section 6.0 Wet Pond Design Standards). Additionally, due to the prominence of the pond, higher design features should be incorporated, similar to the design of the Etna, Ohio Prologis Facility.
- City is concern in areas of pond where depth is less than 8'. Typically a pond design shall be a minimum of 8' deep with at least 25% achieving a depth of at least 10'. The shallow area to the north side of the pond should be regraded to all additional depth to prevent the growth of cattails and other maintenance issues.
 - All headwalls shall be per GC Standard Drawings
 - Safety shelf is to be 2' minimum unless the developer is planning wetland planting within the shelf area. Please provide details on wetland shelf planting if Developer choose to go less than 2'.
 - All exposed headwalls, endwalls, catchbasins, etc. shall include stone facing as per 6.3.f
 - Fencing barrier shall be provided between parking area and pond area due to the drop off and lack of recovery area. Most especially in area where access intersects from west. It appears as if a fence is provided along the eastern property line. Developer shall provide details on this feature.
 - The proposed normal pool elevation (NPE) is up to 11'-13' below the adjacent roadway and property lines. The City is concerned with this excessive freeboard and the aesthetics of this pond. The City typically requires 5' between the adjacent areas and the NPE. The developer shall evaluate opportunities reduce this freeboard and provide aesthetic treatments where applicable.
 - Pond shall include fountains and aerators as per 6.7.4
 - Pond design requires an 8' path to allow this site feature to be an amenity to the property/workers. Please incorporate trail into site design.

RESPONSE: JHA has added notes/call outs in the plans to address b & g. In lieu of stone Prologis would propose using concrete forms and color concrete to create an ascetically pleasing headwall but alleviate the maintenance issues that can occur with the stone veneer that is requested in the storm water manual. The depth from the pavement elevation to the normal pool is significant and was such due to the preservation of the treeline in the northeast corner of the site and due to the elevation difference between Marlane Drive and the height of the pond. The pond elevation has been revised and elevations are called out in the grading plan sheets.

36. On Sheet C4.04 there are some unspecified lines integrated with the contours for the pond. Please provide legend for these

RESPONSE: The lines have been removed.

Grove City Division of Police (Jeff Pearson, 614-277-1709)

37. No truck traffic on Marlane Drive.

RESPONSE: Curb cuts have been eliminated for public access.

38. Limit curb cuts on Marlane Drive to emergency access only.

RESPONSE: The curb cut at the east end of the site has been revised to emergency access only.

Signage, a break away chain and posts with reflectors will be added to aid in the ease of identifying the pervious pavers.

Jackson Township Fire Department (Tammy Green, 614-945-5043)

39. More detail on the underground fire loop is needed to show:

a. Location of the FDC – shall be within 75 feet of a public fire hydrant – *JTFD Addendum*.

b. Where the fire loop feeds the building and sprinkler risers.

c. Where there needs to be sectional valves with PIV's in the fire loop – *NEPA 24*.

RESPONSE: Remote FDCs for each building have been located in islands facing the middle drive. A public hydrant has also been placed within 75' as required. The fire risers for the buildings have schematically been shown as requested as have valves. Once final design commences the plumbing contractor will size and locate all fire risers which will be updated on a final set of construction plans along with the locations for section valves and resubmitted for your review and comment.

40. Pages C3.01 show "No Truck Access" signs to Marlane Drive – Please show maneuverability for emergency responder vehicles.

RESPONSE: The curb cuts on Marlane have been revised to a single cut for emergency access only.

41. A current water flow test should be done on South Park to verify fire flow requirements for these buildings.

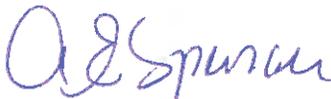
RESPONSE: The design company will contact the fire department to schedule a flow test once final design has commenced.

Enclosed with this letter, as requested by the city, are 20 copies of the plans, line of sight exhibit, building elevations, easement documentation, project summary, response letter, & building materials list. Also included in this submittal is a materials board, signed application and two (2) copies of the revised stormwater report.

Please feel free to contact myself should you have any questions or additional comments.

Sincerely,

Jobes Henderson & Associates, Inc.



Amanda E Spencer
Project Manager

SURVEYOR NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 9/16/15
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREIN ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM, SOUTH SYSTEM, NAD83, GEOID12A.

BENCHMARKS:

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY JOBES HENDERSON & ASSOCIATES THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

BENCHMARK #1 - "X" IN TOP CENTER OF CONCRETE CULVERT (SEE MAP FOR LOCATION)
ELEVATION = 762.10

BENCHMARK #2 - "X" IN TOP CENTER OF CONCRETE CULVERT (SEE MAP FOR LOCATION)
ELEVATION = 763.58

CONTROL POINTS

BASIS OF BEARING: TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLER8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD 1983, NAVD 1988, GEOID 12A.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	691532.4630	1813601.7890	766.23	5/8" REBAR SET - SEE MAP FOR LOCATION
2	691352.0930	1814453.0890	762.74	5/8" REBAR SET - SEE MAP FOR LOCATION
3	691112.0750	1814916.2090	762.40	5/8" REBAR SET - SEE MAP FOR LOCATION
4				

FIRM COMMUNITY PANEL No.: 39049C0318K
FLOOD ZONE: X
EFFECTIVE DATE: 06/17/2008

LEGEND

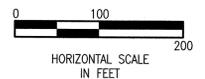
- AC UNIT
- CABLE TV PEDESTAL
- CATCH BASIN
- CURB INLET
- ELECTRIC BOX
- ELECTRIC METER
- FIRE DEPT. CONNECTION
- FIRE HYDRANT
- GAS LINE MARKER
- GAS METER
- GAS VALVE (MAIN)
- GAS VALVE (SERVICE)
- GUY WIRE
- LIGHT POLE
- POWER POLE
- POWER/LIGHT POLE
- POWER/TELEPHONE POLE
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- WATER METER
- WATER VALVE (MAIN)
- WATER VALVE (SERVICE)
- TEL UTILITY MARKER
- WYE POLE
- YARD DRAIN
- YARD LIGHT
- D.H.F. DRILL HOLE FND.
- GOV. DISK FND.
- I.P.F. IRON PIN FND.
- IRON PIN SET
- IRON PIPE FND.
- IRON PIPE SET
- M.A.N.F. MAG NAIL FND.
- CONC. MON. FND.
- MON. BOX FND.
- MINE SPIKE FND.
- P.K.F. P.K. NAIL FND.
- P.K.S. P.K. NAIL SET
- RR SPIKE FND.
- SECTION COR. FND.
- STONE FND.
- T-B.F. T-BAR FND.

- CATV- UGND. CABLE
- T- UGND. COMMUN.
- E- UGND. ELECTRIC
- FO- UGND. FIBER OPTIC
- G- UGND. GAS
- SAN- UGND. SANITARY SEWER
- SS- UGND. SANITARY SERVICE
- UGND. STORM SEWER
- W- UGND. WATER
- WS- UGND. WATER SERVICE
- OH- OVERHEAD LINES
- X- FENCE
- R- PROPERTY LINE
- EX-A EX. AERIAL ESMT.
- EX-Ch EX. CHANNEL ESMT.
- EX-C EX. CONSERVATION ESMT.
- EX-Dr EX. DRAINAGE ESMT.
- EX-FL EX. FLOWAGE ESMT.
- EX-LA EX. LIMITED ACCESS ESMT.
- EX-RR EX. RAILROAD ESMT.
- EX-SH EX. STD. HIGHWAY ESMT.
- EX-SL EX. SLOPE ESMT.
- EX-U EX. UTILITY ESMT.
- R/W EX. RIGHT-OF-WAY
- LA-R/W EX. LIMITED ACCESS RIGHT-OF-WAY

CERTIFICATION:

This is to certify that the premises covered by this plan have been surveyed, that the plan is correct, and that the monuments shown on the plot will be set in accordance with Section 1101.051 of the Ohio Revised Code.

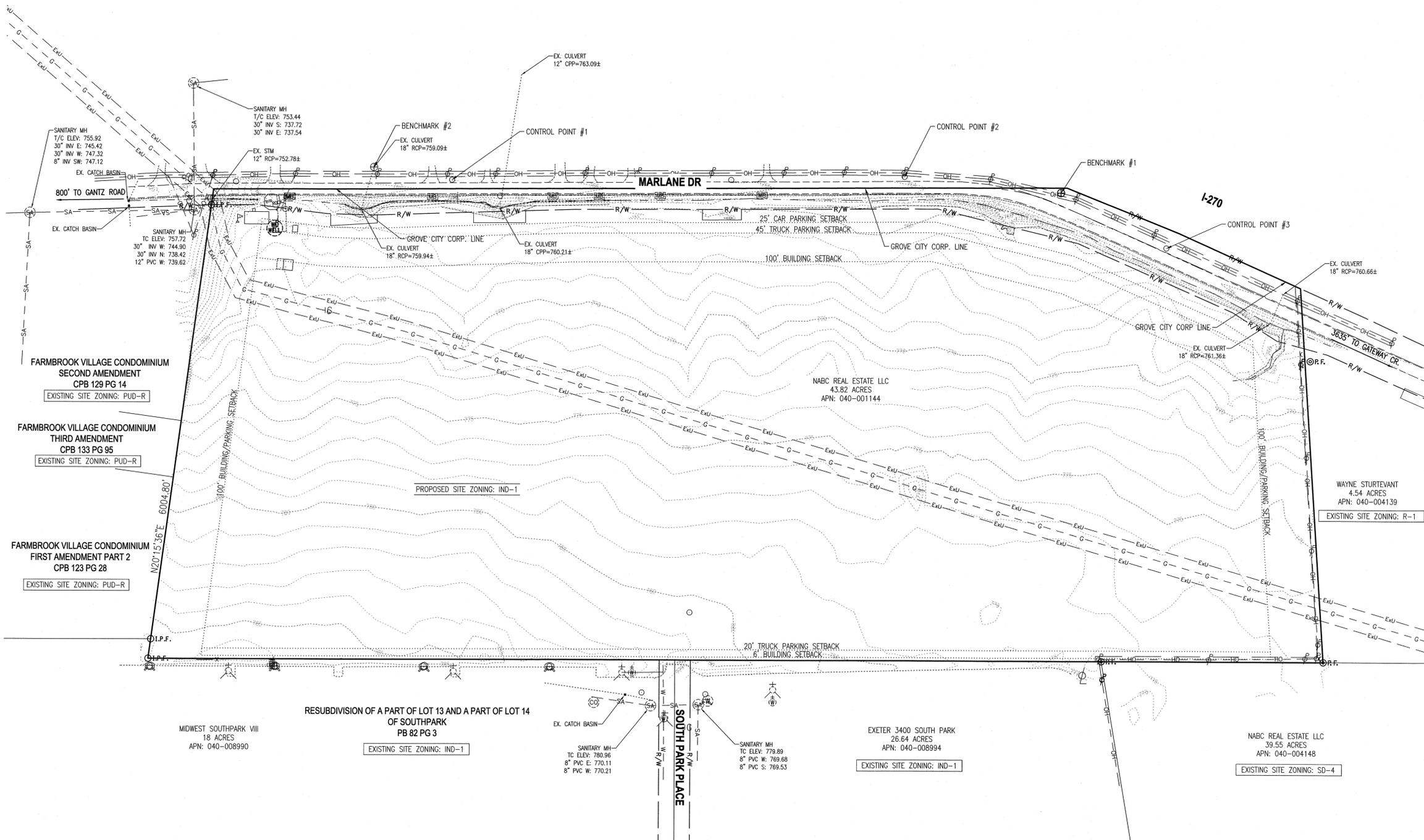
Jeremy L. Van Ostran
JEREMY L. VANOSTRAN P.S. 8283



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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

EXISTING SITE CONDITIONS		C0.01
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER:	201509280070	JOB NUMBER: 15037.01
DRAWN:	DMW	CHECKED: AES
		DATE: 09/28/2015



9/22/2015 8:29 AM: E:\2015\15037\prologis_southpark_south\01.dwg

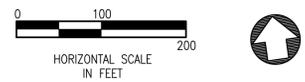
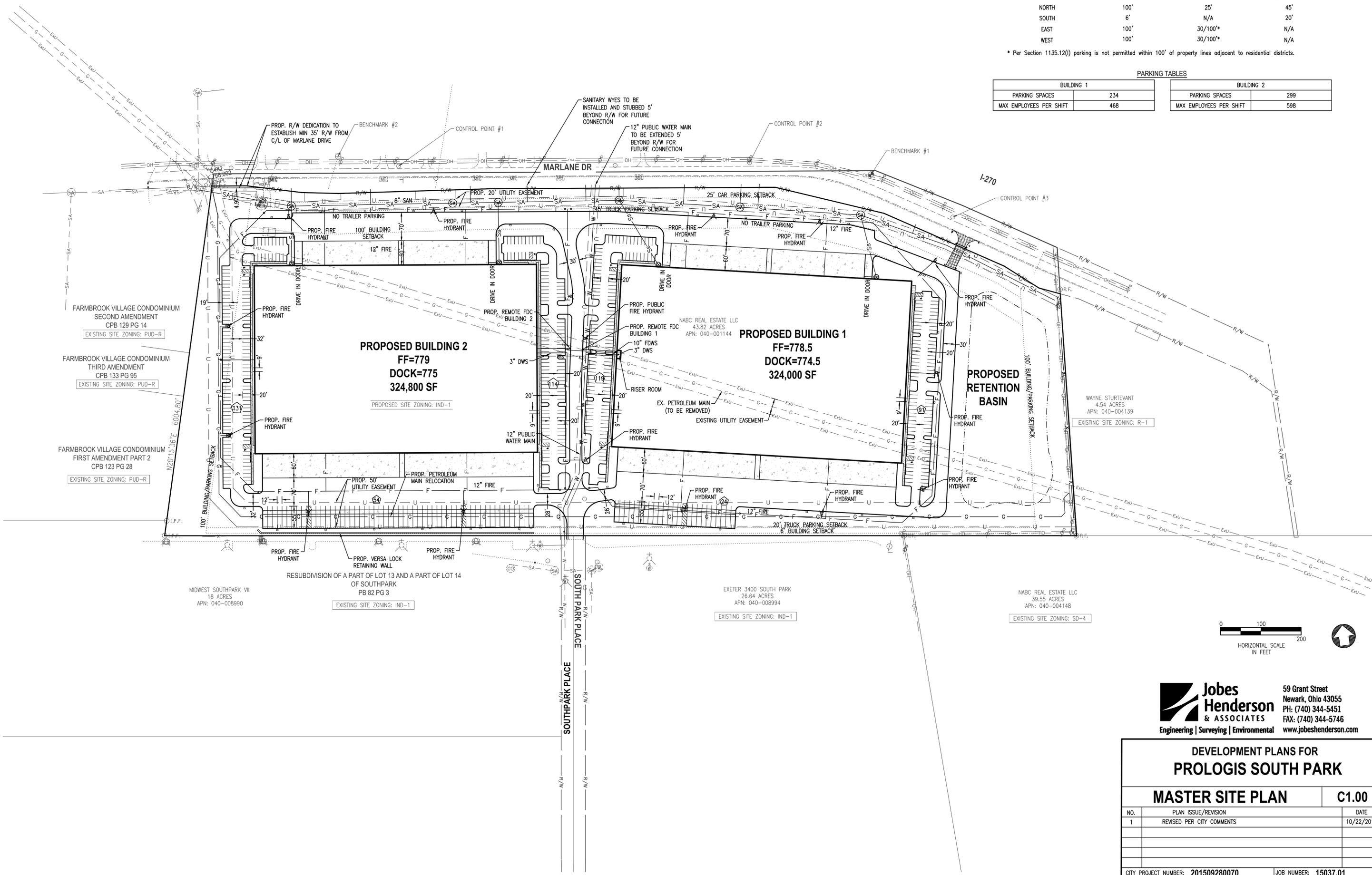
REQUIRED SETBACKS TABLE

	BUILDINGS	CAR PARKING	TRUCK PARKING
NORTH	100'	25'	45'
SOUTH	6'	N/A	20'
EAST	100'	30/100*	N/A
WEST	100'	30/100*	N/A

* Per Section 1135.12(I) parking is not permitted within 100' of property lines adjacent to residential districts.

