



**ASSOCIATES**

Develop Construct Manage

9-25-2015

Victoria Proehl  
Community Development Manager  
City of Grove City  
4035 Broadway  
Grove City Oh 43123



RE: Lamplighter Senior Village II. : Review Letter Response  
#201509310058

Ms. Proehl

Please see our below responses and attached supporting documentation. Please let me know if need any additional information or have any questions, or concerns.

Sincerely,

A handwritten signature in blue ink that reads 'Todd D. Valentine'.

Todd D. Valentine  
Director of Development  
LW Associates Inc.  
740-983-4566 ext. 12

**Development Department (Victoria Proehl, 614-277-3014)**

1. Per Section 1101.09(b), the proposed development will require 2.748 acres of land reserved for park or open space, based on the number of proposed dwelling units. The proposed open space areas should be delineated on plans. Please note that storm water retention areas cannot constitute more than 15% of proposed open space. Community areas such as the community building, shelter house and dog park can count towards the open space calculation. If this acreage cannot be met, a monetary payment may be required according to 1101.09(b)(5).

**Response:** The development has set aside 2.08 acres. Remaining required Acreage of .668 acres will be covered by the monetary payment as indicated above. See provided exhibit.

2. The distance between the private drive and the east property boundary should be noted. A 10' building setback is noted on plans but not parking setback is given. Because of the proximity of single-family homes to the east, staff recommends installing the drive with as much distance to property line as feasible.

**Response:** See Plan Sheet C1.01 of the attached submittal for the parking setback along the eastern property line.

3. A summary of proposed parking should be included on sheet C1.01. The summary should state the number of open parking spaces, carport spaces, and garage spaces.

**Response:** Summary has been corrected on Sheet C1.01

4. The dumpster should be moved to the south to the terminus of the drive between building 2 and the community building. This new location will allow room for trash truck circulation without infringing on the green space as currently proposed.

**Response:** The owner would prefer keeping the dumpster at an equal distance between the two multi story buildings. The turn around has been shortened and bollards specified to keep the dumpster vehicles from encroaching on the sidewalk. See sheet C1.01 for the revised layout.

5. The sidewalk adjacent to the drive connecting to the original Lamplighter Senior Village should be separated from the roadway by at least two feet to create a safer pedestrian environment.

**Response:** The relationship between the sidewalk and the drive as outlined above is consistent with the sidewalk and drive locations throughout Phase I and the proposed Phase II. The owner would request to maintain this relationship at this location.

6. Plans should show how the proposed connection to the existing Lamplighter Senior Village will affect the existing guardrail and sidewalk around the pond on the existing development. Plans should show how these features will be amended after the installation of the drive connection.

**Response:** Plan has been revised. Please see sheet C1.01

7. Separate elevations should be submitted for the proposed carports, matching the design and specifications of Phase I.

**Response:** Elevations have been submitted with this letter for review for the car ports.

**Note:** Revised elevations have been provided for the 2 story buildings. The overall height has changed to 34 feet 2 inches due to modifications in the truss construction and wall heights of the first and second floors.

8. A photometric plan should be submitted showing lighting levels on the site. Plans currently do not show any lighting fixtures south of the community building. Fixtures should be installed throughout the development to ensure a safe environment for residents.

**Response:** Photometric Plan has been generated and included in this submission for review.

9. Show all mechanical equipment to be located on the exterior of the buildings and screened per Code.

**Response:** Mechanical equipment has been added to the plans. See Landscaping Sheets L1 and L2

10. The proposed woven wire fence should be removed from plans. Any fencing utilized on the site should be decorative.

**Response:** The fence notation has been revised to "Existing Woven Wire Fence". This fence exists on the property line and is to remain. See sheet C1.01

11. The City Project Number should be added to the title block.

**Response:** Project number has been added to the plans.

12. A separate 8.5x11" materials sheet should be included, listing manufacturer, color, and material for all exterior finishes.

**Response:** Material List has been included with this submission.

13. A material sample board should be submitted with samples of all proposed exterior finishes.

**Response:** Material board will be available prior to the meeting on October 6<sup>th</sup> 2015.

14. The proposed bike path along Lamplighter Drive should not dead end into the road bulb as proposed. Instead, it should bend and create a smooth transition to the proposed sidewalk around the bulb.

**Response:** Plan has been revised as requested. See sheet C1.01

15. The proposed Lamplighter Drive extension will require a plat to create the unique parcel for the development and right-of-way for dedication. As currently shown on plans, a portion of the proposed Lamplighter Drive bulb would lay on private property. The plat will need to extend the right-of-way to encompass the entire roadway and corresponding improvements (utilities, sidewalks, etc).

**Response:** Plans have been corrected as requested. Plat submittal for the Lamplighter Dr. Extension will be submitted as directed at a later date.

***Building Division (Laura Scott, 614-277-3086)***

16. Show all existing buildings on adjacent property.

**Response:** See attached Exhibit of adjacent buildings.

17. Show all fire hydrants.

**Response:** Fire hydrants are located on Sheet C1.02

18. Show size of all buildings in square feet.

**Response:** Square footages have been added to sheet C1.01.

19. Plans state that future road is to be under separate contract. All roads should be constructed at the same time.

**Response:** This note has been removed. Street will be constructed when the Development is constructed.

***Urban Forestry (Jodee Lowe, 614-277-1103)***

20. No comments.

***Service Department (Cindi Fitzpatrick, 614-277-1110)***

21. Distinguish between private sanitary and public sanitary mains. Plans reference sheets C4.01-C4.03 for additional sanitary information but these sheets were not provided.

**Response:** All utilities have been labeled public vs private. See Sheet C1.02

22. Public improvement plans should be provided. Public improvements should be reviewed and approved prior to private development improvements.

**Response:** Preliminary Public Improvements plans have been included. It is understood that no work will proceed until all approvals are obtained.

**Engineering, Koch Engineering Group (David Koch, P.E., 614-558-2408)**

23. As discussed with the developer prior to development plan submittal, the dead end of the 12" water main will be required to be looped either to White Road or north to Stringtown Road. This is not reflected on the plans. Note on C1.02 says to see sheet C3.01 for additional info but sheet C3.01 was not provided.

**Response:** Please see Sheet C2.01 and C2.02 which has been provided with this submission for the proposed loop. Above Sheet References have been removed.

24. Plans should specify City of Grove City Standard Drawings in priority over City of Columbus or ODOT Standard Drawings.

**Response:** Priority will be given to Grove City Standard Drawings throughout the plans.

25. A 20' easement will be required along Lamplighter Drive for the sanitary sewer extension.

**Response:** Easement has been added to plans. See Sheet C1.02

26. Drive Approaches from Lamplighter Drive should be concrete per City of Grove City Standard Drawing C-GC-41B.

**Response:** Approach has been revised to reflect concrete. C1.01

27. Plans should show nearest fire hydrants on Lamplighter Drive and address fire flow requirements for compliance with OFC, IFC and ISO standards.

**Response:** Nearest Fire Hydrant is shown on Sheet C2.01.  
Fire Flows are now shown on C2.01

28. Recommend that all landscape trees be located no closer than 10' from water and sewer mains and sufficiently away from drive entrances so not to cause sight distance impairment.

**Response:** Landscape Plans have been adjusted as requested.

29. Traffic Signage should be provided and installed per OMUTCD standards. Prismatic sheeting, Type III or better recommended. Sign Posts and Sign Backing to be painted black.

**Response:** See detail #1 on C1.01

30. Retention Pond may need guardrail between pond and White Road.

**Response:** The Path around the pond is 30' from the edge of pavement of White road and the Franklin County ditch profile is between the Street and the path. Public pedestrian pathways exist throughout Grove City closer than this relationship. The Development feels that a guardrail is not necessary

31. Retention Pond shows concrete walk around pond. City of Grove City standards require asphalt.

**Response:** Plans have been adjusted to reflect Asphalt.

32. Need to submit complete Pond Details to review for City of Grove City compliance with retention pond standards. Recommend also reviewing new storm water manual prior to submitting plans. Submerged pond outlet will be required.

**Response:** Pond details have been revised to reflect 2015 Pond Manual.

33. Storm Sewer Outlet pipe to White Road. This will require approval by Franklin County Engineer.

**Response:** Agreed. Plans will be submitted to Franklin County for Review.

34. Recommend that the storm plan include downspout connections for all buildings.

**Response:** Agreed. Downspouts will be connected to Storm system consistent with Phase I. See Sheet C1.02

35. Need to Submit Stormwater Report to verify compliance with City of Grove City requirements.

**Response:** Storm Water Report will be submitted with final engineering documents.

36. Plans should show flood routing for storm water and indicate the event at which this occurs.

**Response:** Flood Routing is shown on Sheet C1.03.

37. All drainage from Lamplighter Drive extension will be required to be treated by on-site detention pond for storage and post construction water quality.

**Response:** Disagree. This Lamplighter Drive Extension should be designed in accordance with the previous extension design and provided outlet.

***Grove City Division of Police (Jeff Pearson, 614-277-1709)***

38. No comments received.

***Jackson Township Fire Department (Tammy Green, 614-945-5043)***

39. All fire hydrants shall be installed on fire mains no less than 8" in diameter.

**Response:** Agreed

40. Provide drawings showing the maneuverability of fire apparatus throughout the development. Equipment details are attached.

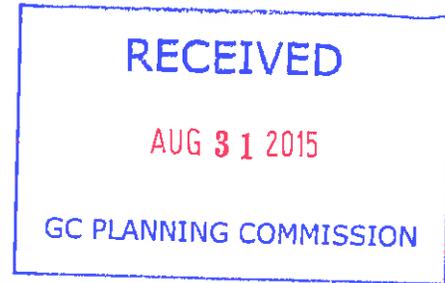
**Response:** Please see attached Auto Turn Drawing for review.

