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GC PLANNING COMMISSION

**DESCRIPTION OF  
35.25 ACRES +/- FOR ZONING PURPOSES**

Situated in the State of Ohio, County of Franklin, City of Grove City, being **within Virginia** Military Survey No. 1383, and being all of that 36 acre tract of land (having a Franklin County Parcel Number 040-009246) described in deed to Homewood Corporation, of record in Instrument 200908040113908, all of which being of record in the Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

**BEGINNING FOR REFERENCE**, at the southwest corner of said 36 acres and the southeast corner of a tract of land described in deed to Glenn A and Diane Hickman (Parcel 040-009248) , also being in the centerline of Orders Road;

Thence North 02°00'21" East, a distance of 1710.44 feet, with the west line of said 36 acres and the east lines of said Hickman tract, and that tract of land described in deed to Ronald Belford (Parcel 160-002956), to a common corner of said 36 acres and said Belford tract of land;

Thence South 87° 27'25" East, a distance of 894.78 feet, with the north line of said 36 acres and south line of a tract of land described in deed to Loretta Murib (Parcel 160-000174) and that tract of land described in deed to Homewood Corp. (Parcel 040-009244), to the northeast corner of said 36 acre tract;

Thence South 02°04'39" West, a distance of 1707.15 feet, with the east line of said 36 acre tract and the west line of Southern Grove Estates, to the southeast corner of said 36 acres, also being in the centerline of Orders Road;

Thence North 87°40'01" West, a distance of 892.61 feet, with the south line of said 36 acres and the centerline of Orders Road, to the **POINT OF TRUE BEGINNING**, and containing 35.25 acres, more or less.

The above description is intended to be used for zoning purposes and not to be used for the transfer of real property.

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

CR-02-04

# HOLTON PARK

35.25± ACRES, BETWEEN ORDERS AND HARRISBURG PIKE

GROVE CITY, OHIO

PUD with R-2 Standards

Homewood Corporation  
750 Northlawn Drive  
Columbus, OH 43214

## PRELIMINARY DEVELOPMENT PLAN TEXT

(FOR 35.25± ACRES OF SINGLE FAMILY LOTS AND OPEN SPACE)

November 25, 2003



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**I. INTRODUCTION:**

The Homewood Corporation is submitting this Development Plan application for 35.25 acres to include single-family lots and open space. The site is located along the east side of Harrisburg Pike, south of the Holton Run Subdivision. A portion of the site abuts properties within Jackson Township (the Southern Grove Subdivision.).

**II. DEVELOPMENT STANDARDS (RESIDENTIAL 35.25 ± ACRES):**

100% of the single family lots shall meet the Residential District Minimum Requirements for R-2 lots (80' foot minimums). The average lots size in the community is 11,500 square feet.

The applicant /owner of the property will commit to the development of the property in accordance with the Development Plan and Text. The development plan will become a part of the resolution and will be subject to variation in accordance with final engineering.

Single Family Architectural Standards:

1. Roofs: No flat roofs shall be permitted on any residential structure or accessory building.
2. Building Heights: Building height shall not exceed 35'.
3. Fences: Fences or walls shall be constructed of wood, stone or brick only, and in no event shall chain link or other metal or wire fencing be permitted; EXCEPTION: There is an express exception to the prohibition of metal fences. In the case of an approved in ground pool, five foot aluminum or wrought iron/ornamental fences typical of those installed around such pools, shall be reviewed and may be approved by the Design Review Board.
4. Landscaping: A typical landscape plan for the homes is included in the Development Plan Drawings which shall be submitted to, reviewed, and approved, by the City's Urban Forester as part of the Development Plan approval.
5. Lighting: Interior street lighting will be on alternating sides of the street. All lighting shall be decorative cut-off, down or up-cast as required by Grove City ordinances. See Plan for details.
6. Mail Boxes: Each single-family home will have the same style pole mounted mailbox, installed by builder as depicted on the Plan.
7. Square Footages: Homes will have minimum square footages of 1,800 square feet for ranches and 2,000 square feet for two story homes.

8. Materials: Minimum exterior materials shall include but not be limited to:

- a. Shingles: GAF 25 year three tab
- b. Siding: Reynolds Easy Street
- c. Brick: Numerous types
- d. Gutters: White Alcoa
- e. Trim: LP Smart Trim
- f. Entry Door: Therma Tru Builder Series
- g. Windows: White Silverline
- h. Garage Doors: Clopay 16' x 7' non-insulated , raised panel
- i. Soffit and Fascia: LP Smart Trim
- j. Flashing: 16 Gauge Apron Flashing



9. Diversity. In order to prevent excessive duplication of any particular home style, no home having the same house plan and same elevation may be built with less than two lots between them or directly across the street from the other. No home having the same house plan, even with a different elevation, may be built side-by-side or directly across the street. Home siding colors cannot be repeated side-by-side.

Off site Improvements:

A project entry sign shall be located along Orders Road. The proposed sign(s) shall be located on either side of the entry drive and shall not obstruct views to vehicular traffic or inhibit access to the property. All other signage shall comply with the City of Grove City ordinances. Construction of these off site improvements shall be completed in Phase I as indicated on the Development Plan.