PARKING TABLES

BUILDING 1		BUILDING 2	
PARKING SPACES	234	PARKING SPACES	299
MAX EMPLOYEES PER SHIFT	468	MAX EMPLOYEES PER SHIFT	598



Jobs Henderson & Associates
 Engineering | Surveying | Environmental
 59 Grant Street
 Newark, Ohio 43055
 PH: (740) 344-5451
 FAX: (740) 344-5746
 www.jobshenderson.com

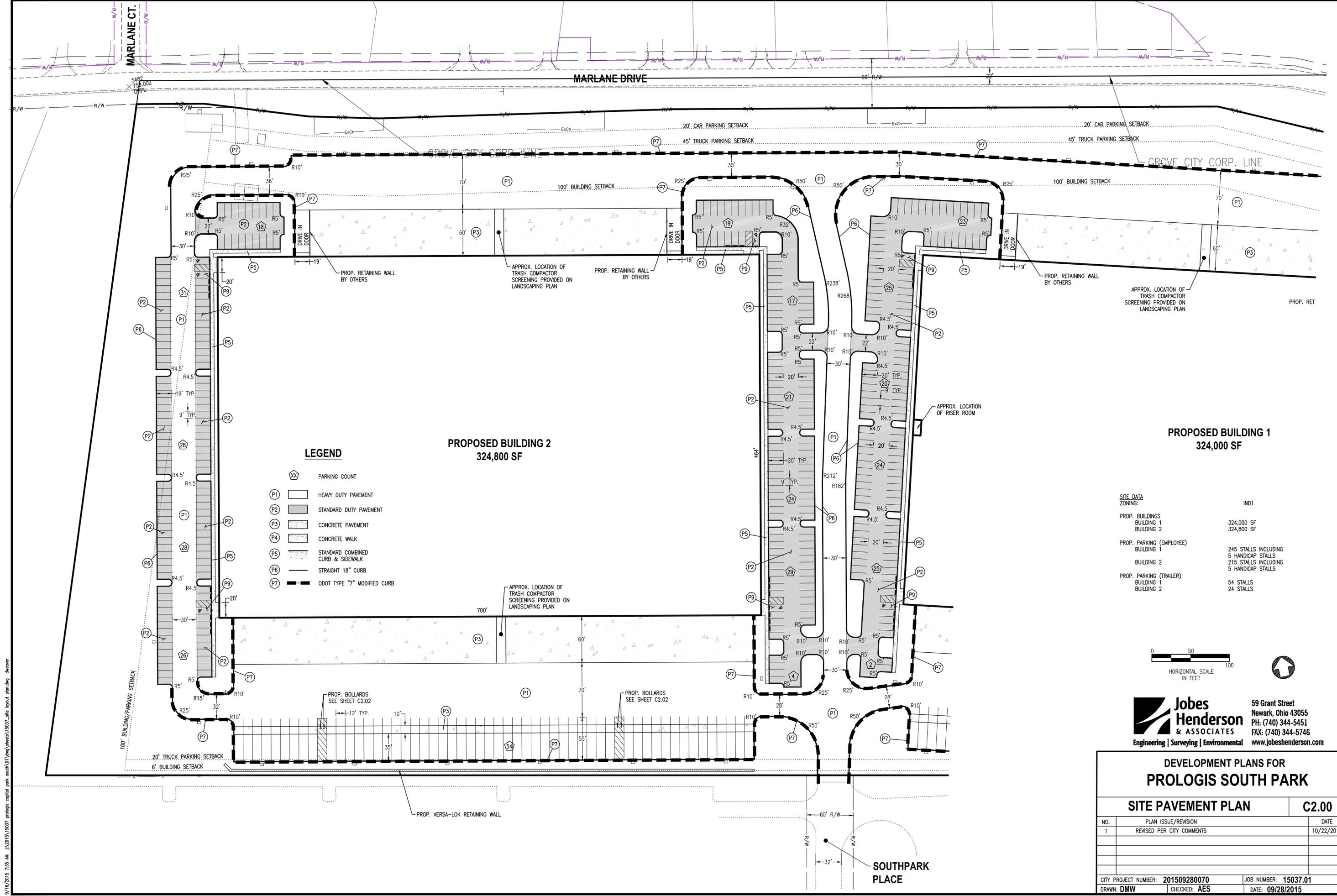
DEVELOPMENT PLANS FOR
PROLOGIS SOUTH PARK

MASTER SITE PLAN C1.00

NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015

CITY PROJECT NUMBER: **201509280070** JOB NUMBER: **15037.01**
 DRAWN: **DMW** CHECKED: **AES** DATE: **09/28/2015**

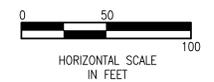
9/15/2015 10:50 AM P:\2015\15037\prologis_south_park_south\01.dwg sheets\15037_overall_layout.dwg dweaver



PROPOSED BUILDING 1
324,000 SF

PROPOSED BUILDING 2
324,800 SF

SITE DATA	
ZONING:	IND1
PROP. BUILDINGS	
BUILDING 1	324,000 SF
BUILDING 2	324,800 SF
PROP. PARKING (EMPLOYEE)	
BUILDING 1	245 STALLS INCLUDING 5 HANDICAP STALLS
BUILDING 2	215 STALLS INCLUDING 5 HANDICAP STALLS
PROP. PARKING (TRAILER)	
BUILDING 1	54 STALLS
BUILDING 2	24 STALLS



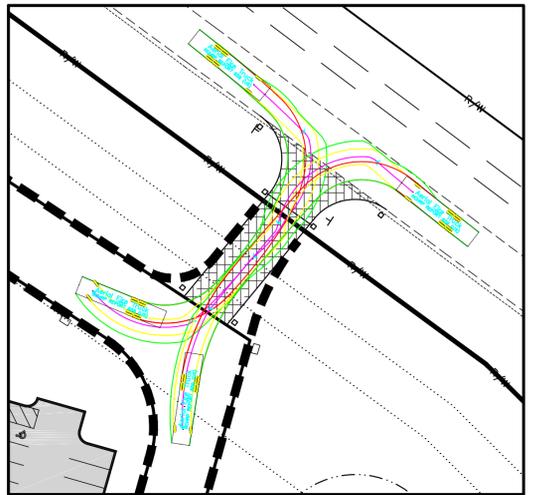
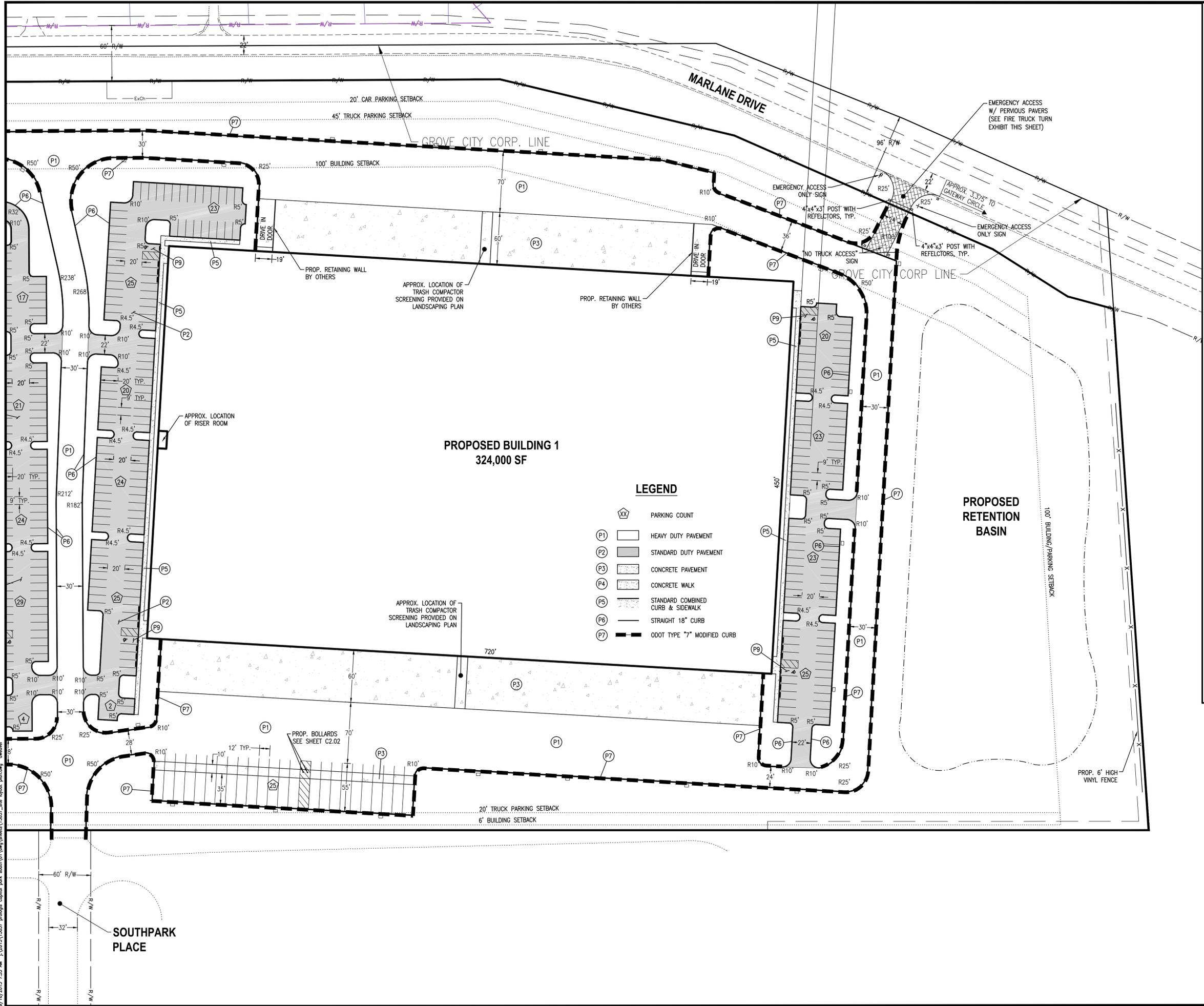
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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

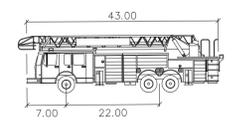
SITE PAVEMENT PLAN		C2.00
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070		JOB NUMBER: 15037.01
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015

9/16/2015 7:35 AM I:\2015\15037\prologis_south\15037_site_layout_planning.dwg dwg



FIRE TRUCK EMERGENCY ACCESS EXHIBIT

SCALE: 1"=40'



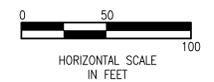
Aerial Fire Truck
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 6.0
 Steering Angle : 33.3

- LEGEND**
- (XX) PARKING COUNT
 - (P1) HEAVY DUTY PAVEMENT
 - (P2) STANDARD DUTY PAVEMENT
 - (P3) CONCRETE PAVEMENT
 - (P4) CONCRETE WALK
 - (P5) STANDARD COMBINED CURB & SIDEWALK
 - (P6) STRAIGHT 18" CURB
 - (P7) ODOT TYPE "7" MODIFIED CURB

SITE DATA ZONING:

IND1

PROP. BUILDINGS	
BUILDING 1	324,000 SF
BUILDING 2	324,800 SF
PROP. PARKING (EMPLOYEE)	
BUILDING 1	245 STALLS INCLUDING 5 HANDICAP STALLS
BUILDING 2	215 STALLS INCLUDING 5 HANDICAP STALLS
PROP. PARKING (TRAILER)	
BUILDING 1	54 STALLS
BUILDING 2	24 STALLS



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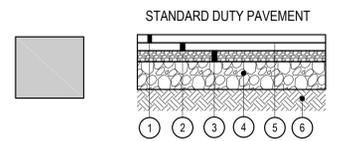
DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

SITE PAVEMENT PLAN		C2.01
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NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015

CITY PROJECT NUMBER: 201509280070 JOB NUMBER: 15037.01
 DRAWN: DMW CHECKED: AES DATE: 09/28/2015

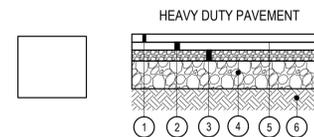
9/16/2015 7:35 AM I:\2015\15037 prologis south park\sheet\15037_site_pavement.dwg



- 1 Item 448 - 1 1/2" Asphalt Concrete Surface Course
- 2 Item 448 - 1 1/2" Asphalt Concrete Intermediate Course
- 3 Item 304 - 2" Aggregate Base
- 4 Item 703 - 6" No. 2 Stone
- 5 Item 407 - Tack Coat
- 6 Item 204 - Subgrade Compaction

All pavement materials shall conform to the current ODOT Construction and Materials Specifications.

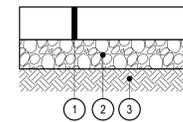
P1 STANDARD ASPHALT CONCRETE PAVEMENT SECTION
Not to Scale



- 1 Item 448 - 1 1/2" Asphalt Concrete Surface Course
- 2 Item 448 - 2 1/2" Asphalt Concrete Intermediate Course
- 3 Item 304 - 3" Aggregate Base
- 4 Item 703 - 6" No. 2 Stone
- 5 Item 407 - Tack Coat
- 6 Item 204 - Subgrade Compaction

All pavement materials shall conform to the current ODOT Construction and Materials Specifications.

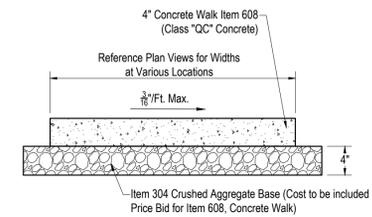
P2 HEAVY DUTY ASPHALT CONCRETE PAVEMENT SECTION
Not to Scale



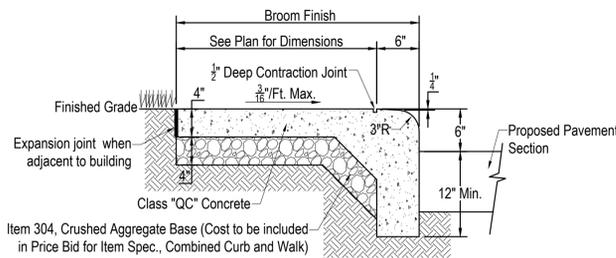
- 1 Item 451 - 6 1/2" Reinforced PC Concrete Pavement
- 2 Item 304 - 6" Aggregate Base
- 3 Item 204 - Subgrade Compaction

All pavement materials shall conform to the current ODOT Construction and Materials Specifications. Expansion joints shall be placed at a minimum of every 300' along the concrete pavement for the truck dock. Expansion joints shall also be placed at the building face and at the walls for the drive up doors.