Final Development Plan

Lamplighter Senior Village II

Current Zoning: PUD-R

Proposed Zoning: PUD-R



**Description**

The proposed plan consists of 60 units of affordable rental housing for residents at or below 60% AMGI, who are 55 years and older. This is a second phase of the Lamplighter Senior Village which opened in late 2013 / early 2014 and currently is 100% occupied. The proposal is placed on 7.8 acres and will have access on Lamplighter Drive and fronts on White Road. Lamplighter Drive will be extended as part of this proposal.

The proposed development consists of thirty-two 905 square foot units located in two two-story buildings with adjacent carports; one space per unit. The remaining units will consist of 28 single story ranch units of 905 sq. feet with attached garages located in four buildings. A community building, Shelter house, Community Garden, and Dog Park will also be incorporated into the development for the residents to use and enjoy.

Storm Water run off will be controlled by a retention pond located at the south end of the development along white road. Water and Sewer connections will be located at the Lamplighter drive Extension. It is anticipated that the water and sewer systems on the site will remain private.

GROVE CITY, OHIO  
**LAMPLIGHTER SENIOR VILLAGE**  
**FINAL DEVELOPMENT PLAN**  
 SEPTEMBER 25, 2015

**SHEET INDEX**

CIVIL  
 C1.01 SITE DIMENSION PLAN  
 C1.02 SITE UTILITY PLAN  
 C1.03 SITE GRADING PLAN  
 C1.04 STORM SEWER PROFILES & DETAILS  
 C1.05 GENERAL NOTES & DETAILS  
 C1.06 STORMWATER POLLUTION PREVENTION NOTES & DETAILS

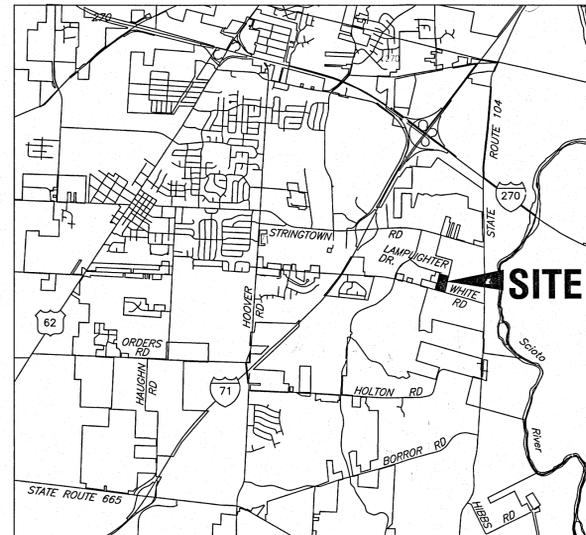
C2.01 WATER SERVICE PLAN  
 C2.02 WATER MAIN LOOP (WHITE ROAD)

C3.01 SANITARY SEWER CC TITLE SHEET  
 C3.02 SANITARY SEWER CC NOTES  
 C3.03 SANITARY SEWER PLAN AND PROFILES

LANDSCAPE  
 L1 SITE LANDSCAPE PLAN  
 L2 BUILDING LANDSCAPE PLANS

SURVEY  
 S1.01 SITE SURVEY

EXHIBITS  
 MADISON TOWNSHIP FIRE DEPARTMENT EXHIBIT  
 PRELIMINARY GREENSPACE/COMMUNITY SPACE EXHIBIT  
 ADJACENT PROPERTY EXHIBIT



**LOCATION MAP**  
 NOT TO SCALE

**BENCHMARKS**

FRANKLIN COUNTY ENGINEERS MONUMENT FCGS 0025, ALUMINUM CAP IN PVC ENCASED CONCRETE MONUMENT SET OVER A STONE FOUND AT AN ANGLE POINT IN THE CENTERLINE OF WHITE ROAD, 0.40 MILES WEST OF JACKSON PIKE, ON A P/L NORTH.  
 ELEVATION 734.917 NAVD 88

BM1:  
 CHISEL 'X' ON THE NORTH BOLT OF A FIRE HYDRANT LOCATED 21 FEET SOUTH OF THE CENTERLINE OF LAMPLIGHTER DRIVE AND 13 FEET NORTHWEST OF THE NORTHEAST CORNER OF THE LAMPLIGHTER HOLDING CO LLC PARCEL AT 1239 LAMPLIGHTER DRIVE.  
 ELEVATION 745.49

BM2:  
 CHISEL 'X' ON THE NORTH BOLT OF A FIRE HYDRANT LOCATED 21 FEET SOUTH OF THE CENTERLINE OF LAMPLIGHTER DRIVE AND 40 FEET WEST OF THE NORTHWEST CORNER OF THE LAMPLIGHTER HOLDING CO LLC PARCEL AT 1239 LAMPLIGHTER DRIVE.  
 ELEVATION 746.98

**APPROVALS**

CITY OF GROVE CITY SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

\_\_\_\_\_  
 CITY ADMINISTRATOR THE CITY OF GROVE CITY, OHIO DATE

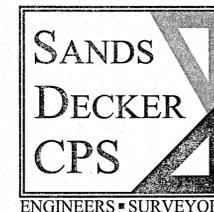
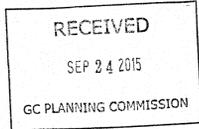
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 SERVICE DIRECTOR THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
 REVIEW FOR THE THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
 JACKSON TOWNSHIP FIRE DEPARTMENT DATE

**FRANKLIN COUNTY PERMIT**

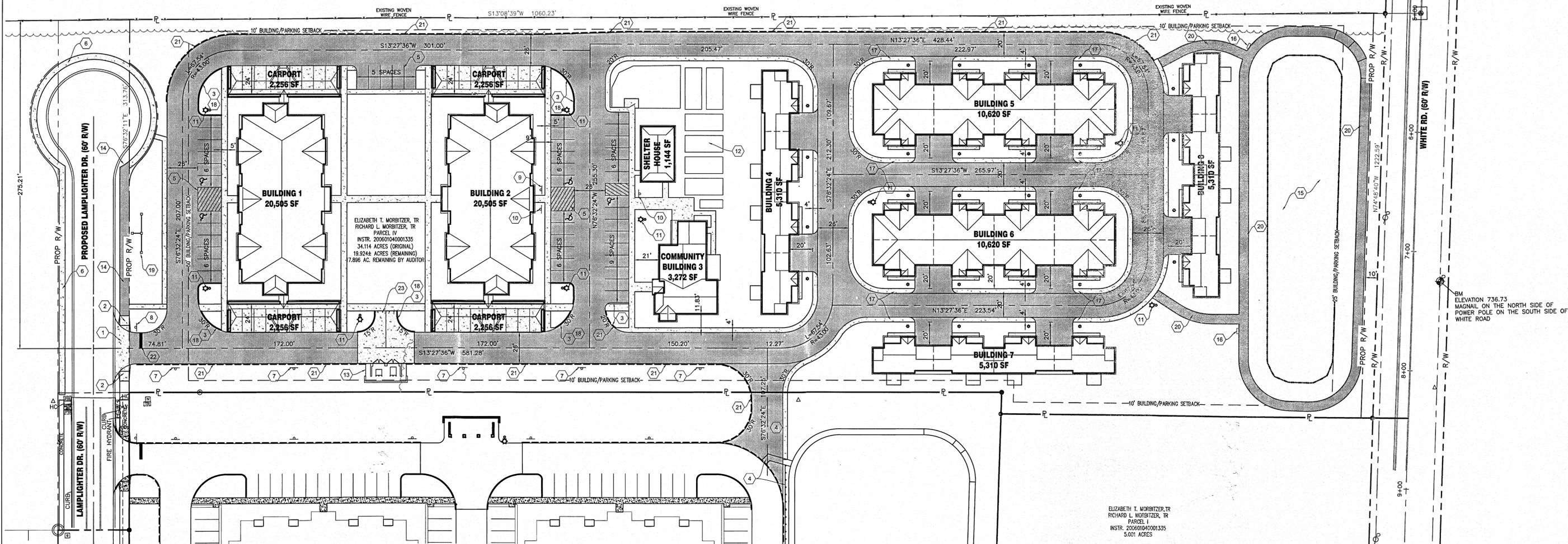
THE CONTRACTOR SHALL SECURE A WRITTEN PERMIT FROM THE FRANKLIN COUNTY ENGINEER'S OFFICE, 970 DUBLIN RD., A MINIMUM OF TWO WORKING DAYS PRIOR TO BEGINNING WORK WITHIN FRANKLIN COUNTY R/W. THE CONTRACTOR MAY BE REQUIRED TO POST A BOND WITH THE FRANKLIN COUNTY ENGINEER PRIOR TO ISSUANCE OF THE PERMIT TO INSURE PROPER RESTORATION OF THE PAVEMENT AND R/W. THE CONTRACTOR SHALL PROVIDE THE FRANKLIN COUNTY ENGINEER'S OFFICE A 24-HOUR TELEPHONE NUMBER TO BE USED IN CASE OF AN EMERGENCY.