Landscaping:

1. All landscaping shall comply with the regulations of the City of Grove City Development Procedures.
2. Street Trees shall be provided in accordance with Chapter 1136 of the City of Grove City Development Procedures.
3. No stockade type fencing is permitted.
4. A 30' landscape buffer shall be provided along Orders Road as indicated on the Development Plan.

Roads and Circulation:

1. One point of ingress/egress shall be provided from Orders Road.

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2. Holton Park shall have one active connection to Holton Run to the north.
3. Pursuant to past requests made by Jackson Township Fire Department, a stub street shall be required to connect with Southern Grove as indicated on the Development Plan. The stub street shall be required to have bollards installed at its terminus. These bollards may be removed by the Fire Department in case of an emergency.
4. Additional points of ingress and egress are identified on the Development Plan.

### III. Open Space:

1. The site's 6.69 ± acres of open space acreage shall be maintained by the Homeowners Association.
2. The open space is located along both sides of the Holton Run drainage swale. These open space areas will contain newly created detention ponds that will serve as storm water management for the site. Walking paths will connect from the neighborhood and be located around the pond perimeters where feasible.
3. All attempts will be made to preserve existing trees and vegetation along the shared property edge where grading and drainage permit.

### IV. GENERAL PROVISIONS:

1. The applicant/developer shall conform to the City of Grove City requirements regarding storm water management and sanitary sewers.
2. Homeowner Association responsibilities: A homeowners association will be formed for the entire 35.25 ± acre site prior to ±90% of the lot closings. The Association's responsibilities will include the maintenance of all common areas not owned by the City including, but not limited to, entrance features, landscaping and the maintenance and care of reserves as set forth on the Development Plan.
3. The following accessory structures are prohibited:
  - a. Above ground pools
  - b. Antennas
  - c. Satellite dishes over 24" in diameter
  - d. Outdoor storage units/utility sheds

### PENALTY

Violation of any of the above shall be deemed a violation per the provisions of Section 1131.99 of the Codified Ordinances.

Applicant, or itself, its successors and assigns, including successors owners of the Property, do hereby agree to abide by the above restrictions and conditions contained in this Test.