P3 TYPICAL CONCRETE PAVEMENT SECTION
Not to Scale

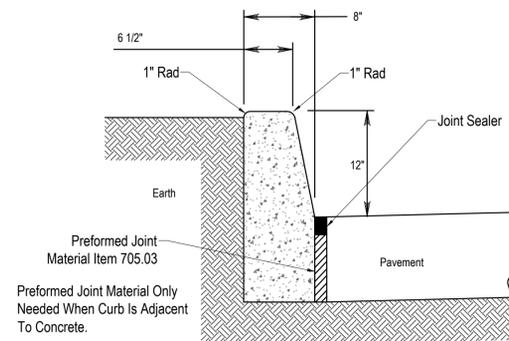


P4 SIDE WALK SECTION
Not to Scale

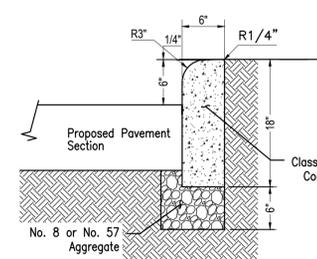


NOTE: Provide control joints in sidewalk @ 5'-0" O.C. and expansion joints @ 20'-0" O.C.

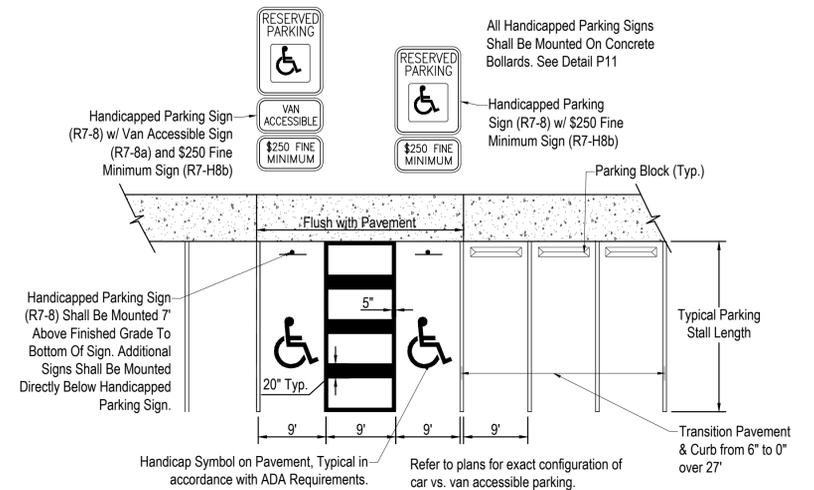
P5 STANDARD COMBINED CURB AND SIDEWALK SECTION
Not To Scale



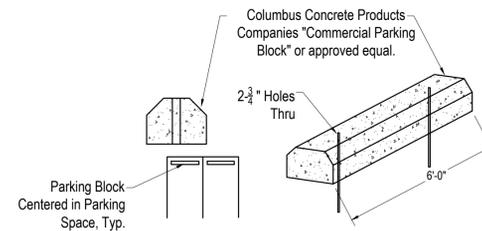
P6 ODOT TYPE "7" MODIFIED CONCRETE CURB
Not to Scale



P7 STRAIGHT 18" CONCRETE CURB
NOT TO SCALE

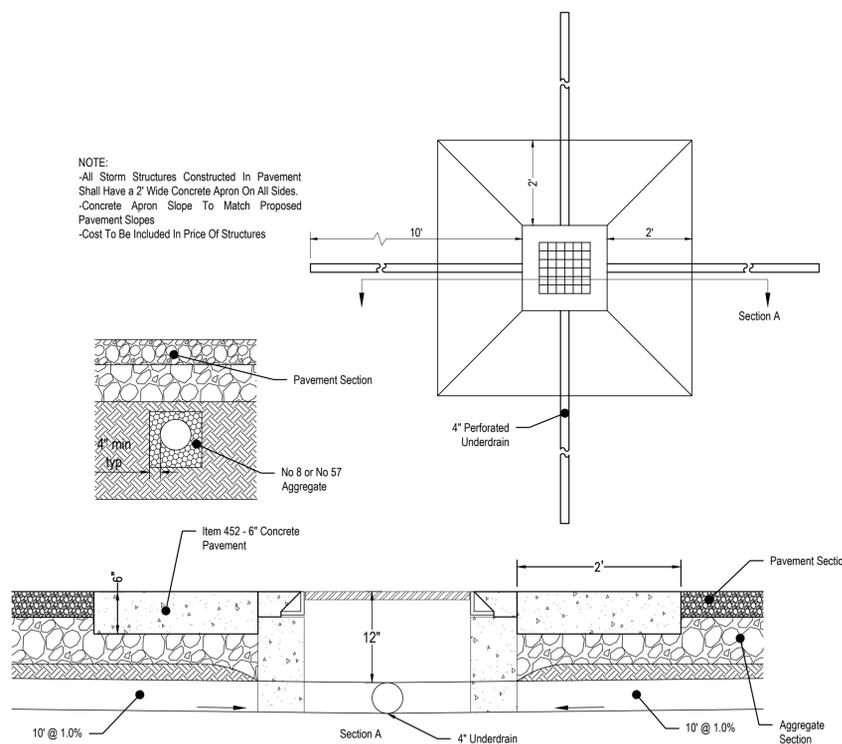


P9 HANDICAP PARKING STRIPING
Not to Scale



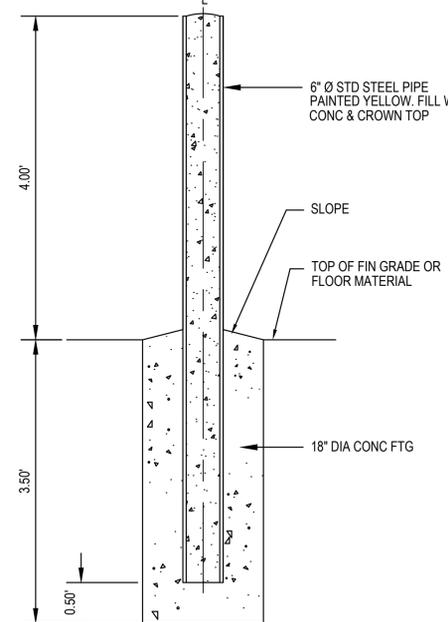
P8 PARKING BLOCK
Not to Scale

NOTE:
-All Storm Structures Constructed In Pavement Shall Have a 2' Wide Concrete Apron On All Sides.
-Concrete Apron Slope To Match Proposed Pavement Slopes
-Cost To Be Included In Price Of Structures

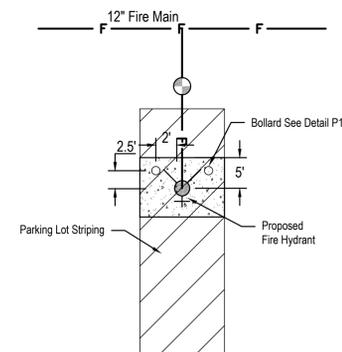


4" Perforated Underdrain shall be provided as follows:
4 directions at Structures:
3 directions at Structures:
The perforated pipe shall be protected from heavy traffic after installation prior to placement of proposed paving.

P10 FINGER DRAIN & CONCRETE COLLAR DETAIL
Not to Scale



P11 BOLLARD DETAIL
Not to Scale



P12 BOLLARD PLACEMENT
Not to Scale

CONTRACTOR SHALL COORDINATE WITH FIRE DEPARTMENT TO ENSURE THAT THE DETAIL ABOVE ALLOWS ADEQUATE ROOM FOR ACCESS TO HYDRANT PRIOR TO INSTALLATION. ANY MODIFICATIONS SHOULD BE COMMUNICATED TO THE ENGINEER.

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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

SITE & PAVEMENT DETAILS C2.02

NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER:	201509280070	JOB NUMBER: 15037.01
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015

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PROPOSED BUILDING 2
FF = 779.00
DOCK = 775.00

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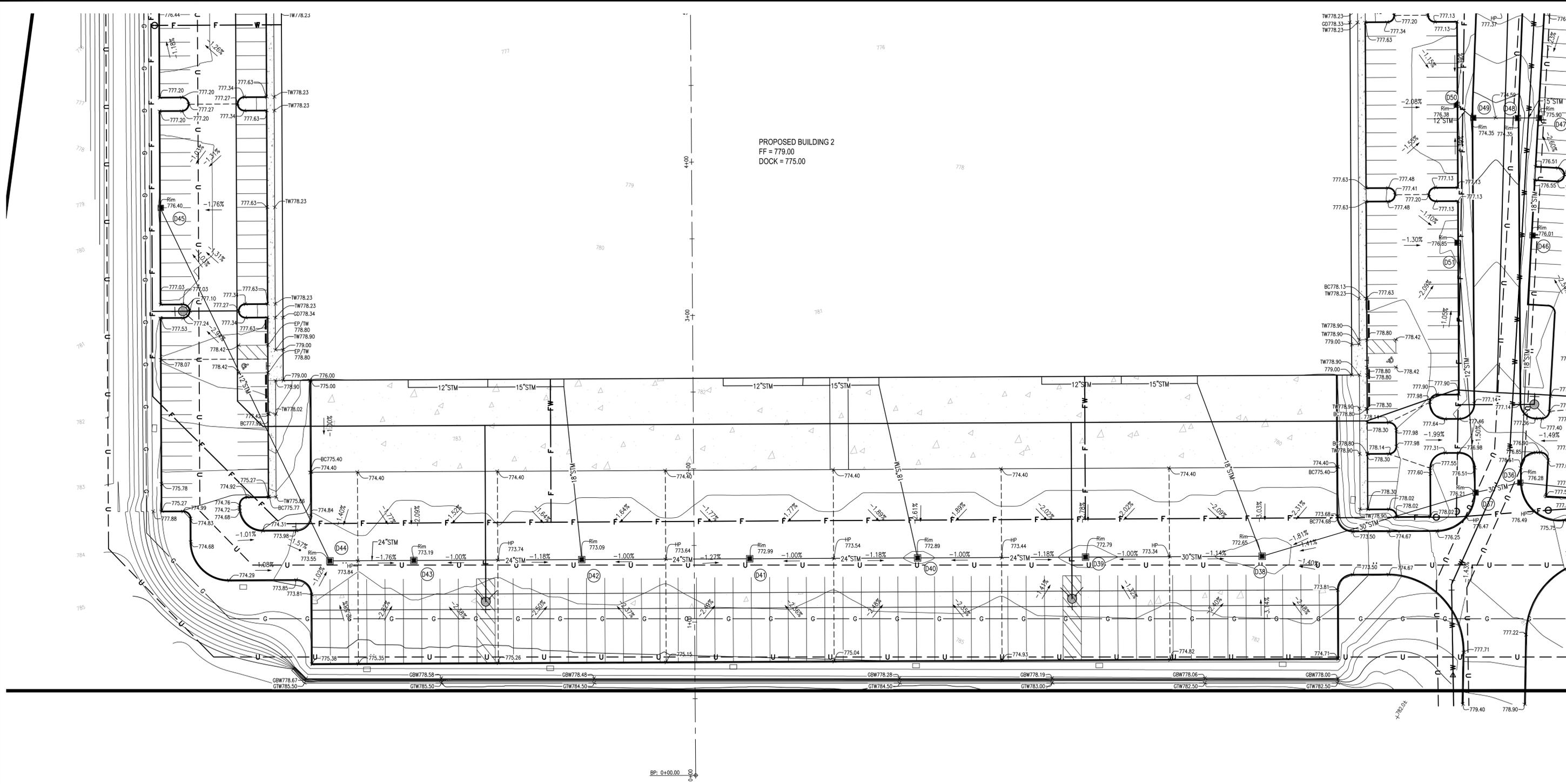
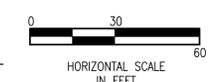
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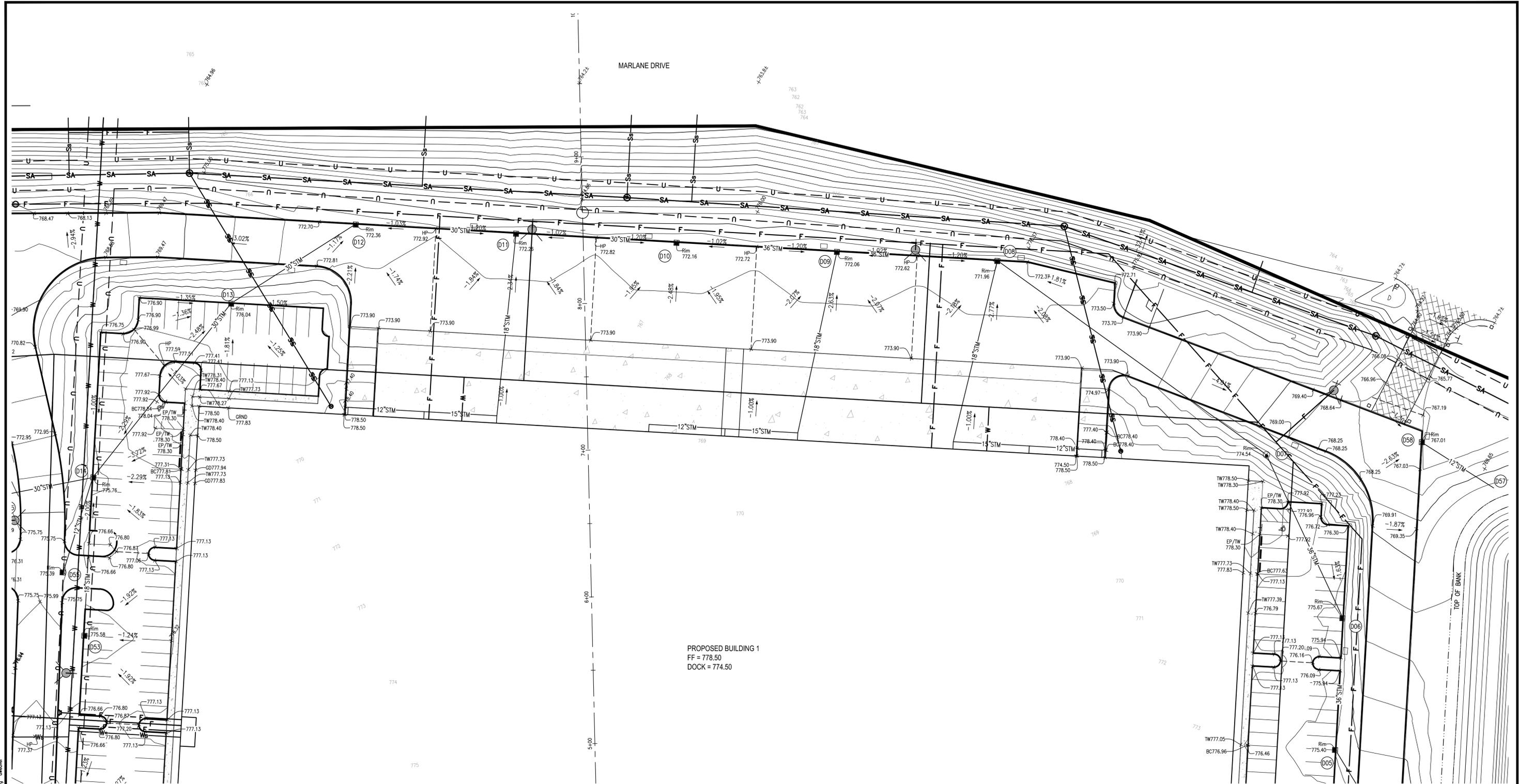
DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

GRADING & DRAINAGE PLAN		C3.01
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070		JOB NUMBER: 15037.01
DRAWN: AES	CHECKED: AES	DATE: 09/28/2015

LEGEND

- TW TOP OF WALK
- GD GROUND ELEVATION
- BC BACK OF CURB
- GTW GROUND TOP OF WALL
- GBW GROUND BOTTOM OF WALL
- EP EDGE OF PAVEMENT