11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140  
 1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600  
 507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

GROVE CITY CONTROL #201509310058	
<b>LAMPLIGHTER SENIOR VILLAGE II          FINAL DEVELOPMENT PLAN</b> GROVE CITY, OHIO	
OWNER: <b>LAMPLIGHTER II SENIOR HOUSING LLC</b> 184 WEST MAIN STREET ASHVILLE, OHIO 43103 740-983-4566	
SCALE: -- AS NOTED	
DATE: SEPTEMBER 25, 2015	SHEET: TITLE

GAIL L. COSTA  
 OFFICIAL RECORD 14914 113  
 INSTR. 20060104001335  
 5.83 ACRES



**SITE KEYNOTES**

1. DRIVE APPROACH. SEE GROVE CITY DRAWING C-GC-41B.
2. CURB RAMP SEE GROVE CITY DRAWING C-GC-43C.
3. STRAIGHT 18" CURB.
4. DRIVE CONNECTION. CONTRACTOR TO RELOCATE/PREPLACE TREATED WOOD TIMBER GUARD RAIL AND SIDEWALK.
5. PAVEMENT MARKINGS INCLUDING PARKING SPACES, TRANSVERSE LINES, DIRECTIONAL ARROWS, LANE LINES, TEXT & HANDICAPPED PARKING SYMBOLS PER ITEM 641 AND PAINT PER ITEM 642. ALL PAVEMENT MARKING COLORS WILL BE WHITE.
6. CONCRETE WALK. SEE GROVE CITY DRAWING C-GC-46.
7. NO PARKING FIRE LINE SIGN D. SEE DETAIL.
8. STOP SIGN C. SEE DETAIL.
9. ADA SIGN A. SEE DETAIL.
10. ADA SIGN B. SEE DETAIL.
11. SITE LIGHTING. SEE ARCHITECTURAL PLANS FOR DETAILS.
12. FENCED COMMUNITY GARDEN AREA.
13. DUMPSTER ENCLOSURE WITH RECYCLING STORAGE. SEE ARCHITECTURAL PLANS FOR DETAILS.
14. 8' ASPHALT BIKE PATH. SEE GROVE CITY DRAWING C-GC-80.
15. RETENTION POND. POND TO BE CONSTRUCTED PER GROVE CITY STANDARD POND GRADING SECTION EXHIBIT NO. 3.
16. SITE BENCH ACTUAL LOCATIONS MAY VARY.
17. HEAVY DUTY SIDEWALK SECTION (FLUSH WITH PAVEMENT)
18. TAPER CURB FROM FULL HEIGHT TO FLUSH WITH SIDEWALK.
19. FACILITY ENTRY SIGN. SEE LANDSCAPE PLANS.
20. 5' ASPHALT WALK. SEE GROVE CITY DRAWING C-GC-80.
21. ASPHALT CONTAINMENT CURB. SEE DETAIL.
22. STOP BARS PER ITEM 641 AND THERMAL PLASTIC PAVEMENT MARKING ITEM 644.
23. BOLLARDS WITH RELIANCE FOUNDRY R-7171 DECORATIVE PLASTIC COVERS.

**SITE DATA**

ASPHALT PAVEMENT/ASPHALT WALK	96,917 SF
CONCRETE PAVEMENT (INCLUDING DUMPSTER & CARPORT)	10,906 SF
CONCRETE WALK	19,048 SF
BUILDINGS	82,596 SF
TOTAL SITE AREA	349,201 SF (8.02 ACRES)
TOTAL IMPERVIOUS	187,887 SF (53.8%)
TOTAL GREEN SPACE	161,314 (46.2%)
OFF STREET PARKING	44 SPACES.
CAR PORT PARKING	32 SPACES
GARAGE PARKING	28 SPACES
DRIVEWAY PARKING	28 SPACES
TOTAL PARKING (SITE)	132 SPACES
ZONING CLASSIFICATION	PUD-R
UNITS	60~TWO BEDROOM UNITS
DENSITY	7.48 UNITS / ACRE
COMMUNITY GARDEN	53.38 SF / UNIT
WETLANDS	NO WETLANDS WITHIN 150' OF SITE
PRIME SOILS	YES -OHFA WAIVER FOR PRIME SOILS HAS BEEN GRANTED
CRITICAL HABITAT	NO CRITICAL HABITAT (PER PHASE I)
FLOOD PLAIN	ZONE X (OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN)
SITE TOPOGRAPHY	NO EXISTING SLOPES EXCEEDING 15%

**MISC. NOTES**

- ALL STANDARD PARKING SPACES AREA 10' X 20'.
- ALL DESIGNATED PARKING AREAS TO INCLUDE A PRECAST PARKING BLOCK, INCLUDING SPACES WITHIN THE CARPORTS. SEE DETAIL.
- EACH CAR PORT IS STRIPED FOR 8~10' X 20' SPACES.
- COC ITEM NUMBERS REFER TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS VERSION 2012.

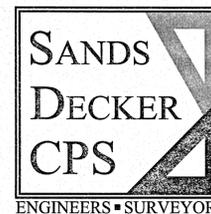
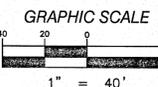


SIGN A SIGN B SIGN C SIGN D

SIGNS SHALL MEET ADAAG, AND OUMOTD STANDARDS WITH PRISMATIC SHEETING TYPE III. INSTALL WITH SQUARE STEEL GALVANIZED POLE AS PER ITEM 730.016. SIGN POSTS AND SIGN BACKING TO BE PAINTED BLACK. OWNER TO APPROVE FINAL SIGN DESIGN PRIOR TO ORDERING.

**SITE SIGNAGE**

NOT TO SCALE



11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140

1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
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507 MAIN STREET, SUITE 203  
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 740-450-1640

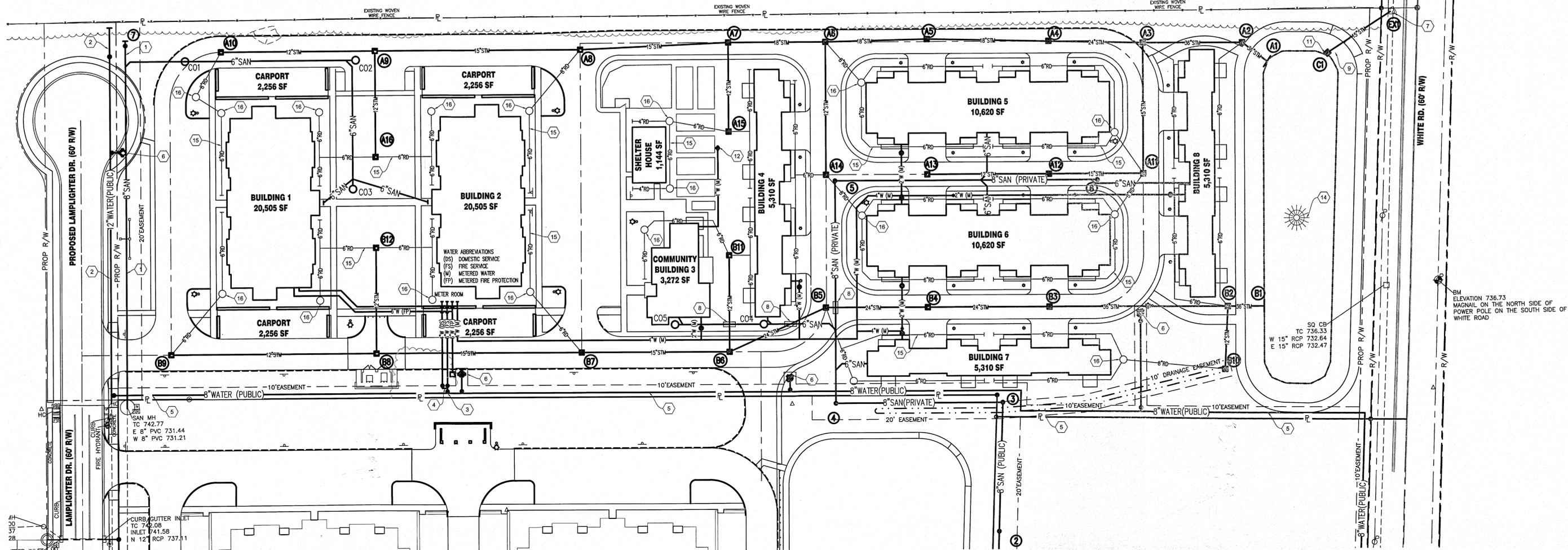
GROVE CITY CONTORL #201509310058

LAMPLIGHTER SENIOR VILLAGE II  
 FINAL DEVELOPMENT PLAN  
 GROVE CITY, OHIO

OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST MAIN STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566