  
\_\_\_\_\_  
John C. Hanks  
General Counsel/Secretary  
Homewood Corporation

11/25/03  
Date

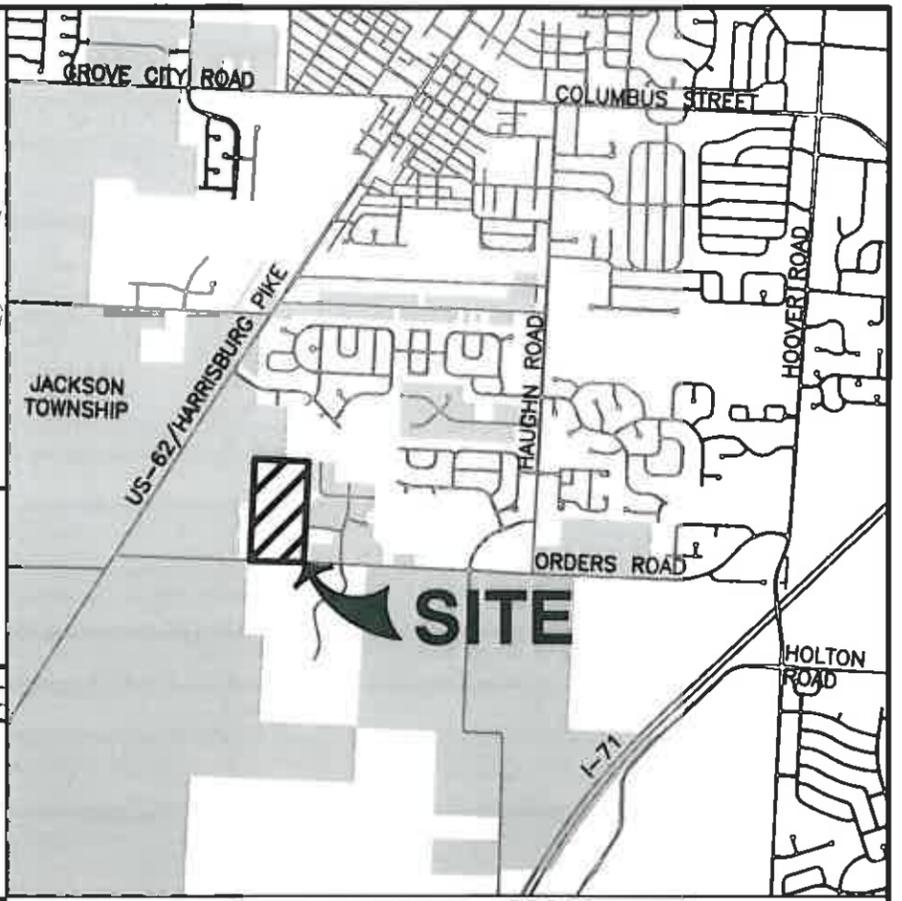
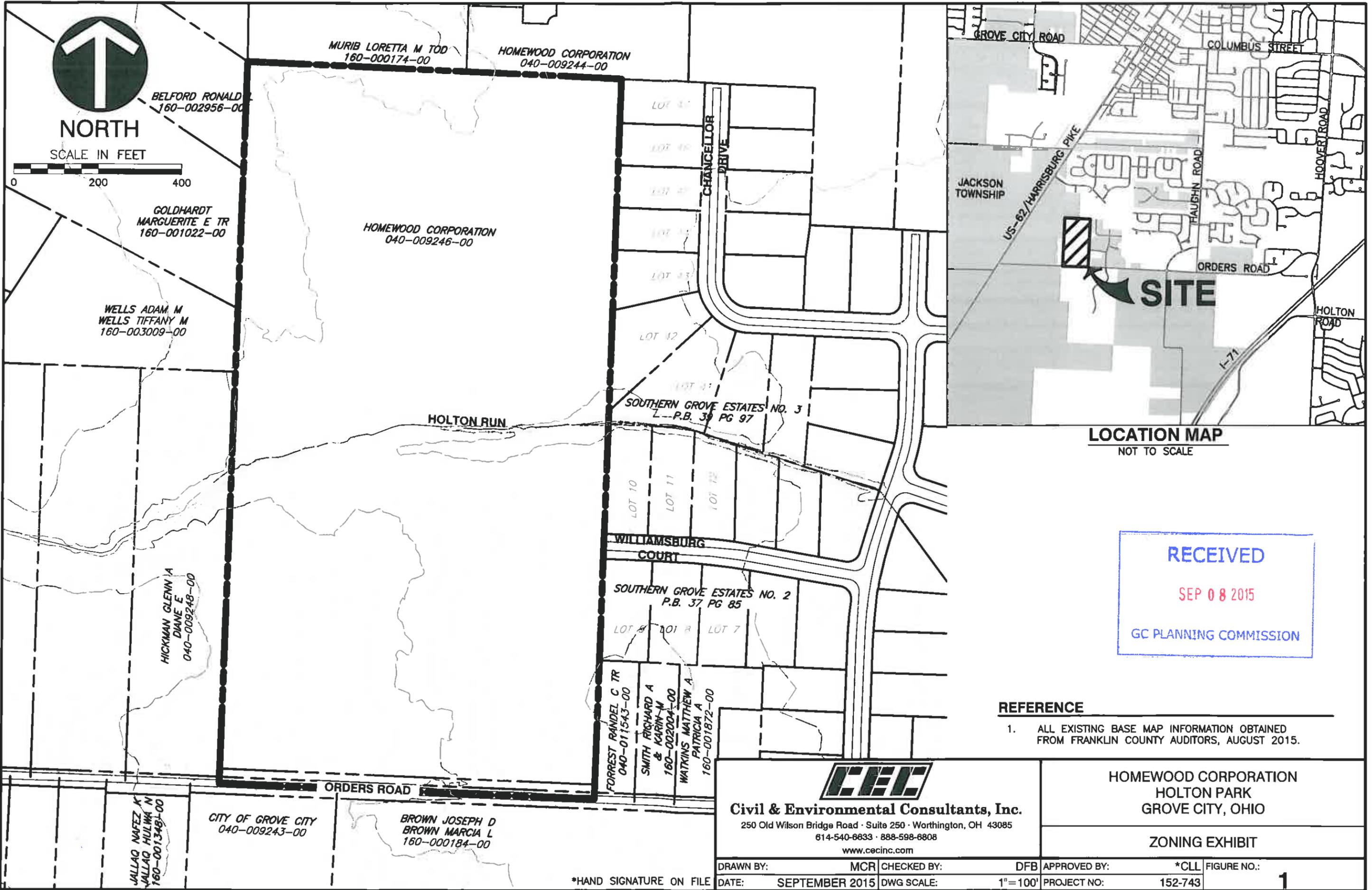


Approved:

\_\_\_\_\_  
By:  
Its:

\_\_\_\_\_  
Date

P:\2015\152-743\1-CADD\DWG\CVD1 Development Plan\152743-CVD1-Zoning Exhibit.dwg[LAYOUT] LS:(9/4/2015 10:57 AM) LP: 9/4/2015 10:57 AM



**LOCATION MAP**  
NOT TO SCALE

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- REFERENCE**
1. ALL EXISTING BASE MAP INFORMATION OBTAINED FROM FRANKLIN COUNTY AUDITORS, AUGUST 2015.

**CEC**  
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www.cecinc.com

**HOMEWOOD CORPORATION**  
**HOLTON PARK**  
**GROVE CITY, OHIO**  
**ZONING EXHIBIT**

DRAWN BY:	MCR	CHECKED BY:	DFB	APPROVED BY:	*CLL	FIGURE NO.:	<b>1</b>
DATE:	SEPTEMBER 2015	DWG SCALE:	1" = 100'	PROJECT NO.:	152-743		

\*HAND SIGNATURE ON FILE

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