PROPOSED BUILDING 1
 FF = 778.50
 DOCK = 774.50

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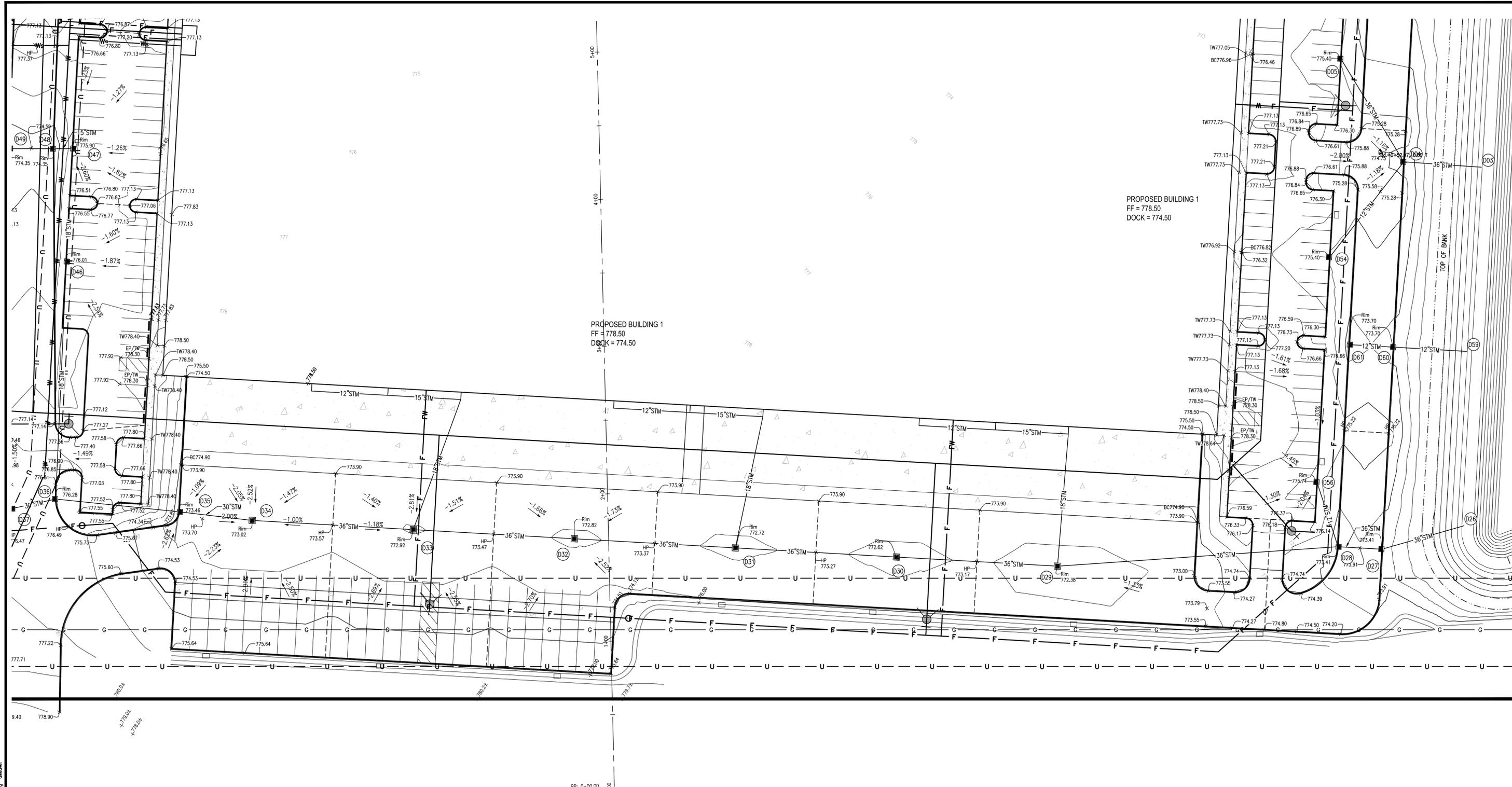
DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK		
GRADING & DRAINAGE PLAN		C3.02
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070		JOB NUMBER: 15037.01
DRAWN: AES	CHECKED: AES	DATE: 09/28/2015

LEGEND

- TW TOP OF WALK
- GD GROUND ELEVATION
- BC BACK OF CURB
- GTW GROUND TOP OF WALL
- GBW GROUND BOTTOM OF WALL
- EP EDGE OF PAVEMENT



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PROPOSED BUILDING 1
 FF = 778.50
 DOCK = 774.50

PROPOSED BUILDING 1
 FF = 778.50
 DOCK = 774.50

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**DEVELOPMENT PLANS FOR
 PROLOGIS SOUTH PARK**

GRADING & DRAINAGE PLAN C3.03

NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015

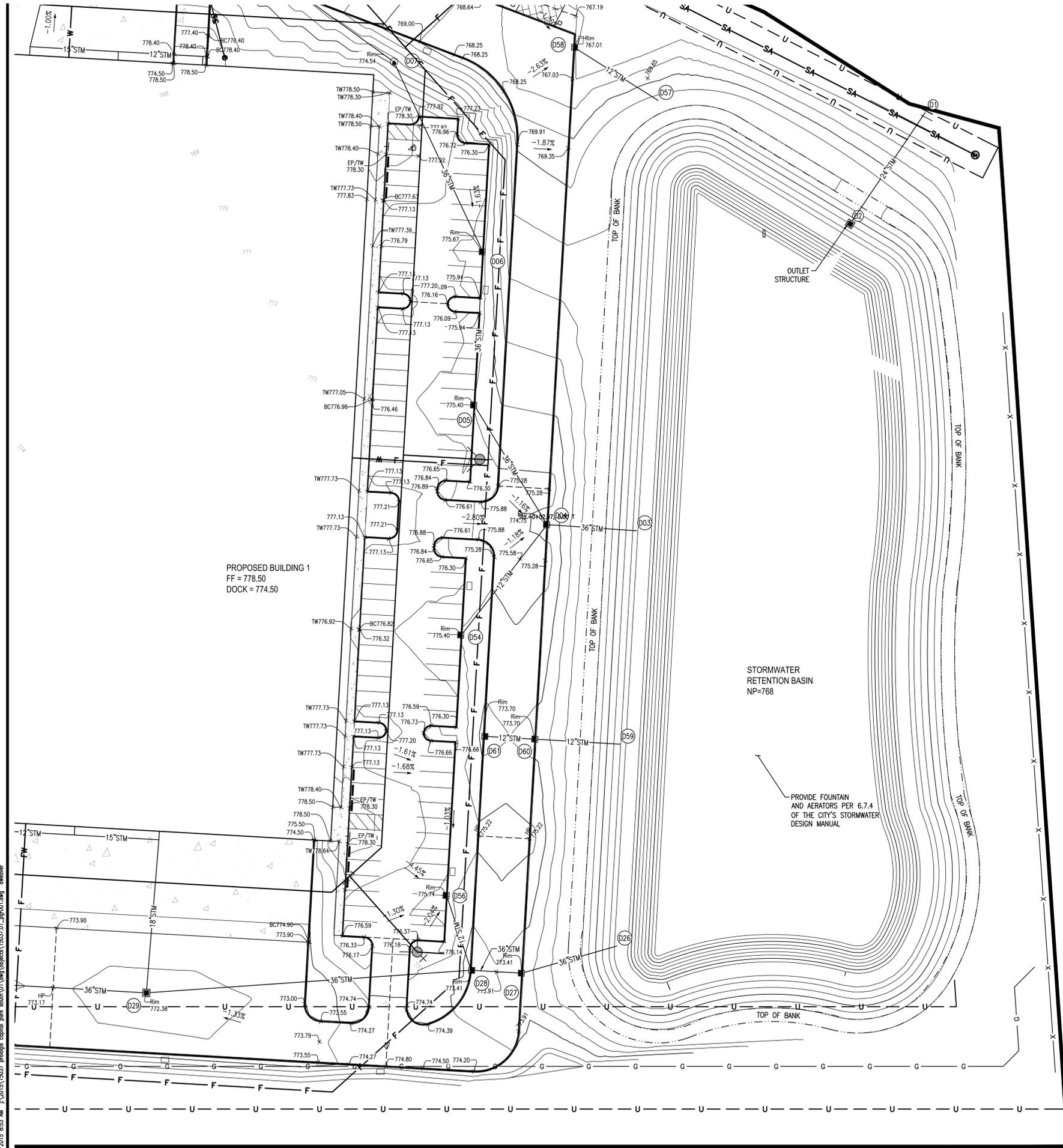
CITY PROJECT NUMBER: **201509280070** JOB NUMBER: **15037.01**
 DRAWN: **AES** CHECKED: **AES** DATE: **09/28/2015**

LEGEND

- TW TOP OF WALK
- GD GROUND ELEVATION
- BC BACK OF CURB
- GTW GROUND TOP OF WALL
- GBW GROUND BOTTOM OF WALL
- EP EDGE OF PAVEMENT



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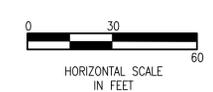
PROPOSED BUILDING 1
 FF = 778.50
 DOCK = 774.50

STORMWATER
 RETENTION BASIN
 NP=768

PROVIDE FOUNTAIN
 AND AERATORS PER 6.7.4
 OF THE CITY'S STORMWATER
 DESIGN MANUAL

LEGEND

- TW TOP OF WALK
- GD GROUND ELEVATION
- BC BACK OF CURB
- GTW GROUND TOP OF WALL
- GBW GROUND BOTTOM OF WALL
- EP EDGE OF PAVEMENT



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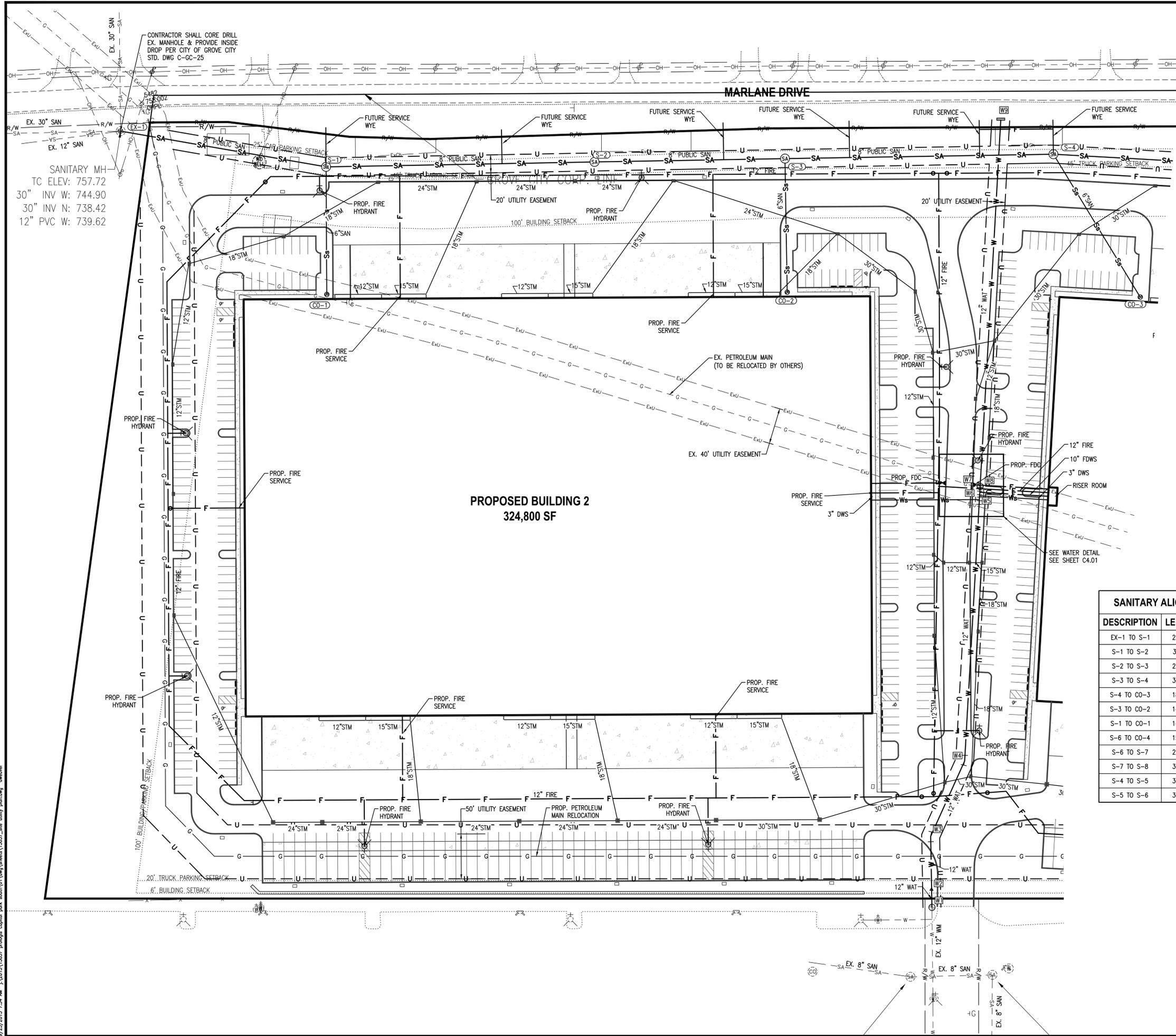
**DEVELOPMENT PLANS FOR
 PROLOGIS SOUTH PARK**

GRADING & DRAINAGE PLAN C3.04

NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015

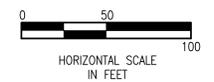
CITY PROJECT NUMBER: 201509280070 JOB NUMBER: 15037.01
 DRAWN: AES CHECKED: AES DATE: 09/28/2015

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PUBLIC SANITARY SEWER STRUCTURE TABLE				
NAME	DESCRIPTION	DETAILS	COORDINATES	ASBUILT COORDINATES
CO-1	CLEAN-OUT	RIM=778.67 6" (N)=768.90	N=691354.87 E=1813290.87	N= E=
CO-2	CLEAN-OUT	RIM=778.65 6" (N)=768.90	N=691245.95 E=1813793.66	N= E=
CO-3	CLEAN-OUT	RIM=769.24 6" (N)=768.50	N=691155.19 E=1814177.50	N= E=
CO-4	CLEAN-OUT	RIM=778.02 6" (N)=763.19	N=691008.24 E=1814698.71	N= E=
EX-1	EX. SAN. MH. W/ DROP G-GC-25	RIM=757.72 8" (E)=751.89 30" (N)=738.42 12" (W)=739.62 30" (W)=744.90	N=691582.15 E=1813105.40	N= E=
S-1	SAN. MH. C-GC-25	RIM=767.47 8" (W)=752.94 6" (S)=753.04 8" (E)=753.04	N=691493.65 E=1813320.87	N= E=
S-2	SAN. MH. C-GC-03	RIM=766.34 8" (W)=754.39 8" (E)=754.49	N=691433.99 E=1813614.88	N= E=
S-3	SAN. MH. C-GC-03	RIM=767.05 8" (W)=755.45 6" (S)=755.55 8" (E)=755.55	N=691391.53 E=1813823.38	N= E=
S-4	SAN. MH. C-GC-03	RIM=766.67 8" (W)=756.90 6" (S)=757.00 8" (E)=757.00	N=691331.36 E=1814117.28	N= E=
S-5	SAN. MH. C-GC-03	RIM=765.11 8" (W)=758.35 8" (E)=758.45	N=691250.25 E=1814406.11	N= E=
S-6	SAN. MH. C-GC-03	RIM=765.42 8" (W)=759.80 6" (S)=759.90 8" (SE)=760.23	N=691166.24 E=1814694.11	N= E=
S-7	SAN. MH.	RIM=766.83 8" (NW)=757.97 8" (SE)=757.87	N=691047.13 E=1814886.23	N= E=
S-8	SAN. MH.	RIM=766.99 8" (NW)=754.87	N=690856.74 E=1815118.08	N= E=