SCALE: -- AS NOTED

DATE: SEPTEMBER 25, 2013 SHEET: C1.01

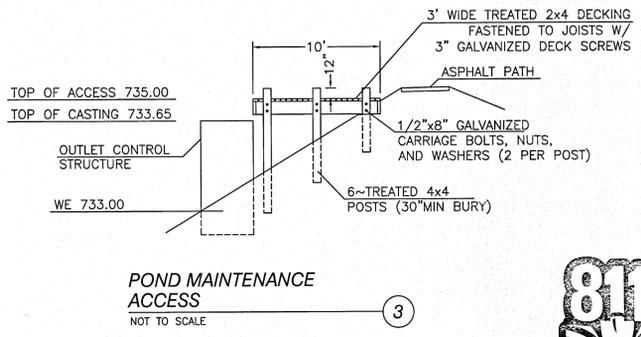
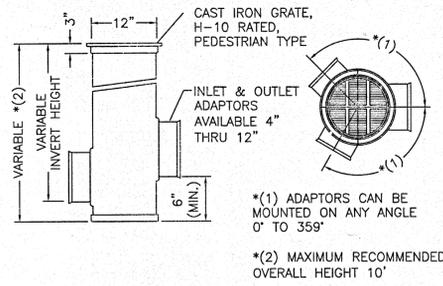
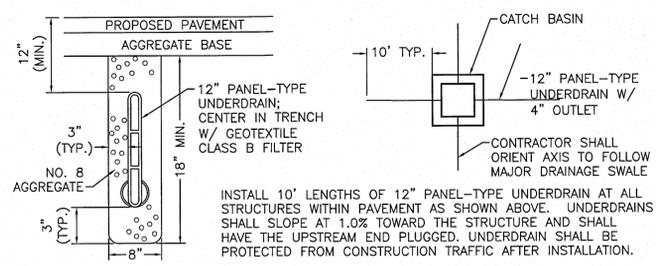
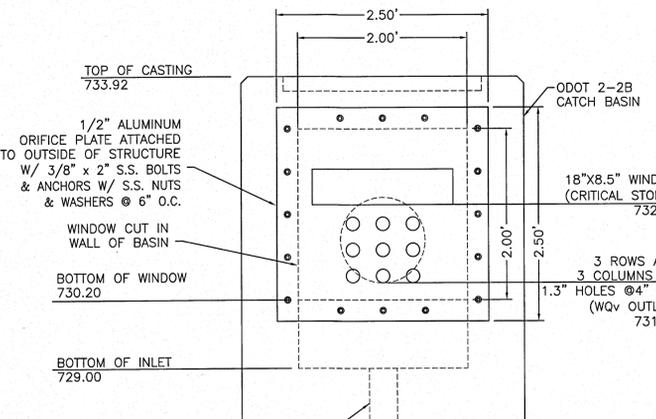


**KEYNOTES**

- 8" SANITARY SEWER EXTENSION. (UNDER SEPARATE CONTRACT, CITY OF COLUMBUS CC PLAN).
- 12" WATERLINE EXTENSION (UNDER SEPARATE CONTRACT, LAMPLIGHTER EXTENSION PLAN).
- 6" FIRE SERVICE TAP AND VALVE. (SEE CITY OF COLUMBUS WSP PLAN SHEET C3.01)
- 4" DOMESTIC WATER SERVICE TAP AND VALVE. SEE CITY OF COLUMBUS WSP PLAN SHEET C3.01)
- WATERLINE LOOP. ACTUAL SIZE AND LOCATION MAY VARY.
- FIRE HYDRANT AND WATCH VALVE. (2' OFF BACK OF CURB (TYP.)).
- CONNECT TO EXISTING 18" STORM SEWER.
- INFILTRATION/INFLOW BARRIER.
- 3'x10' TREATED LUMBER POND MAINTENANCE ACCESS. SEE DETAIL.
- PVC DRAIN BASIN. ACTUAL LOCATION MAY VARY. INLET TOP OF CASTING TO BE TRIMMED AT FINAL GRADING. CONTRACTOR TO INSTALL INLET PROTECTION DURING CONSTRUCTION.
- OUTLET CONTROL STRUCTURE.
- YARD HYDRANT. SEE SHEET C3.01 FOR ADDITIONAL INFORMATION.
- ROOF DRAINS. INSTALL AT A MINIMUM OF 1.2% ACTUAL LOCATIONS MAY VARY.
- POND AERATOR. POWER TO BE SUPPLIED FROM BUILDING 6. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ROOF DRAINS. INSTALL AT 1.2% (MIN) ACTUAL LOCATIONS MAY VARY.
- PVC INLET. ACTUAL LOCATIONS MAY VARY.

**NOTES**

- ALL CATCH BASINS INSTALLED IN PAVEMENT WILL HAVE CATCH BASIN FINGER DRAINS INSTALLED. SEE DETAIL.
- FOR ADDITIONAL WATER SERVICE INFORMATION SEE SHEET C2.01 (COC WSP PLAN)
- FOR ADDITIONAL SANITARY SEWER INFORMATION SEE SHEETS C3.01 (COC CC PLANS)
- ALL ELECTRICAL CONDUITS UNDER PAVEMENT WILL BE SLEEVED.



**PRELIMINARY PONDING DATA**

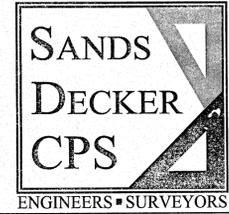
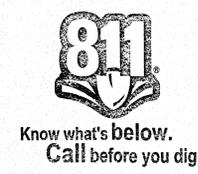
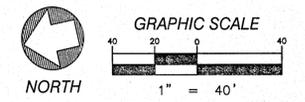
STORM FREQUENCY YEARS	PRE-DEV RELEASE CFS	ALLOWABLE RELEASE CFS	POST-DEV RELEASE CFS	POND ELEVATION FEET	POND STORAGE CF
1	5.52	5.52	1.51	732.94	21,473
2	6.61	5.52	2.09	733.05	23,683
5	11.09	5.52	4.39	733.51	32,798
10	14.28	5.52	5.42	733.83	39,553
25	17.59	17.59	6.32	734.15	46,483
50	20.64	20.64	7.00	734.43	52,805
100	22.35	22.35	7.34	734.58	56,326

ALLOWABLE RELEASE=CRITICAL STORM (10 YR) TO 1YR PRE-DEVELOPED

**WATER QUALITY DATA**

OEPA REQUIRED	ENTERPRISE GREEN COMM REQUIRED	WQV VOLUME PROVIDED	BOTTOM ELEVATION	WQV ELEVATION
10,219 CF	14,211	14,351	731.70	732.55

PER OHIO EPA: POND IS DESIGNED NOT TO RELEASE MORE THAN HALF THE VOLUME IN 1/3 OF THE TIME (8 HOURS)



11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140

1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

**GROVE CITY CONTORL #201509310058**

**LAMPLIGHTER SENIOR VILLAGE II FINAL DEVELOPMENT PLAN**  
GROVE CITY, OHIO

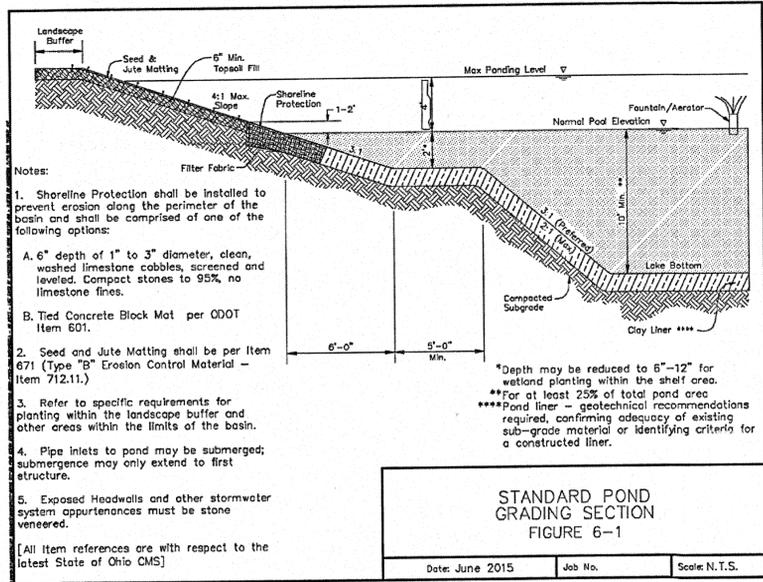
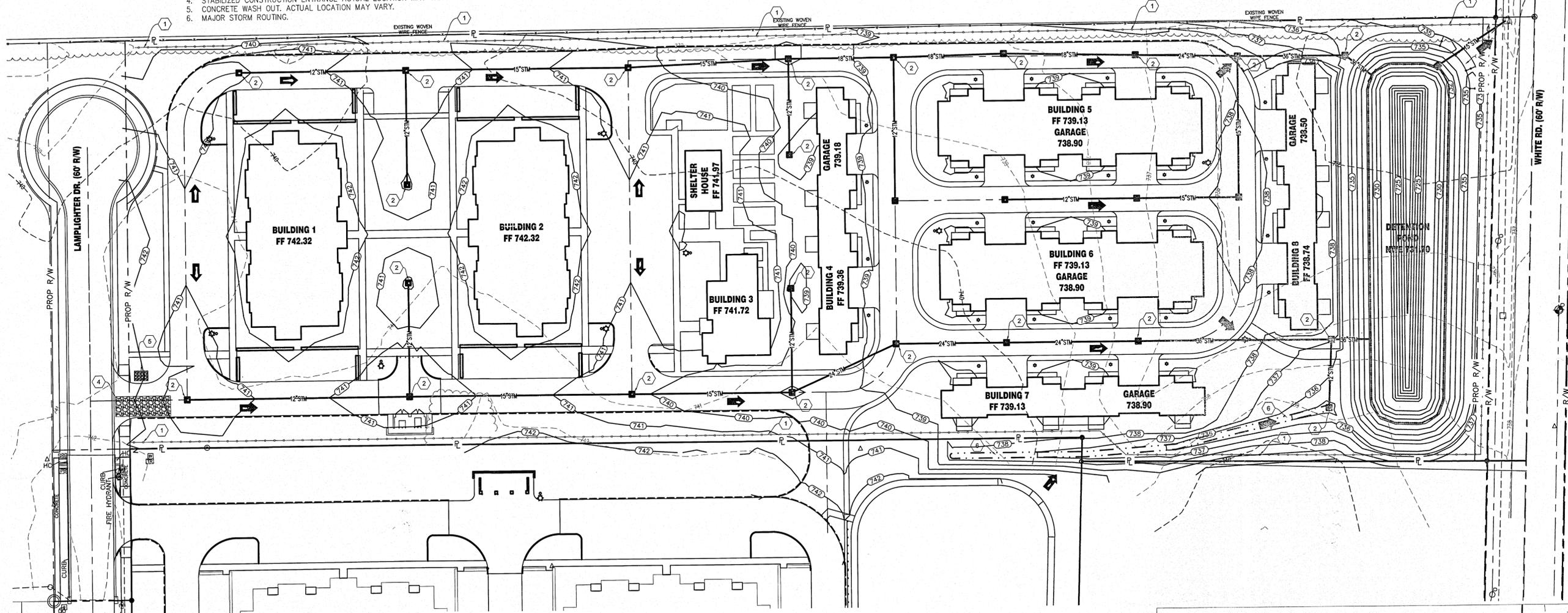
OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-383-4566

SCALE: - AS NOTED  
DATE: SEPTEMBER 25, 2013 SHEET: C1.02

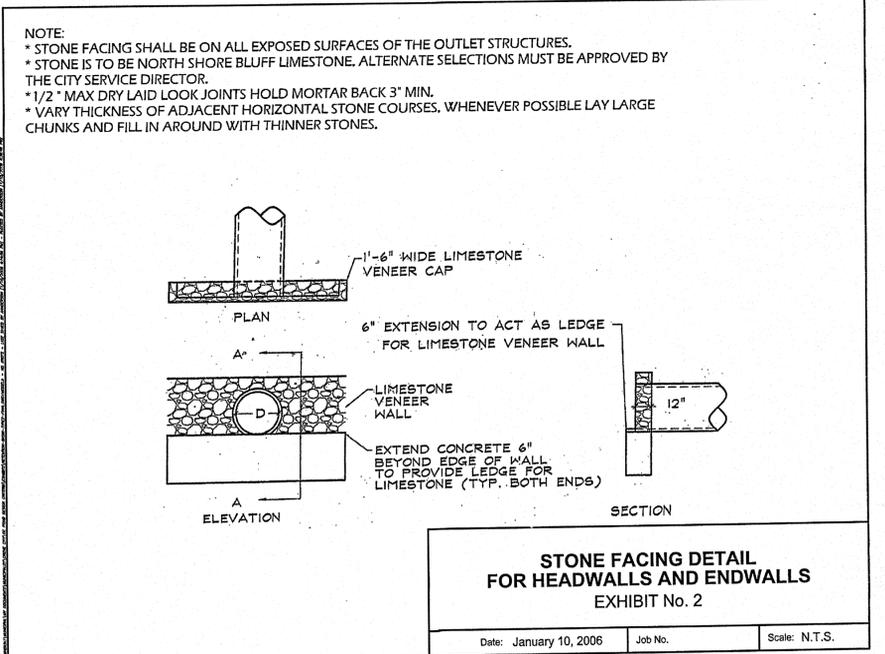
**KEYNOTES**

1. SEDIMENT FENCE. SEE DETAIL.
2. INLET PROTECTION. SEE DETAIL.
3. POND EMERGENCY SPILLWAY. SEE DETAIL.
4. STABILIZED CONSTRUCTION ENTRANCE. ACTUAL LOCATION MAY VARY.
5. CONCRETE WASH OUT. ACTUAL LOCATION MAY VARY.
6. MAJOR STORM ROUTING.

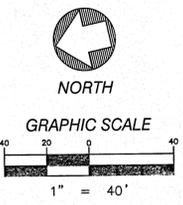
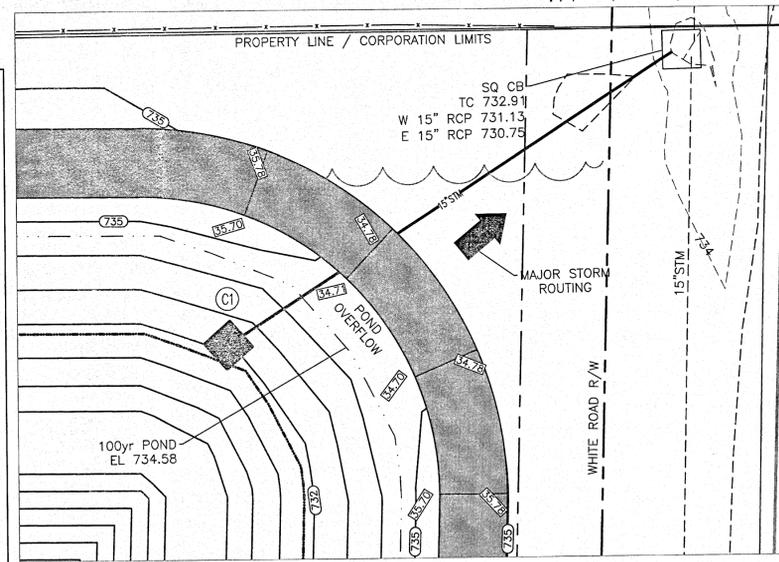
➔ MAJOR STORM ROUTING



- Notes:
1. Shoreline Protection shall be installed to prevent erosion along the perimeter of the basin and shall be comprised of one of the following options:
    - A. 6" depth of 1" to 3" diameter, clean, washed limestone cobbles, screened and leveled. Compact stones to 95% no limestone fines.
    - B. Tied Concrete Block Mat per ODOT Item 601.
  2. Seed and Jute Matting shall be per Item 671 (Type "B" Erosion Control Material - Item 712.11).
  3. Refer to specific requirements for planting within the landscape buffer and other areas within the limits of the basin.
  4. Pipe inlets to pond may be submerged; submergence may only extend to first structure.
  5. Exposed Headwalls and other stormwater system appurtenances must be stone veneered.
- [All item references are with respect to the latest State of Ohio CMS]



NOTE:  
 \* STONE FACING SHALL BE ON ALL EXPOSED SURFACES OF THE OUTLET STRUCTURES.  
 \* STONE IS TO BE NORTH SHORE BLUFF LIMESTONE. ALTERNATE SELECTIONS MUST BE APPROVED BY THE CITY SERVICE DIRECTOR.  
 \* 1/2" MAX DRY LAID LOOK JOINTS HOLD MORTAR BACK 3" MIN.  
 \* VARY THICKNESS OF ADJACENT HORIZONTAL STONE COURSES, WHENEVER POSSIBLE LAY LARGE CHUNKS AND FILL IN AROUND WITH THINNER STONES.



**SANDS DECKER CPS**  
 ENGINEERS • SURVEYORS

11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140

1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

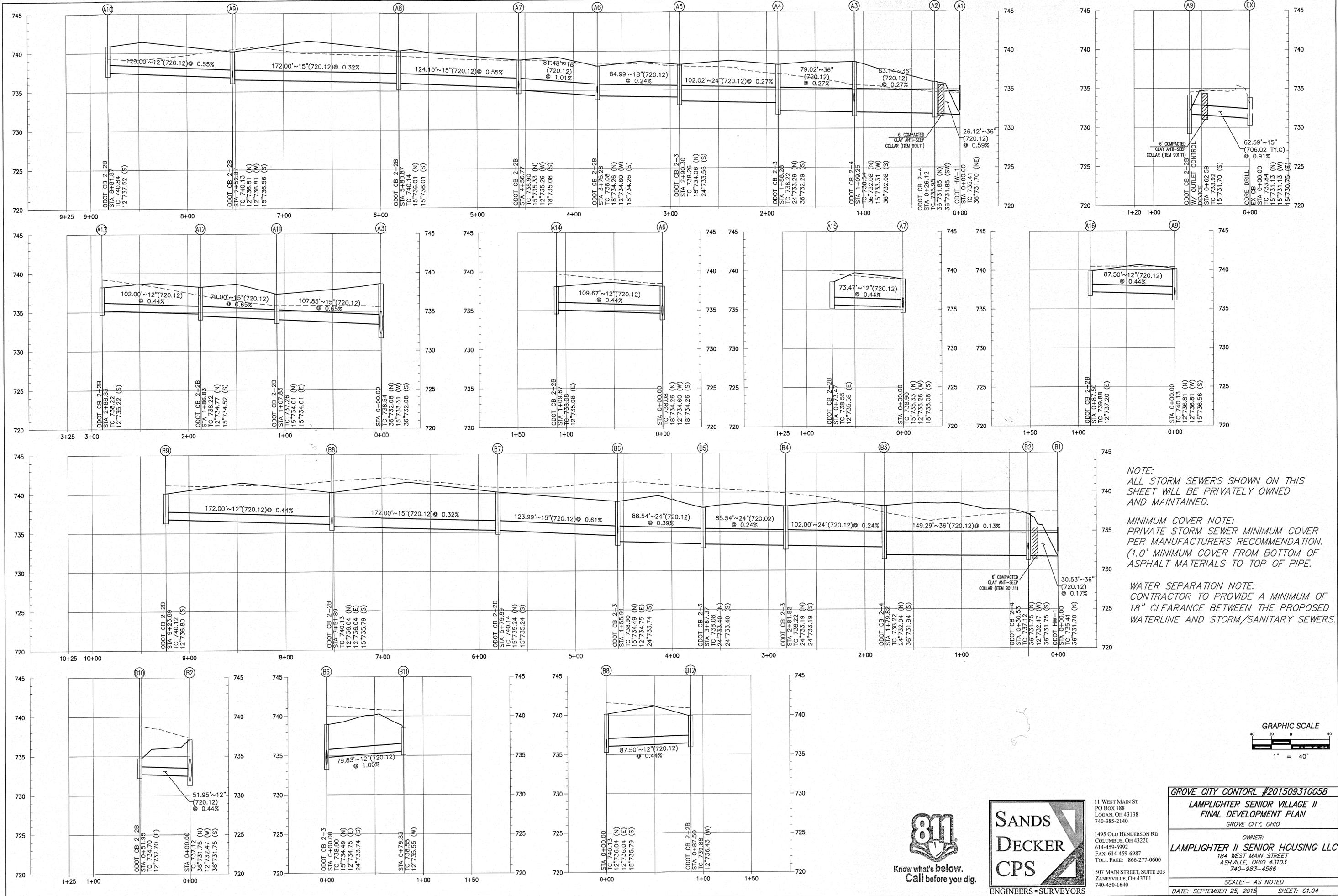
GROVE CITY CONTORL #201509310058

**LAMPLIGHTER SENIOR VILLAGE II**  
 FINAL DEVELOPMENT PLAN  
 GROVE CITY, OHIO

OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST SENIOR STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566