SANITARY ALIGNMENT TABLE		
DESCRIPTION	LENGTH	BEARING
EX-1 TO S-1	232.94	S67° 40' 07.77"E
S-1 TO S-2	300.01	S78° 31' 52.14"E
S-2 TO S-3	212.78	S78° 29' 13.13"E
S-3 TO S-4	300.00	S78° 25' 47.95"E
S-4 TO CO-3	186.18	S18° 52' 18.47"E
S-3 TO CO-2	148.58	N11° 32' 20.42"E
S-1 TO CO-1	141.98	N12° 11' 51.80"E
S-6 TO CO-4	158.06	S01° 40' 04.42"E
S-6 TO S-7	226.05	S58° 12' 07.52"E
S-7 TO S-8	300.00	S50° 36' 25.07"E
S-4 TO S-5	300.00	S74° 18' 52.40"E
S-5 TO S-6	300.00	S73° 44' 15.88"E



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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

SITE UTILITY PLAN C4.00

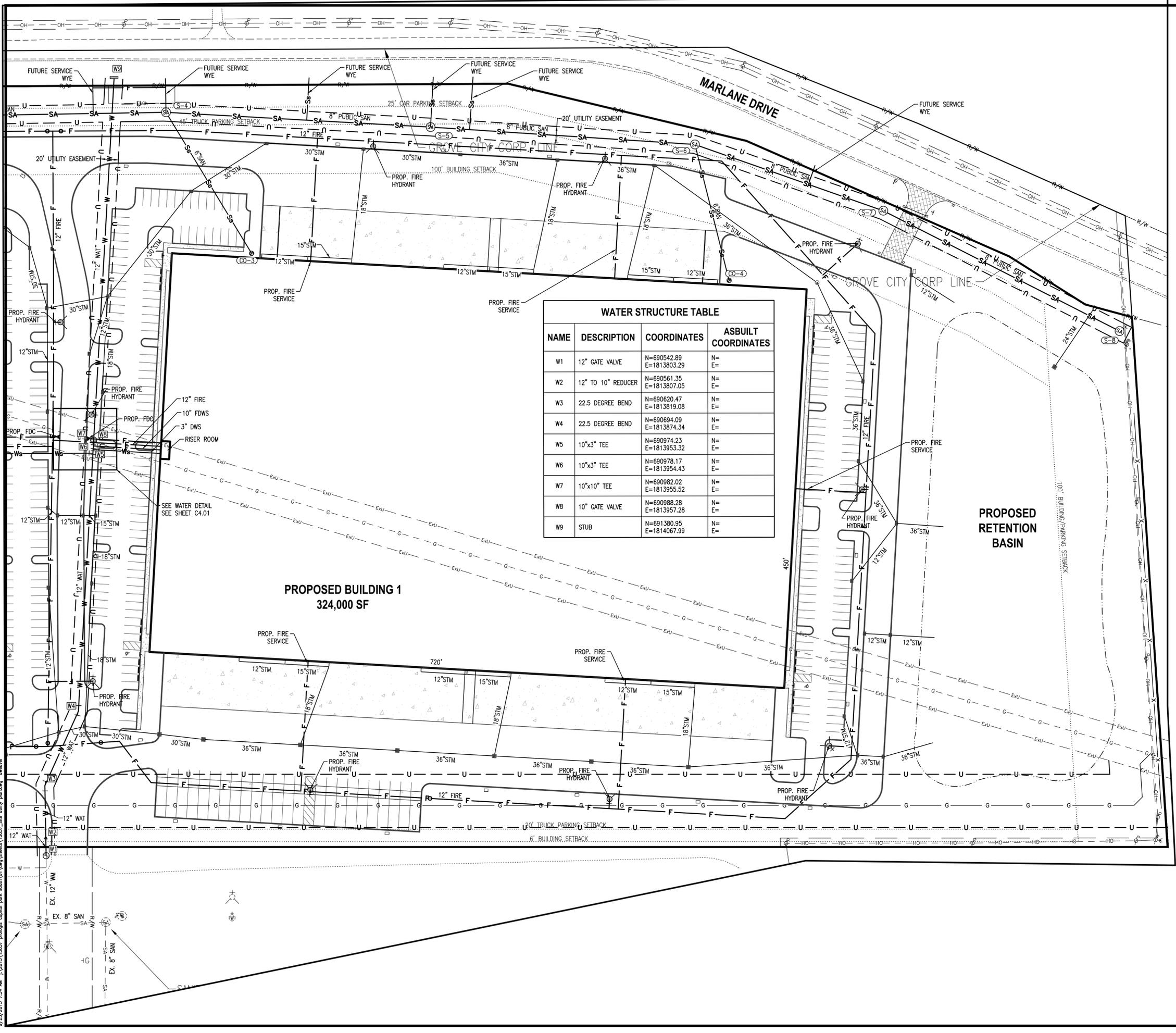
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015

CITY PROJECT NUMBER: **201509280070** JOB NUMBER: **15037.01**
 DRAWN: **DMW** CHECKED: **AES** DATE: **09/28/2015**

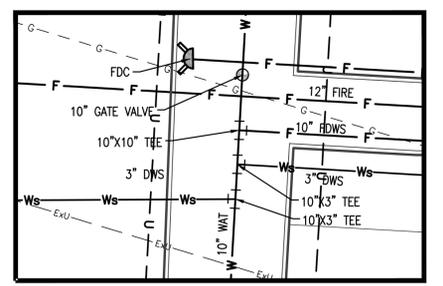
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CITY OF COLUMBUS WATER SERVICE PLAN NOTES

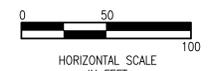
- NO WATER SERVICE CONSTRUCTION, BEFORE OR AFTER METER(S), SHALL BEGIN PRIOR TO THE WATER SERVICE PERMIT(S) BEING ISSUED AND FEE PAYMENT(S) TO THE COLUMBUS DIVISION OF WATER.
- SITE UTILITY CONTRACTOR INSTALLING ANY WATER SERVICE PIPE FROM WATER MAIN THRU AND AFTER METER(S) SHALL HAVE A CURRENT CITY OF COLUMBUS WATER SERVICE LICENSE PER THE COLUMBUS CITY CODE 1103.
- THE CITY OF COLUMBUS "C.M.S.C." 2012 EDITION SHALL GOVERN ALL WATER SERVICE WORK FROM WATER MAIN TO AND INCLUDING THE METER(S) AND METER BYPASS AND BACKFLOW PREVENTER(S).
- THERE SHALL BE A MINIMUM TEN FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN WATER TAPS, WATER SERVICES, PRIVATE WATER SYSTEMS AND ANY SANITARY AND/OR STORM SEWER SYSTEMS PER THE CURRENT TEN STATES STANDARDS 8.8.2 AND 8.8.3.
- SITE UTILITY CONTRACTOR SHALL CALL 614-645-5781 TO REQUEST AN INSPECTION OF THE NEW 6" X 4" TAPPING SLEEVE AND VALVE AND PRESSURE TEST. A 24 HOUR ADVANCE NOTICE IS REQUIRED.
- SITE UTILITY CONTRACTOR SHALL CALL 614-645-5781 FOR INSPECTION OF 3" AND LARGER DOMESTIC AND/OR FIRE PROTECTION WATER SERVICES AND/OR PRESSURE TESTS FROM RIGHT OF WAY VALVES THRU THE METERS. A 24 HOUR ADVANCE NOTICE IS REQUIRED.
- ALL 3" THRU 12" WATER SERVICE PIPE SHALL BE DUCTILE IRON FROM WATER MAIN THRU METER SETTING(S) INCLUDING THE METER BYPASS.
- ALL 2" AND SMALLER WATER SERVICE PIPE SHALL BE K SOFT COPPER FROM WATER MAIN THRU CURB STOP AND K SOFT COPPER OR A DIVISION OF WATER APPROVED POLYTUBING FROM CURB STOP THRU METER.
- SITE UTILITY CONTRACTOR SHALL CALL 614-645-7330 FOR INSPECTION OF 2" AND SMALLER WATER SERVICES AND/OR WATER SERVICE TAPS FROM WATER MAIN OR CURB STOP THRU METER SETTING(S). A 24 HOUR ADVANCE NOTICE IS REQUIRED.
- 2" AND LARGER METER SETTINGS SHALL BE PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-6317 A THRU E DATED 5/16/13.
- BACKFLOW PREVENTION AT THE SITE SHALL BE INSTALLED AS DETERMINED TO BE REQUIRED PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-9002 A THRU G DATED 5/16/13. CONTRACTOR SHALL CALL 614-645-6674 WITH INSTALLATION QUESTIONS. BACKFLOW INSPECTION REQUEST(S) SHALL BE MADE AT 614-645-5781 AND A 24 HOUR ADVANCE NOTICE IS REQUIRED.
- EXISTING WATER MAIN EASEMENT AND RIGHT OF WAY LINE(S) SHALL BE STAKED AT 10 FOOT INCREMENTS BY A STATE OF OHIO LICENSED SURVEYOR WHEN THE WATER MAIN SERVICE TAP AND/OR WATER SERVICE(S) ARE INSTALLED AND INSPECTED BY THE COLUMBUS DIVISION OF WATER.
- ALL EXPOSED WATER MAIN AND ALL WATER SERVICE PIPE 3" AND LARGER SHALL BE POLYWRAPPED PER AWWA SPEC C-105 TO A POINT 10' PAST THE RIGHT OF WAY VALVE(S).
- WATER SERVICE(S) SHALL BE FLUSHED BY THE SITE UTILITY CONTRACTOR PRIOR TO METER INSTALLATION. ANY METER DAMAGE CAUSED BY NON-FLUSHING SHALL BE PAID BY THE SITE UTILITY CONTRACTOR.
- WATER SERVICE SURVEY COORDINATE TABLE SHALL INCLUDE THE HORIZONTAL LOCATION (NORTHING, EASTING) SURVEY COORDINATES FOR THE PROPOSED WATER SERVICE IMPROVEMENT. THE SURVEY COORDINATES SHALL BE OBTAINED FOR THE PROPOSED WATER SERVICE(S) AND SHALL INCLUDE ALL TAPPING SLEEVES, TEES, VALVES, FIRE HYDRANTS, BENDS, DEFLECTIONS, REDUCERS, PLUGS/CAPS, AND BUILDING ENTRY POINTS FROM THE CITY MAIN AND THROUGH THE METER SETTING, ALSO, BEYOND THE METER SETTING ANY PRIVATE HYDRANTS SHALL BE SHOWN ON THIS TABLE AS WELL. ALL SURVEY COORDINATES SHALL BE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83) WITH THE (1986) ADJUSTMENT, WITH FURTHER REFERENCE MADE TO THE OHIO STATE PLANE SOUTH COORDINATE SYSTEM, SOUTH ZONE. ALL COORDINATES (NORTHING, EASTING) SHALL BE REFERENCED TO THE NEAREST HUNDRETH (N XXXXXX.XX, E XXXXXX.XX). ALL SURVEY COORDINATES SHALL BE ACCURATE TO WITHIN 1.0 FOOT OR LESS.



WATER STRUCTURE TABLE			
NAME	DESCRIPTION	COORDINATES	ASBUILT COORDINATES
W1	12" GATE VALVE	N=690542.89 E=1813803.29	N= E=
W2	12" TO 10" REDUCER	N=690561.35 E=1813807.05	N= E=
W3	22.5 DEGREE BEND	N=690620.47 E=1813819.08	N= E=
W4	22.5 DEGREE BEND	N=690694.09 E=1813874.34	N= E=
W5	10"x3" TEE	N=690974.23 E=1813953.32	N= E=
W6	10"x3" TEE	N=690978.17 E=1813954.43	N= E=
W7	10"x10" TEE	N=690982.02 E=1813955.52	N= E=
W8	10" GATE VALVE	N=690988.28 E=1813957.28	N= E=
W9	STUB	N=691380.95 E=1814067.99	N= E=



WATER DETAIL
SCALE: 1"=10'



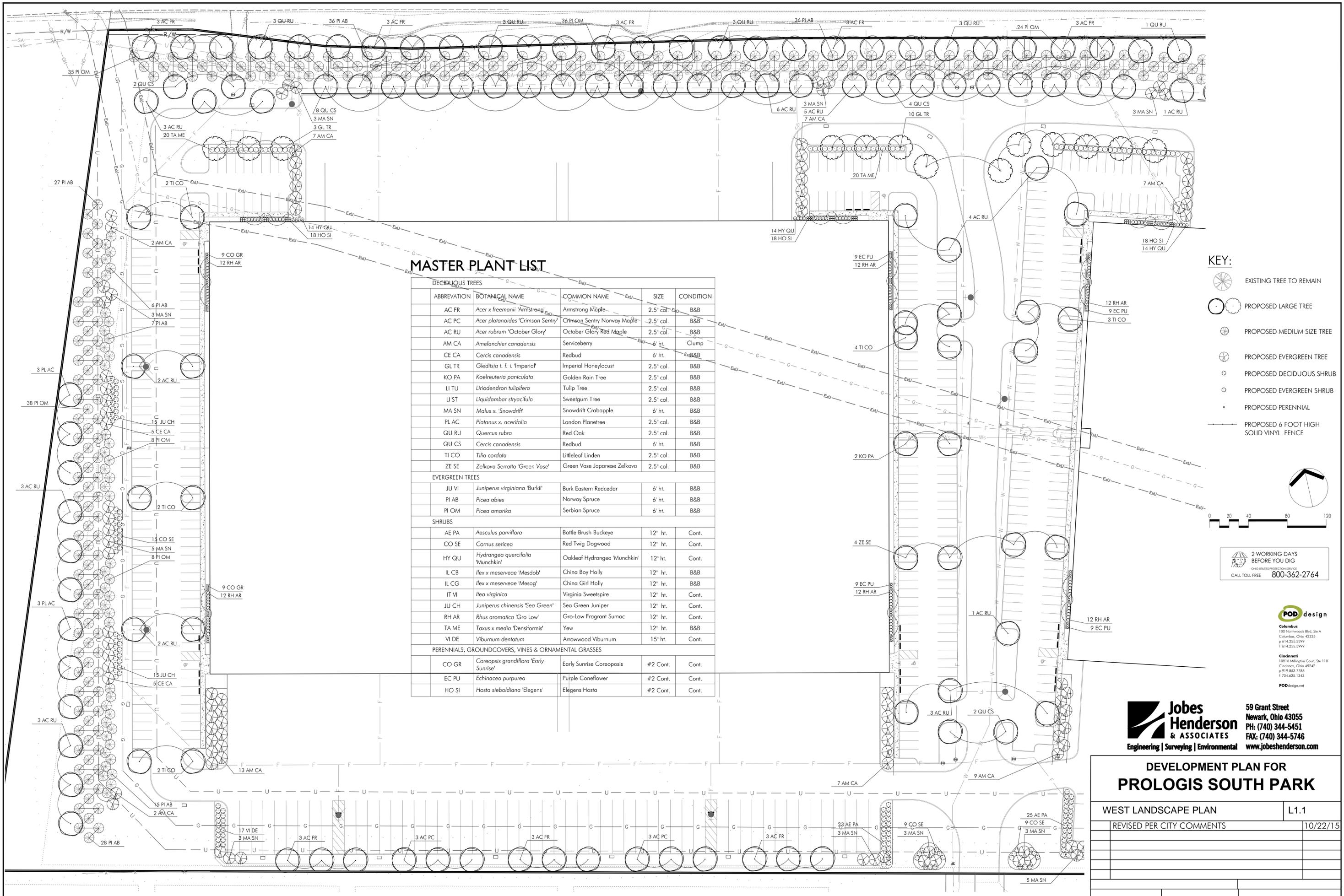
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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