SCALE: - AS NOTED

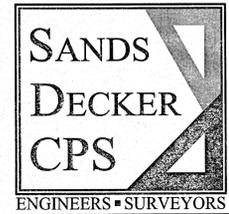
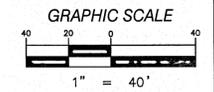
DATE: SEPTEMBER 23, 2015    SHEET: C1.03



**NOTE:**  
ALL STORM SEWERS SHOWN ON THIS SHEET WILL BE PRIVATELY OWNED AND MAINTAINED.

**MINIMUM COVER NOTE:**  
PRIVATE STORM SEWER MINIMUM COVER PER MANUFACTURERS RECOMMENDATION. (1.0' MINIMUM COVER FROM BOTTOM OF ASPHALT MATERIALS TO TOP OF PIPE.

**WATER SEPARATION NOTE:**  
CONTRACTOR TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PROPOSED WATERLINE AND STORM/SANITARY SEWERS.



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**GROVE CITY CONTORL #201509310058**

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GROVE CITY, OHIO

OWNER:  
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184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566

SCALE - AS NOTED  
DATE: SEPTEMBER 25, 2015 SHEET: C1.04

Street, Storm, and Water General Notes

- SPECIFICATIONS:** The current City of Columbus and Ohio Department of Transportation (ODOT) Construction and Material Specifications (CMS) and ODOT CMS respectively) together with the requirements of the City of Grove City, Ohio, including all supplements thereto, in force on the date of the contract shall govern all materials and workmanship involved in the improvements shown on these plans, except as such specifications are modified by the following specifications, or by the construction details set forth herein. In case of any conflict among these identified technical specifications, the greater requirement shall take precedence (as determined by the sole discretion of the City) unless directed otherwise by the City. General provisions of the ODOT and the City of Columbus CMS as modified herein shall not apply. This exclusion includes, but is not necessarily limited to, Division 100 of the ODOT and City of Columbus CMS.
  - Bench marks:** The Contractor shall carefully preserve bench marks, property corners, reference points, and stakes. Any benchmark, survey marker, or survey monument damaged or disturbed by the Contractor shall be reset by an Ohio Registered Surveyor at the Contractor's expense.
  - SAFETY REQUIREMENTS:** The Contractor and any and all Subcontractors shall be solely responsible for complying with all federal, state, and local safety requirements, together with existing precautions at all times for the protection of persons (including employees) and property. It is also solely the responsibility of the Contractor and Subcontractor to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work, including all OSHA rules and regulations.
  - PERMITS:** The Contractor or Developer shall secure and pay for all permits and government fees, licenses, and inspections necessary for the proper execution and completion of the improvements shown on the plans.
  - Notification:** The Contractor shall notify the City at least 48 hours in advance (holidays and weekends excluded) of the anticipated start of work, or approval by the City. Work shall not commence until a pre-construction conference is held. The Contractor or Developer shall supply three (3) copies of the approved construction plans, along with one (1) complete set of mylars and one (1) electronic copy of all plan sheets (if provided), to the City, and one (1) copy of the plans to the Director of Public Service (1) week prior to the pre-construction conference. The Contractor shall notify all adjacent landowners a minimum of one (1) week in advance of work near their property. The Contractor shall coordinate with the City for a suggested format for the notices.
  - Inspection:** The City of Grove City will provide all construction inspection for this project. No work shall commence until arrangements have been made with the City Engineer and Director of Public Service for inspection services and payment of the inspection fee deposit.
  - UTILITIES:** The location of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the Owner of the underground utility as required by Section 153.64 Section 371.27 of the Ohio Revised Code. The City of Grove City assumes no responsibility for the accuracy of locations or depths of underground facilities shown on the approved construction drawings. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the utility owner, the City and the Design Engineer. The Contractor shall immediately notify the utility owner, the City and the Design Engineer. The Contractor shall notify the Ohio Utilities Protection Service (OUPS) at (1-800-362-2764) at least 48 HOURS, and NO MORE THAN 10 DAYS PRIOR TO excavating, with such time periods not including weekends or holidays. Contractor shall submit a copy of the utility owner's name and address to OUPS. If there are markers or other apparent utilities in or near the project area that may indicate the existence of underground petroleum or natural gas pipelines, the Contractor shall additionally contact the Oil & Gas Producers Undergroup Protection Service (OGUPS) at 800-925-0988, toll free. Said notification shall be given a minimum of 48 hours prior to the commencement of construction. The following utilities are known or can be expected to be located within the limits of this project.
 

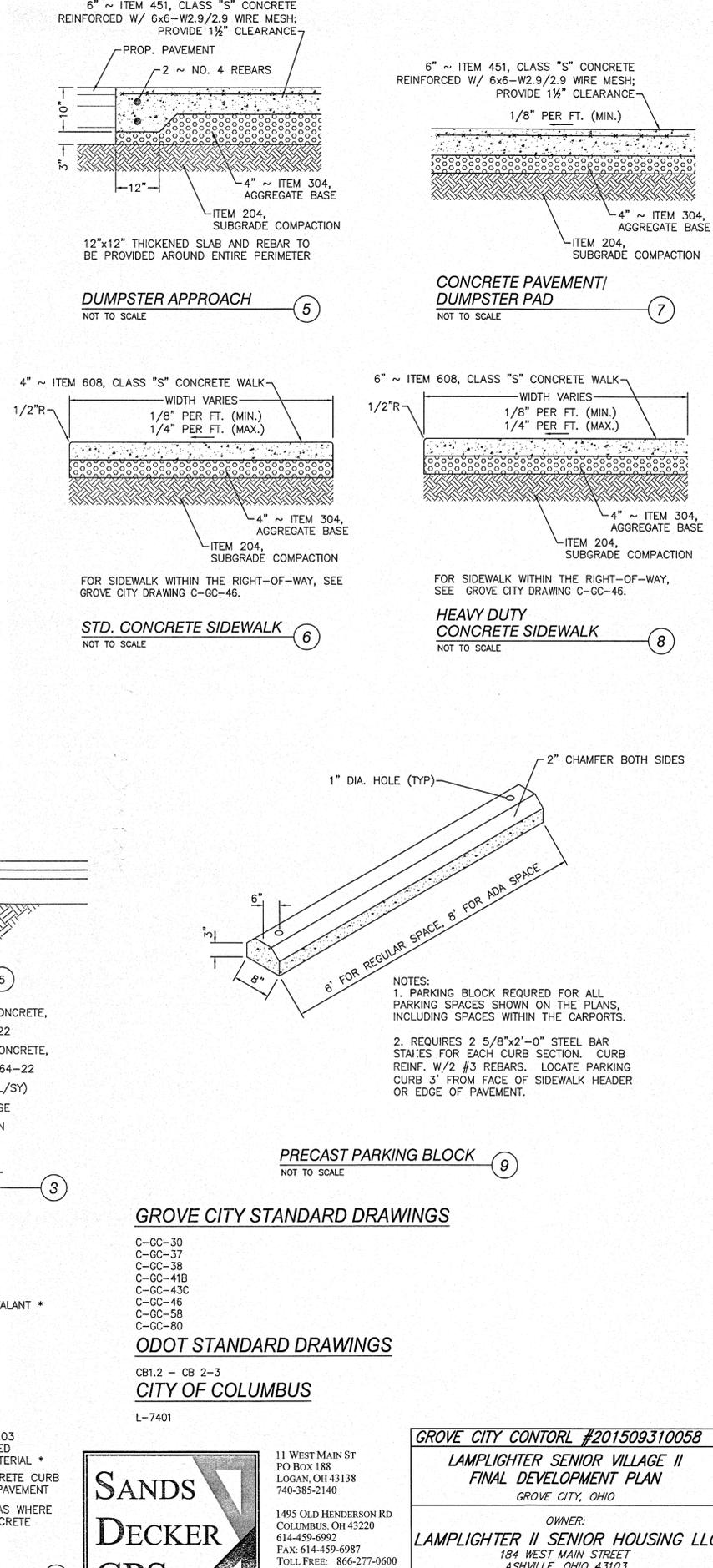
<b>UTILITY OWNER TELEPHONE</b>	
Water, Sanitary, Storm and Street Lighting Facilities	City of Grove City, 4035 Broadway Grove City, Ohio 43123 614-277-1100
  - LIST UTILITIES**

Columbia Gas of Ohio	1-866-632-6243
Mart Coyne	1-614-818-2107
AFP/Columbus Southern	1-800-277-2177
Brent Gates	1-614-883-8802
AT&T	1-800-248-3632
Columbus Department of Utilities	1-614-645-8276
Time Warner Cable	1-800-617-4311
Franklin County Engineers	1-614-525-3030
Pioneer Energy Management	1-614-442-7100
  - Marathon Pipe Line** 1-740-522-8448

- The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on the plans or not. The Contractor shall proceed with the work and protect all underground utilities in a manner that is as cautious and protective of safety and underground utilities as those methods identified in Sections 3781.25 through 3781.30 of the Ohio Revised Code. All private utility relocation (gas, electric, phone, etc.) will be the responsibility of the utility owners. The Contractor is responsible for coordinating the relocation and/or protection of all utilities as required by the plan with the owner of the affected utility.
- EXPOSE EXISTING UTILITY:** Where potential grade and alignment conflicts might occur with existing utilities, or as specifically called out on the plans, the Contractor shall excavate and expose the utility or structure sufficiently in advance of laying pipe for the Design Engineer to verify the vertical and horizontal extent on the proposed construction. Any discrepancy with the plans shall be coordinated with the City to ensure that there are no construction or conflict issues associated with said discrepancy. The cost of this work shall be included in the unit price bid for the various improvement items if a specific bid item is not provided in the estimate of quantities.
- CONFLICTS:** In all conflicts in elevation between the water main and gravity sewers, the water main shall be lowered during construction, unless otherwise directed by the City.
- House Service Lines:** The Contractor shall assume that each house has at least one (1) water and one (1) gas service line unless more are marked by the utility company. It is the Contractor's responsibility to locate and support these service lines. Cost for location and support shall be included in the cost bid for various items where service lines are cut or broken, the lines are to be restored to the standards of the utility owner at the Contractor's expense within 12 hours of the cutting or breaking of the service line.
- Site Visit:** The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions and the potential effects upon the scope of work.
- Right-of-Way:** In addition to the direct requirements of the contract specifications, the Contractor shall observe and conform to the special requirements of all Right-of-Way, including easements, court entries, rights-of-entry, or action filed in court in accordance with the code of the applicable governing agency. The cost of the operations necessary to fulfill such requirements shall be included in the price bid for the various items of the contract unless specific provision is made in the contract items.
- EASEMENTS:** Approval of this plan is contingent upon all easements required for the construction of the work being secured and submitted to the City of Grove City for recording prior to commencement of the work, and no work which requires an easement will be allowed to proceed until this has been done.
- Work Limits:** The Contractor is responsible for containing all performed work and all equipment, materials, vehicles, etc., used to complete the work within the rights-of-way of the streets, roadways, permanent easements and the property boundaries of the improvements shown on these plans. The Contractor is responsible for cost of restoration for any area outside of the right-of-way, permanent easement or project property boundaries to former condition or better and to the satisfaction of the Property Owner and the City.
- Contract Work:** Performed by the City in the event that it becomes necessary for the City to perform work of an immediate nature (such as the placement of barricades or replacement of signs or other warning or protective devices) required of the Contractor by this contract because of failure or refusal of the Contractor to perform such work, the Contractor/Developer shall reimburse the City at the rate of 2.5 times the actual cost of labor, materials and equipment necessary to perform such work.
- Convenience Facilities:** The Contractor shall furnish and maintain sanitary convenience facilities for the workmen and spectators for the duration of the work. Cost shall be included in the price bid for the various items.
- NON-RUBBER Tired VEHICLES:** No non-rubber tired vehicles shall be moved on City streets, existing private roadways or parking lots. Exceptions may be granted by the City of Grove City, for public roadways only, where short distances and special circumstances are involved. Granting of exceptions must be in writing, and any damage must be reported by the Contractor to the satisfaction of the City of Grove City.
- Signs, Mailboxes, Fences, Etc.:** The Contractor shall be responsible for restoring all signs, mailboxes, fences, guardrails, curbs, property, drainage structures, or other physical features disturbed by construction, whether shown on the plans or not, to their original or better condition and location and to the satisfaction of the Property Owner and the City of Grove City. Cost to be included in the price bid for the various items.
- Pruning:** Branches or growth which interferes with the free construction of the project may be removed from trees/bushes that are to be saved by the use of pruning tools with prior approval from the City's Urban Forester. All pruning tools used and methods employed shall meet the approval of the City's Urban Forester. The branches shall be removed with the parent trunk or, if having a good healthy lateral branch, the cut shall be a good clean slanting cut close to and beyond the healthy branch. All pruning cuts shall be painted with an accepted pruning preservative. The cost of all work and expenses connected with tree pruning shall be included in the price bid or CMS Item 201, Clearing and Grubbing, shall be made. Trees damaged or destroyed that were not designated for removal or approved by the City for removal shall be replaced at the Contractor's expense.
- Dewatering:** The Contractor is solely responsible to the Ohio Department of Natural Resources (ODNR) for registry, maintenance, and abandonment of any withdrawal devices used in the construction of this project. Installation of any well, well point, pit or other device used for the purpose of lowering the groundwater level to facilitate construction of this project shall be properly abandoned in accordance with the provisions of Section 3745-9-10 of the Ohio Administrative Code or as directed by the Director or his representatives. The Contractor shall be required to complete and file a Well Log and a Drilling Report Form with ODNR, Division of Water, within 30 days of the completion of installation of any well, well point, pit or other device used for the purpose of removing groundwater from an aquifer, in accordance with Sections 1521.01 and 1521.05 of the Ohio Revised Code. In addition, any such facility that has a capacity to withdraw waters of the State in an amount greater than 100,000 gallons per day from all sources shall be registered by the Chief of the ODNR, Division of Water, within three (3) months of the completion of the facility in accordance with Section 1521.16 of the Ohio Revised Code. Copies of the necessary paperwork can be obtained at ODNR, Division of Water, Fountain Square, Columbus, OH, 43224-1387 - Phone: (614) 265-8717. The Contractor shall furnish and operate suitable pumping equipment of such capacity, adequate to dewater the trench, should water be encountered. The trench shall be sufficiently dewatered so that the placement of bedding and the laying and joining of pipe is made on firm, dry ground. If dewatering cannot produce acceptable subgrade and only as directed by the Engineer, unsuitable materials shall be removed and replaced by CMS Item 906, stone foundation. The Contractor shall convey all trench water to a natural drainage channel or storm sewer without damage to property. The Contractor shall be responsible to place and maintain the necessary sediment and erosion control measures to filter the dewatering discharge and to prevent erosion at the discharge location. Cost for the above shall be included in the bid price for the various improvement items. The cost of any dewatering operations required for the construction of the project improvements shall be included in the price bid for the various improvement items.
- REPLACEMENT OF DRAIN TILES AND STORM SEWERS:** All drain tile and storm sewers damaged, disturbed, or removed as a result of the Contractor's operations shall be replaced with the same quality pipe or better, maintaining the same gradient as existing. Replaced drain tile shall be laid on compacted bedding equal in density to surrounding stratum. If possible, the drain tile and/or storm sewer shall be connected to a storm sewer structure, curb underdrain or outlet into the roadway ditch as applicable. Replacement shall be done at the time of the backfill operation. Cost of this work to be included in the price bid for the various items.
- MAINTAIN DRAINAGE:** The flow in all sewers, drains and drainages encountered shall be maintained by the Contractor at his own expense, and whenever such watercourses and drains are disturbed or destroyed during the prosecution of the work, they shall be restored by the Contractor at his own cost and expense, unless specific provision is made within the Contract Documents for the measure of and payment for such cost specific items, to a condition satisfactory to the City.
- Inlet Protection:** The Contractor is responsible to keep storm sewer inlets protected from excessive amounts of sediments using adequate filtering devices as approved by the City.
- Erosion & Sedimentation Control:** The Contractor shall provide sediment control at all points where stormwater runoff leaves the project, including storm sewers. Erosion and sediment control shall be provided as per the requirements of the City of Grove City and the Standards and Specifications of the "Rainwater and Land Development" manual of the ODNR. Erosion control measures are to be installed per NPDES permit regulations or as directed by the City, and are to be maintained until such time that they are no longer required by the permit and the City. Cost for erosion and sedimentation control shall be included in the price bid for CMS Item 207. All land disturbing activities shall be subject to inspection and site investigation by the City of Grove City and/or the Ohio EPA. Failure to comply with these regulations is subject to legal enforcement action.