SITE UTILITY PLAN		C4.01
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070		JOB NUMBER: 15037.01
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015

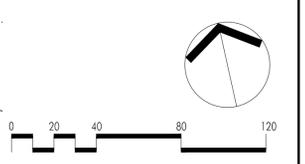
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MASTER PLANT LIST

DECIDUOUS TREES				
ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AC FR	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Maple	2.5' cal.	B&B
AC PC	<i>Acer platanoides</i> 'Crimson Sentry'	Crimson Sentry Norway Maple	2.5' cal.	B&B
AC RU	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2.5' cal.	B&B
AM CA	<i>Amelanchier canadensis</i>	Serviceberry	6' ht.	Clump
CE CA	<i>Cercis canadensis</i>	Redbud	6' ht.	B&B
GL TR	<i>Gleditsia t. f. i.</i> 'Imperial'	Imperial Honeylocust	2.5' cal.	B&B
KO PA	<i>Koelreuteria paniculata</i>	Golden Rain Tree	2.5' cal.	B&B
LI TU	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5' cal.	B&B
LI ST	<i>Liquidambar styraciflua</i>	Sweetgum Tree	2.5' cal.	B&B
MA SN	<i>Malus x.</i> 'Snowdrift'	Snowdrift Crabapple	6' ht.	B&B
PL AC	<i>Platanus x.</i> acerifolia	London Planetree	2.5' cal.	B&B
QU RU	<i>Quercus rubra</i>	Red Oak	2.5' cal.	B&B
QU CS	<i>Cercis canadensis</i>	Redbud	6' ht.	B&B
TI CO	<i>Tilia cordata</i>	Littleleaf Linden	2.5' cal.	B&B
ZE SE	<i>Zelkova Serrata</i> 'Green Vase'	Green Vase Japanese Zelkova	2.5' cal.	B&B
EVERGREEN TREES				
JU VI	<i>Juniperus virginiana</i> 'Burkii'	Burk Eastern Redcedar	6' ht.	B&B
PI AB	<i>Picea abies</i>	Norway Spruce	6' ht.	B&B
PI OM	<i>Picea omorika</i>	Serbian Spruce	6' ht.	B&B
SHRUBS				
AE PA	<i>Aesculus parviflora</i>	Bottle Brush Buckeye	12' ht.	Cont.
CO SE	<i>Cornus sericea</i>	Red Twig Dogwood	12' ht.	Cont.
HY QU	<i>Hydrangea quercifolia</i> 'Munchkin'	Oakleaf Hydrangea 'Munchkin'	12' ht.	Cont.
IL CB	<i>Ilex x meserveae</i> 'Mesdob'	China Boy Holly	12' ht.	B&B
IL CG	<i>Ilex x meserveae</i> 'Mesog'	China Girl Holly	12' ht.	B&B
IT VI	<i>Itea virginica</i>	Virginia Sweetspire	12' ht.	Cont.
JU CH	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	12' ht.	Cont.
RH AR	<i>Rhus aromatica</i> 'Gro Low'	Gro-Low Fragrant Sumac	12' ht.	Cont.
TA ME	<i>Taxus x media</i> 'Densiformis'	Yew	12' ht.	B&B
VI DE	<i>Viburnum dentatum</i>	Arrowwood Viburnum	15' ht.	Cont.
PERENNIALS, GROUNDCOVERS, VINES & ORNAMENTAL GRASSES				
CO GR	<i>Coreopsis grandiflora</i> 'Early Sunrise'	Early Sunrise Coreopsis	#2 Cont.	Cont.
EC PU	<i>Echinacea purpurea</i>	Purple Coneflower	#2 Cont.	Cont.
HO SI	<i>Hosta sieboldiana</i> 'Elegans'	Elegans Hosta	#2 Cont.	Cont.

- KEY:**
- EXISTING TREE TO REMAIN
 - PROPOSED LARGE TREE
 - PROPOSED MEDIUM SIZE TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED DECIDUOUS SHRUB
 - PROPOSED EVERGREEN SHRUB
 - PROPOSED PERENNIAL
 - PROPOSED 6 FOOT HIGH SOLID VINYL FENCE



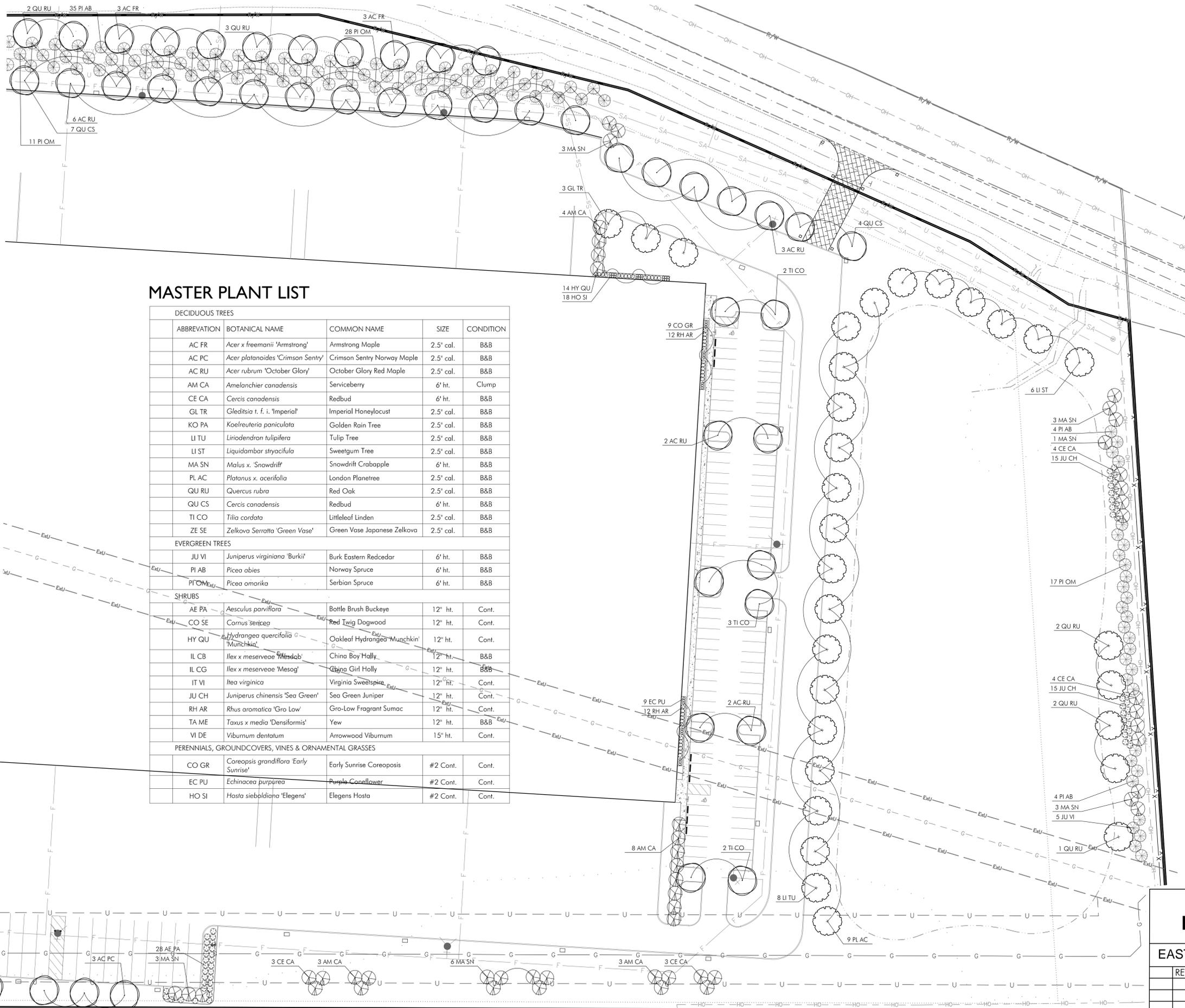
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DEVELOPMENT PLAN FOR PROLOGIS SOUTH PARK

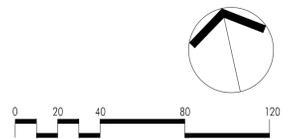
WEST LANDSCAPE PLAN	L1.1
REVISED PER CITY COMMENTS	10/22/15



MASTER PLANT LIST

DECIDUOUS TREES				
ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AC FR	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Maple	2.5' cal.	B&B
AC PC	<i>Acer platanoides</i> 'Crimson Sentry'	Crimson Sentry Norway Maple	2.5' cal.	B&B
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GL TR	<i>Gleditsia t. f. i.</i> 'Imperial'	Imperial Honeylocust	2.5' cal.	B&B
KO PA	<i>Koelreuteria paniculata</i>	Golden Rain Tree	2.5' cal.	B&B
LI TU	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5' cal.	B&B
LI ST	<i>Liquidambar styraciflua</i>	Sweetgum Tree	2.5' cal.	B&B
MA SN	<i>Malus x. 'Snowdrift'</i>	Snowdrift Crabapple	6' ht.	B&B
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SHRUBS				
AE PA	<i>Aesculus parviflora</i>	Bottle Brush Buckeye	12' ht.	Cont.
CO SE	<i>Cornus sericea</i>	Red Twig Dogwood	12' ht.	Cont.
HY QU	<i>Hydrangea quercifolia</i> 'Munchkin'	Oakleaf Hydrangea 'Munchkin'	12' ht.	Cont.
IL CB	<i>Ilex x meserveae</i> 'Mesdob'	China Boy Holly	12' ht.	B&B
IL CG	<i>Ilex x meserveae</i> 'Mesog'	China Girl Holly	12' ht.	B&B
IT VI	<i>Itea virginica</i>	Virginia Sweetshrub	12' ht.	Cont.
JU CH	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	12' ht.	Cont.
RH AR	<i>Rhus aromatica</i> 'Gro Low'	Gro-Low Fragrant Sumac	12' ht.	Cont.
TA ME	<i>Taxus x media</i> 'Densiflomis'	Yew	12' ht.	B&B
VI DE	<i>Viburnum dentatum</i>	Arrowwood Viburnum	15' ht.	Cont.
PERENNIALS, GROUNDCOVERS, VINES & ORNAMENTAL GRASSES				
CO GR	<i>Coreopsis grandiflora</i> 'Early Sunrise'	Early Sunrise Coreopsis	#2 Cont.	Cont.
EC PU	<i>Echinacea purpurea</i>	Purple Coneflower	#2 Cont.	Cont.
HO SI	<i>Hosta sieboldiana</i> 'Elegans'	Elegans Hosta	#2 Cont.	Cont.

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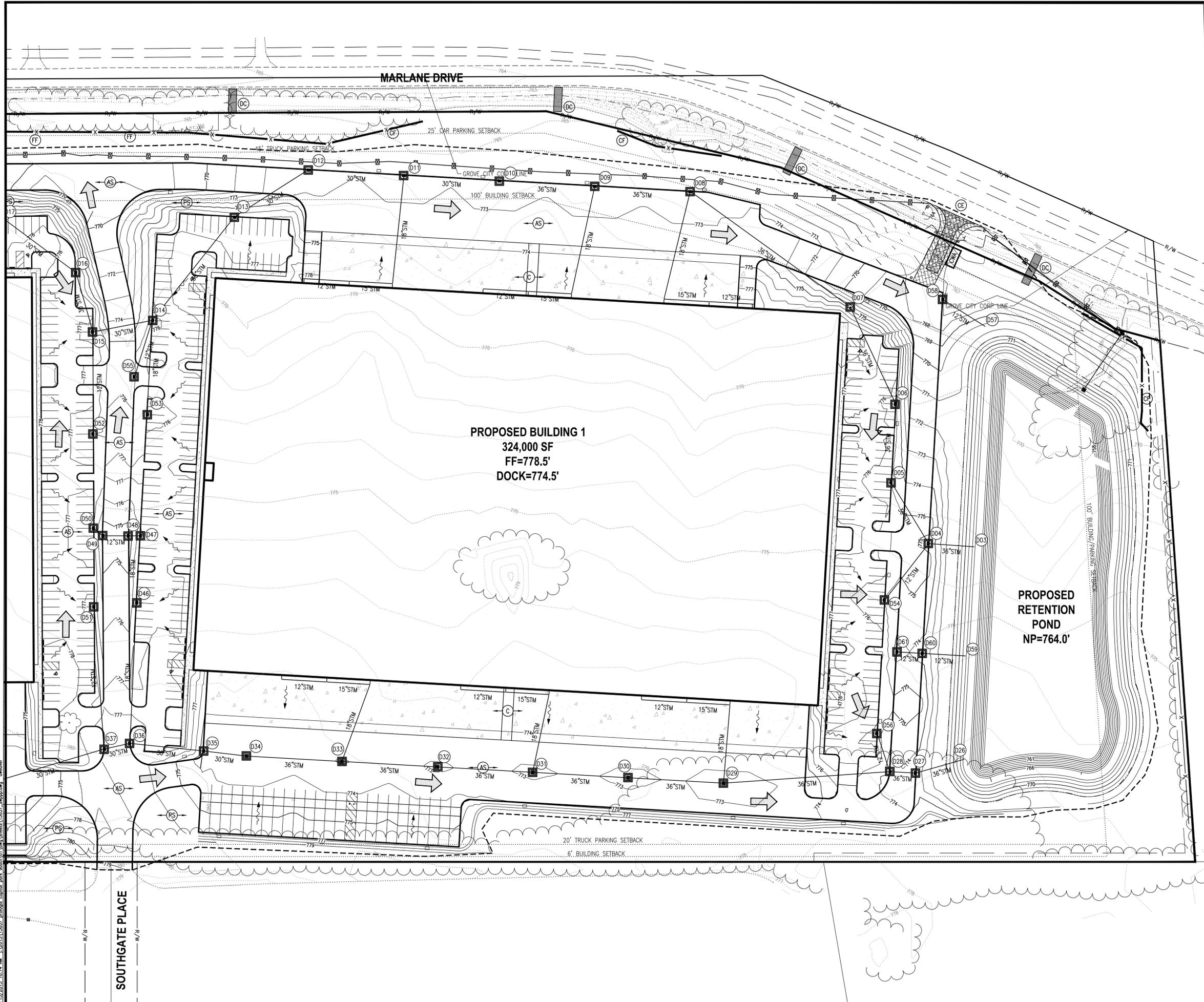
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DEVELOPMENT PLAN FOR PROLOGIS SOUTH PARK

EAST LANDSCAPE PLAN	L1.2
REVISED PER CITY COMMENTS	10/22/15

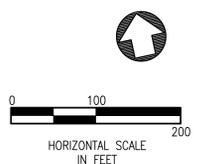


LEGEND

- ☒ PERIMETER FILTER FABRIC FENCE (FF)
- X— TREE PROTECTION CONSTRUCTION FENCE (CF)
- ☐ INLET PROTECTION (SPECIFIC METHOD DEPENDENT UPON STRUCTURE TYPE & LOCATION) (IP)
- ▨ STABILIZED CONSTRUCTION ENTRANCE (CE)
- ▨ ROCK CHANNEL PROTECTION (OP)
- ⋯ LIMITS OF DISTURBANCE
- (PS) PERMANENT SEEDING
- (AS) PERMANENT SEEDING
- ▨ STRAW BALE DITCH CHECK (DC)
- ➔ PROPOSED FLOOD ROUTING
- ➔ PROPOSED DRAINAGE FLOW
- ☐ CWA CONCRETE WASHOUT AREA

PROPOSED BUILDING 1
 324,000 SF
 FF=778.5'
 DOCK=774.5'

PROPOSED RETENTION POND
 NP=764.0'



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DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

SWPPP		C5.01
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070		JOB NUMBER: 15037.01
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015

9/15/2015 10:14 AM E:\2015\15037_prologis_south_park_south\01\land\sheet5\15037_swppp.dwg d:\user

SWPPP GENERAL NOTES

THE CONTRACTOR SHALL BE DESIGNATED A CO-PERMITTEE TO THE GENERAL CONSTRUCTION STORM WATER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS UNDER THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OHIO EPA) GENERAL PERMIT.

THE CONTRACTOR SHALL FILE A CO-PERMITTEE FORM. INFORMATION ABOUT THE CO-PERMITTEE FORM CAN BE FOUND AT www.epa.state.oh.us/dsw/storm/stormform.html. THE CONTRACTOR SHALL FURNISH A COPY OF THE FORM SUBMITTED TO THE OHIO EPA TO THE PROJECT OWNER, OR OWNER'S REPRESENTATIVE, AT OR BEFORE THE PRE-CONSTRUCTION MEETING.

ALL CONTRACTOR'S AND SUB-CONTRACTORS SHALL PROVIDE SIGNATURES TO THE OWNER ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE GENERAL PERMIT AND THE SWP3. THESE SIGNATURES SHALL BE PROVIDED PRIOR TO COMMENCEMENT OF WORK ON THE CONSTRUCTION SITE.

EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO INITIAL DISTURBANCE ACTIVITIES OR AS SOON AS PRACTICAL. THE CONTRACTOR SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE OHIO EPA GENERAL PERMIT AND THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) DEVELOPED FOR THE PROJECT.

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJOINING ROADS, LANDS, AND STREAMS. REFER TO ODNR "RAINWATER AND LAND DEVELOPMENT" MANUAL AND ODOT "HANDBOOK FOR SEDIMENT AND EROSION CONTROL" FOR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT, ALL POINTS WHERE STORM WATER ENTERS A STREAM THAT TRAVERSES THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTIONS OF COMPLETED UNDERGROUND PIPING.

SWPPP UPDATES

THE SWP3 PLAN IS A DYNAMIC PLAN BASED UPON SITE CONDITIONS AND THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWP3 PLAN AS THE PROJECT PROCEEDS.

THE CONSTRUCTION BMP'S WITHIN THESE PLANS REPRESENT THE MINIMUM REQUIRED ONSITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ONSITE BMP'S AS THE PROJECT PROGRESSES AT NO ADDITIONAL COST OVER THE ITEMS BID.

INSPECTION

THE CONTRACTOR SHALL PROVIDE A QUALIFIED INSPECTION PERSONNEL TO CONDUCT INSPECTIONS PER PART III.G.2 OF THE GENERAL PERMIT. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE JURISDICTIONAL AGENCIES IF REQUESTED.

AT A MINIMUM, ALL CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. INSPECTION PERIODS MAY BE REDUCED PER PART III.G.2 OF THE GENERAL PERMIT.

MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL TEMPORARY AND PERMANENT CONTROL PRACTICES TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION DURING CONSTRUCTION. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER. LONG TERM MAINTENANCE RESPONSIBILITY AND SCHEDULE CAN BE FOUND IN THE O&M AGREEMENT TO BE SUBMITTED WITH FINAL CONSTRUCTION PLANS.

TREE PRESERVATION

THE AREA SHOWN IN THE CONSTRUCTION DRAWINGS AND ON THE STORM WATER POLLUTION PREVENTION PLAN AS "100' NATURAL BUFFER ZONE - DO NOT DISTURB", SHALL BE ENCLOSED WITH T-POSTS AND CONSTRUCTION FENCING.

PS PERMANENT SEEDING

Seed Mix	Seeding Rate		Notes:
	Lbs. Ac.	Lbs. 1,000 Sq.Ft.	
General Use			
Creeping Red Fescue	20-40	1/2 - 1	For close mowing & waterways w/ <2 ft/sec
Domestic Ryegrass	10-20	1/4 - 1/2	
Kentucky Bluegrass	20-40	1/2 - 1	
Tall Fescue	40-50	1 - 1 1/2	
Turf-type (dwarf) Fescue	90	2 1/2	
Steep Banks or Cut Slopes			
Tall Fescue	40-50	1 - 1 1/2	
Tall Fescue	20-30	1/2 - 3/4	Do not seed later than August
Flat Pea	20-25	1/2 - 3/4	Do not seed later than August
Tall Fescue	20-30	1/2 - 3/4	
Road Ditches and Swales			
Tall Fescue	40-50	1 - 1 1/2	
Turf-type (dwarf) Fescue	90	2 1/2	
Kentucky Bluegrass	5	0.1	
Lawns			
Kentucky Bluegrass	100-120	2	For shaded areas.
Perennial Ryegrass	2	2	
Kentucky Bluegrass	100-120	2	
Creeping Red Fescue		1 1/2	

Note: Other approved seed species may be substituted.

Site Preparation

- Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
- The site shall be graded as needed to permit the use of conventional Equipment for seedbed preparation and seeding.
- Topsoil shall be applied where needed to establish vegetation.

Seedbed Preparation

- Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
- Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analyses.

- The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.

Seeding Dates and Soil Conditions

- Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.
- Permanent vegetation and structural erosion control measures shall be installed as soon as practical but no later than 48 hours after final grading. This includes sod or other methods of retaining seeding material prior to maturation in the lower 1/2 of any drainage ditches.
- Land which has been cleared for development, and upon which construction has not commenced within twenty-one (21) days of this initial clearing shall be protected from erosion and consequent sedimentation by appropriate vegetation and land covering techniques such as seeding, sodding, mulching ground cover installation or other vegetation or earth covering techniques.

Dormant Seedings

- Seedings should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
- The following methods may be used for "Dormant Seeding":
 - From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.
 - From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.
 - Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.
 - Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.

Mulching

- Mulch material shall be applied immediately after seeding. Dormant seeding shall be mulched. 100% of the ground surface shall be covered with an approved material.
- Materials
 - Straw—If straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons per acre or 90 pounds (two to three bales) per 1,000-sq. ft. The mulch shall be spread uniformly by hand or mechanically applied so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
 - Hydroseeders—If wood cellulose fiber is used, it shall be applied at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
 - Other—Other acceptable mulches include rolled erosion control matings or blankets applied according to manufacturer's recommendations or wood chips applied at 6 tons per acre.
- Straw and Mulch Anchoring Methods

Straw mulch shall be anchored immediately to minimize loss by wind or water.

 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacture or at the rate of 160 gallons per acre.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Tack or equivalent may be used at rates specified by the manufacturer.
 - Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.

Irrigation

Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth. Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

TS TEMPORARY SEEDING

SEEDING DATES	SPECIES	Lb./1000 ft ²	Lb./Acre	
March 1 to August 15	Oats	3	128 (4 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	55	
	Perennial Ryegrass	3.25	142	
	Creeping Red Fescue	0.4	17	
	Kentucky Bluegrass	0.4	17	
August 16 to November	Oats	3	128 (3 bushel)	
	Tall Fescue	1	40	
	annual ryegrass	1	40	
	Rye	3	112 (2 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Wheat	3	120 (2 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Rye	1	40	
November 1 to Feb. 29	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1.25	40	
	Perennial Ryegrass	3.25	40	
	Creeping Red Fescue	0.4	40	
	Kentucky Bluegrass	0.4	40	
	Use mulch only or dormant seeding.			

Note: Other approved seed species may be substituted.

Mulching Temporary Seeding

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates on favorable, very flat soil conditions may not need mulch to achieve adequate stabilization. Temporary vegetation or mulching shall be employed to protect exposed critical areas during development. These measures shall be installed within 48 hours of initial disturbance. Critical areas, as they pertain to erosion control measures, are defined in Appendix XIV by the Licking County Engineer or Licking County Soil and Water Conservation Service.
- Materials:
 - Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lbs./ 1,000 sq. ft. (2-3 bales)
 - Hydroseeders—If wood cellulose fiber is used, it shall be used at 2000 lbs./ ac. or 46 lb./ 1,000-sq.-ft.
 - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 ton/ ac.
- Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturers recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosel, Terra Track or equivalent may be used at rates recommended by the manufacturer.
 - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb. / 100 gal.

(Rainwater and Land Development rev.6--24--09)

SITE NARRATIVE

PROJECT DESCRIPTION:

THE PROPOSED PROPERTY IS APPROXIMATELY 43.8 +/- ACRES AND IS LOCATED IN GROVE CITY, FRANKLIN COUNTY.

THE PROPOSED DEVELOPMENT WILL CONSTRUCT 2 BUILDINGS EACH WITH A TRUCK DOCK, TRAILER PARKING, AND EMPLOYEE PARKING FACILITIES. THERE WILL BE A RETENTION POND ALONG THE EASTERN PROPERTY LINE OF THE SITE TO ACCOMMODATE ALL THE STORMWATER DETENTION REQUIREMENTS.

RECEIVING STREAM:

UNNAMED DITCH ALONG MARLANE DRIVE.

ADJACENT AREAS:

THE SITE IS BORDERED TO THE NORTH BY MARLANE DRIVE, THE SOUTH BY MULTIPLE EXISTING COMMERCIAL WAREHOUSES, TO THE WEST BY THE FARBROOK VILLAGE AND TO THE EAST BY SEVERAL PRIVATE RESIDENCES.

PROJECT DATA:

PRE-CONSTRUCTION IMPERVIOUS AREA	0.0AC.
PRE-CONSTRUCTION IMPERVIOUS AREA (%)	0%
POST CONSTRUCTION IMPERVIOUS AREA	30.9AC.
POST CONSTRUCTION IMPERVIOUS AREA (%)	82.0 %
PROJECT EARTH DISTURBED AREA	37.70AC.
ESTIMATED CONTRACTOR EARTH DISTURBED AREA	0 AC.

NOTICE OF INTENT EARTH DISTURBED AREA 37.70 AC.

SOILS:

THE FOLLOWING SOILS ARE PRESENT ONSITE:

- CeB - CELINA SILT LOAM, 2 TO 6 PERCENT SLOPES
- CeC2 - CELINA SILT LOAM, 6 TO 12 PERCENT SLOPES, ERODED
- CrA - CROSBY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2 PERCENT SLOPES
- CrB - CROSBY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 2 TO 6 PERCENT SLOPES
- Ko - KOKOMO SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES
- Mh - MEDWAY SILT LOAM, OCCASIONALLY FLOODED
- Ut - UDORTHENTS - URBAN LAND COMPLEX, GENTLY ROLLED

GRADING REQUIREMENTS:

A LARGE PORTION OF THE SITE IS STRIPPED OF TOPSOIL AS IT CURRENTLY SERVES AS A FARM FIELD. THE REST OF THE SITE BEING DEVELOPED WILL NEED TO BE STRIPPED AND THE EXISTING VEGETATION REMOVED AND DISPOSED OF. THE SITE WILL REQUIRE AREAS OF CUT AND FILL TO CONSTRUCT TO SUBGRADE AND WILL BE RELATIVELY FLAT.

EROSION AND SEDIMENT CONTROL MEASURES:

EROSION AND SEDIMENT WILL BE CONTROLLED THROUGH THE USE OF THE SEDIMENT BASIN, INLET PROTECTION AT THE PROPOSED INLETS, TEMPORARY SEDIMENT CONTROL STRUCTURE, AND PERIMETER FILTER FABRIC FENCE.

POST CONSTRUCTION WATER QUALITY:

POST CONSTRUCTION WATER QUALITY WILL BE MAINTAINED BY THE PROPOSED USE OF RETENTION PONDS.

PERMANENT STABILIZATION:

THE SITE WILL BE STABILIZED BY THE USE OF SEEDING OR SODDING.

MAINTENANCE:

ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED BY THE CONSTRUCTION SUPERINTENDENT DAILY AND AFTER SIGNIFICANT RAINFALLS. ANY DAMAGED FACILITIES ARE TO BE REPLACED / REPAIRED IMMEDIATELY AS MAY BE NECESSARY.

CONSTRUCTION SEQUENCE:

- CONTACT THE CITY OF GROVE CITY 2 WEEKS PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING AS IDENTIFIED IN THE GENERAL NOTES ON SHEET C0.02.
- ESTABLISH A DESIGNATED CONSTRUCTION ENTRANCE.
- INSTALL PERIMETER FILTER FABRIC FENCE & TREE PROTECTION FENCE.
- BEGIN EXCAVATION OF THE PROPOSED BASINS AND USE TEMPORARY DIVERSION SWALES TO ROUTE STORM WATER RUNOFF TO THE BASIN DURING CLEARING AND GRADING.
- INSTALL STORM WATER OUTLET PIPES AND RELOCATE THE PERMANENT OUTLET STRUCTURE, COMPLETE WITH THE FAIRCLOTH SKIMMER (OR EQUAL).
- REMOVE THE EXISTING VEGETATION FROM THE REMAINDER OF THE SITE AS NECESSARY.
- GRADE THE SITE AS NECESSARY TO FORM THE BUILDING PADS, ACCESS ROADS, PARKING AREAS, ETC.
- STABILIZE ANY REMAINING DISTURBED AREAS.
- REMOVE THE TEMPORARY SEDIMENT CONTROLS WHEN PERMANENT VEGETATION BECOMES ESTABLISHED.

SCHEDULE:

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE PLACED IN ACCORDANCE WITH THIS SCHEDULE.

PLAN DESIGNER:
 JOBS HENDERSON & ASSOCIATES, INC.
 59 GRANT STREET,
 NEWARK, OH 43055
 P.740.344.5451
 F.740.344.8659
 SITE CONTACT: AMANDA E SPENCER

OWNER / DEVELOPER:
 PROLOGIS
 8102 ZIONSVILLE ROAD
 INDIANAPOLIS, IN 46268
 (317) 228-5205
 SITE CONTACT: MIKE CARRICO

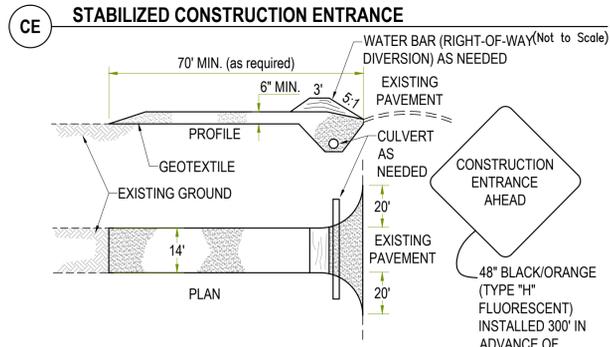
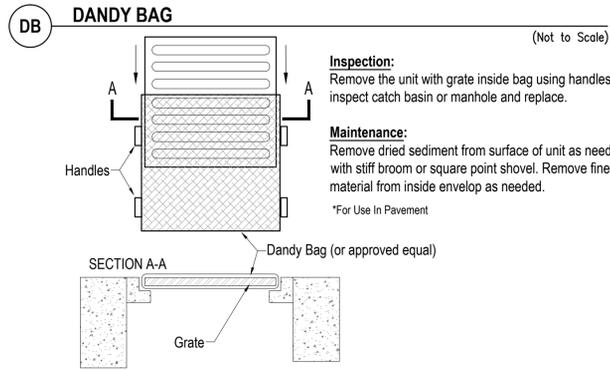


59 Grant Street
 Newark, Ohio 43055
 PH: (740) 344-5451
 FAX: (740) 344-5746
www.jobshenderson.com

DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK

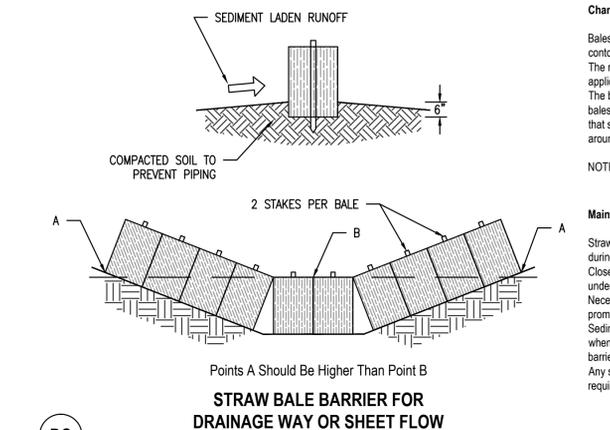
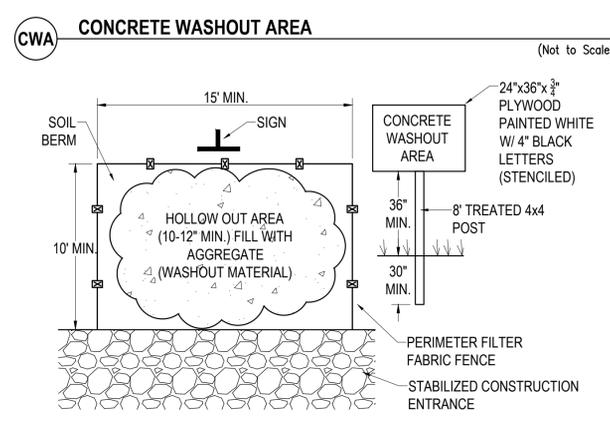
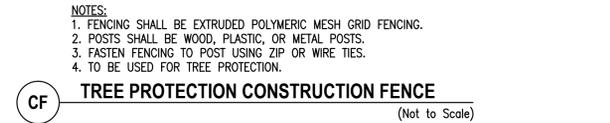
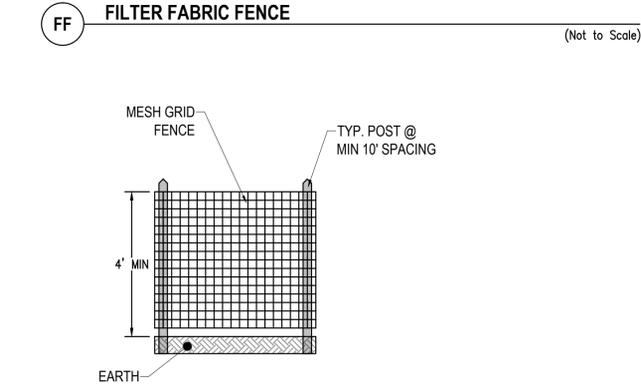
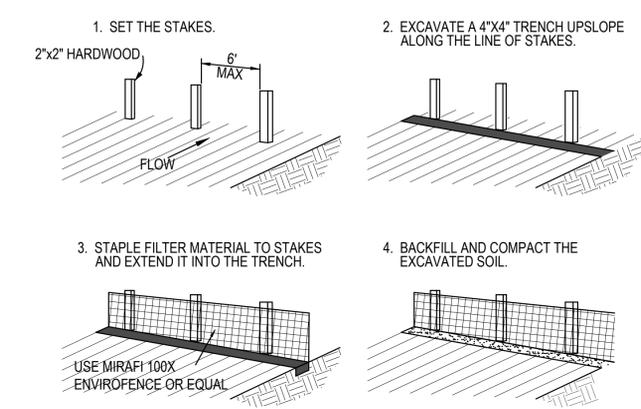
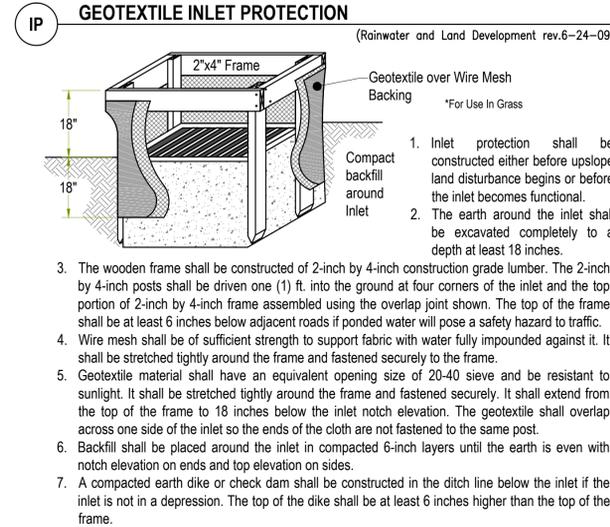
SWPPP NOTES C5.02

NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER:	201509280070	JOB NUMBER: 15037.01
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015



- Stone Size - o-dot #2 (1.5-2.5 inch) stone shall be used, or reclaimed or recycled concrete equivalent.
- Length - as long as required to stabilize high traffic areas but not less than 70 ft.
- Thickness - not less than six (6) inches for light duty or at least ten (10) inches for heavy duty.
- Width - fourteen (14) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Geotextile - laid over the entire area prior to placing stone. it shall be composed of strong rot-proof polymeric fibers and meet the following specifications:

min. tensile strength = 200 lbs.	min. puncture strength = 80 psi
min. tear strength = 50 lbs.	min. burst strength = 320 psi
min. elongation = 20%	equivalent opening size = eos < 0.6mm
permeability = 1x10 ⁻³ cm/sec.	
- Timing - the construction entrance shall be installed as soon as is practicable before major grading activities.
- Culvert - a pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
- Water bar - a water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance - top dressing of additional stone shall be applied as conditions demand. mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls, shall be removed immediately. removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- Removal - the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.



Channel Flow Applications

Bales shall be placed in a single row, lengthwise, oriented perpendicular to the contour, with ends of adjacent bales tightly abutting one another. The remaining steps for installing a straw bale barrier for sheet flow applications apply here, with the following addition. The barrier shall be extended to such a length that the bottoms of the end bales are higher in elevation than the top of the lowest middle bale to assure that sediment-laden runoff will flow either through or over the barrier but not around it.

NOTE: Hay bales may be used in place of straw bales.

Maintenance

Straw bales shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales. Necessary repairs to barriers or replacement of bales shall be accomplished promptly. Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier. Any sediment deposits remaining in place after the straw bale barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

Jobs Henderson & ASSOCIATES
Engineering | Surveying | Environmental

59 Grant Street
Newark, Ohio 43055
PH: (740) 344-5451
FAX: (740) 344-5746
www.jobshenderson.com

DEVELOPMENT PLANS FOR PROLOGIS SOUTH PARK		
SWPPP DETAILS		C5.03
NO.	PLAN ISSUE/REVISION	DATE
1	REVISED PER CITY COMMENTS	10/22/2015
CITY PROJECT NUMBER: 201509280070	JOB NUMBER: 15037.01	
DRAWN: DMW	CHECKED: AES	DATE: 09/28/2015

PROLOGIS SOUTH PARK – PROPOSED EXTERIOR FINISHES:

WALLS:

Material –Concrete wall panel

Textured Paint

Manufacturer: Sherwin Williams (or similar)

Material: Ultra Crete Textured Masonry Topcoat (A44W811) (or similar)

Colors: SW "Sable"

SW "Liquorice Tint"

SW "Jaguar"



WINDOWS:

Frames

Manufacturer: Kawneer (or similar)

Color-Finish: Clear Anodized Aluminum

Glass

Manufacturer: PPG (or similar)

Color-Finish: Atlantica (formerly Solar Green)

DOORS.

Hollow Metal Doors and Frames:

Manufacturer: Ceco (or similar)

Color: To match adjacent building color

Overhead Doors

Manufacturer: Wayne Dalton (or Similar)

Style: Sectional Overhead Doors

Color: Manufacturer's standard "White"

MISC.

Prefinished Metal Flashing

Manufacturer: Metal Era (or Similar)

Color: To match adjacent building color

Louvers

Manufacturer: Greenheck (or similar)

Style: Operable Blade, Motorized Louver.

Color: Clear Anodized Aluminum

RECEIVED
OCT 22 2015
GC PLANNING COMMISSION

524380328

MAIL R.L. DeLore
50 E. Broad St.
Columbus, Ohio
VOL 2438 REC 677

Sheet of sheets.

KNOW ALL MEN BY THESE PRESENTS: 23265

That John P. Haze, Jr., married
Recorded 11-3-1962
Recorded NOV 6 - 1962
JAMES A. SCHAEFER, Recorder

TRANSFER
NOT NECESSARY
NOV 3 1962
FRED C. UNN
FRANKLIN COUNTY

for and in consideration of the sum of Six Thousand Eight Hundred Twenty and no/100ths Dollars (\$6,820.00) and for other good and valuable considerations to him, paid by the

State of Ohio, the Grantee, the receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, convey and release to the said Grantee, its successors and assigns forever, a perpetual easement and right of way for public highway and road purposes, in, upon and over the lands hereinafter described, situated in Franklin County, Ohio, Jackson Township,

and bounded and described as follows:
PARCEL No. 91

Being a parcel of land lying on the right & left sides of the centerline of a survey, made by the Department of Highway, and recorded in Book 32, Page 60, of the records of Franklin County and being located within the following described points in the boundary thereof:
Beginning at the grantor's northwest corner and station 10 plus 8 in the centerline of a survey made in 1962 by the Ohio Department of Highway, for Marlane Drive Service Road, in Franklin County, Ohio; thence leaving said point (S 77° 46' 16" E, 165.33 feet) and with the grantor's northerly property line and the said Marlane Drive centerline survey, to station 24 plus 73.33 in said Marlane Drive centerline survey; thence leaving said point (S 77° 46' 16" E, 175.08 feet) and continuing with the grantor's said northerly property line, to a point 38.18 feet left of and at right angles from station 26 plus 37.96 in said Marlane Drive centerline survey; thence leaving said point and grantor's said northerly property line (S 55° 45' 04" E, 232.49 feet) to a point 45.89 feet left of and at right angles from station 28 plus 70.33 in said Marlane Drive centerline survey; thence leaving said point (S 53° 36' 13" E, 391.14 feet) to a point 44.19 feet left of and at right angles from station 32 plus 61.47 in said Marlane Drive centerline survey; thence leaving said point (S 52° 45' 29" E, 440.59 feet) to a point in the grantor's easterly property line, 35.76 feet left of and at right angles from station 37 plus 01.97 in said Marlane Drive centerline survey; thence leaving said point (S 03° 39' 43" W, 481.67 feet) and with the grantor's easterly property line, to a point in the grantor's southerly Marlane Drive centerline survey; thence leaving said point and the grantor's said easterly property line (N 78° 33' 24" W, 10.09 feet) and with the grantor's southerly property line to a point 40 feet right of and at right angles from station 41 plus 69.75 in said Marlane Drive centerline survey; thence leaving said point and the grantor's said southerly property line (N 03° 39' 43" E, 363.93 feet) to a point 40 feet right of and at right angles from station 38 plus 05.82 in said Marlane Drive centerline survey; thence leaving said point (N 42° 10' 51" W, 87.87 feet) to a point 50 feet right of and at right angles from station 36 plus 70 in Marlane Drive centerline survey; thence leaving said point (N 53° 51' 07" W, 445.00 feet) to a point 50 feet right of and at right angles from station 32 plus 25 in said Marlane Drive centerline survey; thence leaving said point (N 62° 22' 58" W, 101.12 feet) to a point 65 feet right of and at right angles from station 31 plus 25 in said Marlane Drive centerline survey; thence leaving said point (N 45° 19' 16" W, 101.12 feet) to a point 50 feet right of and at right angles from station 30 plus 25 in said Marlane Drive centerline survey; thence leaving said point (N 53° 51' 07" W, 325.00 feet) to a point 50 feet right of and at right angles from station 27 plus 00 in said Marlane Drive centerline survey; thence leaving said point (N 64° 03' 06" W, 277.28 feet) to a point 40 feet right of and at

(C)

Vol 2438 Page 678 Easement for Highway Purposes
KNOW ALL MEN BY THESE PRESENTS:

That.....

....., the Grantor ...

for and in consideration of the sum of.....paid by the
Dollars (\$.....) and for other good and valuable considerations to.....

State of Ohio, the Grantee, the receipt whereof is hereby acknowledged, do..... hereby grant, bargain,
sell, convey and release to the said Grantee, his successors and assigns forever, a perpetual easement and
right of way for public highway and road purposes, in, upon and over the lands hereinafter described,

situated in.....County, Ohio.....Township,

Section....., Town....., Range.....
and bounded and described as follows:

PARCEL No.....

Being a parcel of land lying on the.....side of the centerline
of a survey, made by the Department of Highways, and recorded in Book....., Page.....,
of the records of.....County and being located within the following
described points in the boundary thereof:

right angles from station 24 plus 00 in said Marlaine Drive centerline survey; thence
leaving said point (N 77° 46' 16" W, 700.00 feet) to a point 40 feet right of and at
right angles from station 17 plus 00 in said Marlaine Drive centerline survey; thence
leaving said point (N 79° 15' 32" W, 385.15 feet) to a point 50 feet right of and at
right angles from station 13 plus 15 in said Marlaine Drive centerline survey; thence
leaving said point (N 75° 56' 26" W, 90.05 feet) to a point 47.12 feet right of and
at right angles from station 12 plus 25 in Marlaine Drive centerline survey; thence
leaving said point (N 70° 33' 38" W, 136.08 feet) to a point 30 feet right of and
at right angles from station 10 plus 90 in said Marlaine Drive centerline survey;
thence leaving said point (N 77° 46' 16" W, 86.43 feet) to a point in the grantor's
westerly property line, 30 feet right of and at right angles from station 10 plus
03.57 in said Marlaine Drive centerline survey; thence leaving said point (N 20° 38'
09" E, 30.33 feet) and with the grantor's said westerly property line to the place
of beginning containing 4.102 acres, more or less.

Being part of the same premises conveyed to the herein grantor by deed dated
November 16, 1942 and recorded in Deed Book 1209 page 52 of records of Franklin County,
Ohio, containing 53.5 acres, more or less.

~~It is understood that the strip of land above described contains
acres, more or less, exclusive of the present road which occupies
acres, more or less.~~

TO HAVE AND TO HOLD said assent and right of way unto the Grantee, its successors and assigns forever. Vol. 2438 PAGE 679

And the said Grantor, for HIMSELF and his heirs, executors, and administrators, hereby covenant with the said Grantee, its successors and assigns that he is the true and lawful owner of said premises, and has lawfully selected of the same in fee simple, and he good right and full power, to grant, bargain, sell, convey and release the same in manner aforesaid, and that the same are free and clear from all liens and encumbrances whatsoever, and that he will warrant and defend the same against all claims of all persons whomsoever.

And for the consideration aforesaid John F. Haag, Jr. and
Florence Haag, his wife, who

hereby relinquish to said Grantee, its successors and assigns, all right and expectancy of Dower in the above described premises.

IN WITNESS WHEREOF John F. Haag, Jr. and
Florence Haag, his wife

have hereunto set their hands, the 2nd day of November, in the year of our Lord one thousand nine hundred and sixty-two.

Signed and sealed in presence of:
Robert L. DeWester William F. Hays
Marion Anderson John F. Haag, Jr.
Florence Haag

STATE OF OHIO. Franklin COUNTY } ss.:

Before me, a Notary Public in and for said County and State, personally appeared the above named John F. Haag, Jr. and Florence Haag who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed.



IN TESTIMONY WHEREOF I have hereunto set my hand and official seal at Columbus, Ohio this 2nd day of November, A. D. 1962
Robert L. DeWester