- The Contractor is responsible to notify the City of Grove City 48 hours prior to commencement of initial site land disturbance on any site one (1) or more acres. This includes site clearing, grubbing and any earth moving. Primary erosion and sediment control practices are mandated by regulations to be in place from the beginning of the construction activity. All denuded areas shall have soil stabilization applied within seven (7) days of completion of grading operations if said areas are to remain undisturbed for more than forty-five (45) days. It is the Contractor's responsibility to maintain the sediment and erosion control features used on this project. The site shall be inspected periodically every within 24 hours of a significant rainfall event. Records of these inspections shall be kept and made available to jurisdictional agencies. Any sediment or debris which has reduced the efficiency of a structure shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace it at additional cost.
- Soil Stockpiles:** The Contractor shall be responsible for keeping all soil stockpiles, including trench excavation stockpiles, protected from erosion. The areas surrounding the stockpiles are to be protected from sediment with the use of perimeter control devices such as straw bales or straw bale devices or silt fences. These perimeter control devices shall be maintained for the duration of the project.
- Disposal of Excess Excavation:** The Contractor shall dispose of all excess excavation at an off-site location as approved by the Engineer. For disposal outside the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the off-site Landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the Landowner's permission for such use. Excess excavation material shall not be disposed of within any floodplain area, unless any and all necessary approvals do so have been obtained.
- CleanUp:** The Contractor shall be responsible for the immediate cleanup of any debris, mud or dirt tracked or spilled on City and/or public streets or private drives whether inside or outside the project area. The Contractor is responsible for the cost of any services contracted and/or completed by the City of Grove City in the cleanup of any tracking or spillage anytime during project construction. The Engineer may require the Contractor to perform weekly street cleaning if excessive amounts of dirt and mud are left along the street. This may include removal by sweeping, power cleaning, or other methods. The cost of this work shall be included in the various contract items, unless otherwise specified.
- Construction Debris:** All debris, rubble, unusable materials, and items not salvaged by the Owner shall become the property of the Contractor and shall be removed from the site by the Contractor and disposed of properly. All maintenance of Traffic Control Devices (TCDs), erected, maintained and removed by the Contractor in accordance with the Ohio Manual of Uniform Traffic Control Devices for Construction and Maintenance Operations (current edition), copies of which are available from the Ohio Dept. of Transportation, Bureau of Traffic, 1980 Columbus Blvd., Columbus, Ohio 43260. Steady-burning, type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night. Cones are NOT approved for use at night. All trench openings on the road right-of-way shall be backfilled or securely plated during non-working hours. Access to all properties within the project area shall be maintained at all times. All traffic lanes shall be fully open to traffic from 7:00 a.m. to 9:00 a.m. and 4:00 to 6:00 p.m. weekdays on all roadways within the project area with the lane may be closed to traffic during working hours. FOR MAJOR THOROUGHFARES AND COLLECTORS: Two-way, one-lane traffic shall be maintained during construction operations in accordance with page C-18 of the Ohio Manual. A uniformed officer shall be posted on each flagman shown on that page and such officers shall be present whenever two-way, one-lane operation is in effect. FOR LOCAL STREETS: Local streets shall be closed to traffic during construction operations on that page and such officers shall be present on all local roadways within the project area. If a hazard develops, for a two-way, one-lane traffic maintained during construction operations on all local roadways within the project area. If a hazard develops, an off-duty officer may be assigned by the City to the project at the Contractor's expense. All permanent traffic controls shall be maintained through this project by the Contractor. Permanent traffic controls may be temporarily relocated as approved by the Engineer. The Contractor shall assume all liability for missing, damaged, and improperly placed signs. All permanent pavement markings and traffic control signs as shown on this plan shall be installed by the Contractor at the Developer's expense. The City of Grove City shall be notified a minimum of forty-eight (48) hours (excluding weekends and holidays) prior to the installation of permanent markings to inspect and approve pavement marking layout before markings are installed.
- CONCRETE PIPE AND STRUCTURE INSPECTION:** All precast concrete products shall be inspected at the location of manufacture. All concrete pipe, storm, and sanitary sewer structures shall be stamped or have such identification noting that said pipe, storm, and sanitary structure was manufactured by the City of Columbus and meets their specifications. Installation of pipe and structures without proper identification shall not be permitted.
- The installation of all sewer pipe on this project shall be in accordance with Section 901 of the ODOT CMS, unless specifically indicated otherwise, with the appropriate referenced section of CMS or CMSC. The following pipe materials will be permitted for use for public sewers.**
  - SANITARY SEWER PIPE**
    - Outside of Right-of-Way:** Flexible Pipe (PVC Pipe per CMS 720.08 only, ASTM D-3034, SDR 35) will be allowed for sewers up to and including 15' diameter that have a minimum of 4' coverage and a maximum of 20' coverage.
    - Flexible Pipe (PVC Pipe per CMS 720.08 only, ASTM D-3034, SDR 26)** will be allowed for sewers 8'-10' diameter that exceed 20' in depth.
    - Rigid Pipe will be required for all sewers greater than 15' (Reinforced Concrete Pipe 706.02, Vitrified Clay Pipe 706.08, Ductile Iron 801.03) and for any sewers greater than 10' diameter that will have less than 4' of coverage or more than 20' of coverage.**
    - Within Right-of-Way:** Flexible Pipe will be allowed for sewers up to and including 15' diameter (PVC Pipe per CMS 720.08 only, ASTM D-3034, SDR 35) that have a minimum of 4' coverage and a maximum of 20' coverage.
    - Flexible Pipe (PVC Pipe per CMS 720.08 only, ASTM D-3034, SDR 26)** will be allowed for sewers 8'-10' diameter that exceed 20' in depth.
    - Rigid Pipe will be required for all sewers greater than 12' (Reinforced Concrete Pipe 706.02, Vitrified Clay Pipe 706.08, Ductile Iron 801.03) and for any sewers greater than 10' diameter that will have less than 4' of coverage or more than 20' of coverage.**
  - STORM SEWER PIPE**
    - Outside of Pavement Limits:** Flexible Pipe according to the following specifications:
      - Polyvinyl Chloride (PVC) pipe with a minimum of 4 feet coverage and a maximum of 15 feet coverage shall conform to ODOT CMS 707.45.
      - High Density Polyethylene (HDPE) pipe between 12" and 36" diameter conforming to ODOT CMS 707.33 with a maximum 15 feet coverage and a minimum 2 feet coverage. Mandrel testing shall be performed per CMS 901.21.
    - Rigid Pipe will be required for all sewers greater than 36" diameter (Reinforced Concrete Pipe CMS 706.02, Concrete Box CMS 706.05) and is also permitted on all sewers between 12" and 36" diameter.**
    - Within Pavement Limits:** Flexible Pipe according to the following specifications:
      - Flexible pipe which conforms to ODOT CMS 605 may be used for 4" and 6" drain tiles.
      - High Density Polyethylene (HDPE) pipe of <= 15" diameter conforming to ODOT CMS 707.33 with a maximum 15 feet coverage and a minimum 2 feet coverage. Mandrel testing shall be performed per CMS 901.21. Concrete encasement shall be provided when the coverage between the top of pipe and the subgrade is less than 30 inches.
    - Rigid Pipe will be required for all sewers greater than 15" (Reinforced Concrete Pipe 706.02, Concrete Box 706.05) and is also permitted for use on 12" to 15" sewers.**
  - Trench Backfill:** Trenches within a 15' influence of the roadway and/or pavement, including all points within 3' behind the curb or edge of pavement, shall be filled and compacted per Type A backfill. Trenches within the right-of-way, but outside the road influence, shall be filled and compacted as per Type B backfill. All other trenches shall be filled and compacted as per Type C backfill at a minimum, or as otherwise indicated within these plans. All permanent pavement markings shall refer to the City of Columbus and Material Specifications (CMS) item numbers. Type A backfill shall be granular material, conforming to Item 703.01 No. 4 coarse aggregate or Item 304, as directed by the Engineer, compacted as stipulated in Item 912.03. In all cases granular material shall be used around all manholes, structures and cleanouts. C&R is not permitted unless specifically requested by the City and in such case will be Type I or Type II. Type C backfill shall be natural soil free from stones larger than two inches (2") across their greatest dimension, topsoil, vegetation, debris, rubbish or frozen material, compacted to 95% of its maximum laboratory dry weight and placed per Item 901.17. Type D backfill shall be natural soil free from stones larger than six inches (6") across their greatest dimension, vegetation, debris, rubbish or frozen material, compacted to 90% of its maximum laboratory dry weight. When approved by the Engineer, rocks no larger than one cubic foot may be deposited at least three feet above the top of the sewer. Aggregate for bedding shall be No. 57 or No. 8, as per Item 703. The excavated trench width twelve inches (12") above the conduit may be increased without extra compensation.
  - TRENCHES:** All trenches shall be maintained as safe as possible by the Contractor at all times and backfilled as soon as practical. All trenches during non-working hours require traffic plates, and/or lighted barricades and construction fence.
  - Water Main Separation:** The Contractor shall maintain eighteen inches (18") vertical and ten feet (10') horizontal separations between water main and sanitary sewer lines.
  - Deflection Testing:** All flexible sewers are subject to Mandrel Testing and video inspection as directed by the City Engineer. Testing shall be performed no sooner than 30 days after the pipe trench has been backfilled and all roadway and silt fills over the sewers constructed. Testing shall be completed in conformance with the requirements of CMS Item 901.21. Maximum deflection shall not exceed 5% of the base inside diameter. Cost of the testing shall be at the expense of the Contractor.
  - Grade Checks:** The Contractor shall ensure there is a surveyor's level and rod on the project for use in performing grade checks whenever sewer line structures or pipe are being installed. The Contractor shall make this equipment available for the use of, and assist, the City Inspector in performing grade checks when requested by the Inspector. The Inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to a time convenient to the Contractor. These checks will be performed to ensure the following:
    - Proper placement of each structure.
    - Proper installation of initial runs of pipe from a structure.
    - Grade, over an overnight or longer shutdown.
    - Grade, at any other time the Inspector has reason to question grade of installation.
 A grade check performed by the City Inspector in no way releases the Contractor from the ultimate responsibility to ensure construction to the grade shown on the plans.
  - Grade Changes:** If it is determined that the elevation of the existing sewer, or existing appurtenance to be connected to, differs from the plan elevation or results in a change in the plan sewer slope, the Design Engineer shall be notified before starting construction of any portion of the proposed sewer which will be affected by the variance in the existing elevations. If it is determined that the proposed sewer will intersect an existing sewer or underground utility if constructed as shown on the plan, the Design Engineer shall be notified before starting construction of any portion of the proposed sewer which would be affected by the interference with an existing facility. Grades and elevations shown on the plans shall not be revised under any circumstances without first obtaining written approval from the City.
  - Structure Adjustment:** The Contractor shall field verify the top of casting elevation of all proposed manholes. If precast structures are utilized, a minimum of the top 6" and a maximum of 12" shall be field placed either with grade rings or brick and mortar.
  - TEMPORARY BULKHEAD:** The Contractor shall install a temporary bulkhead, where directed on the plans, prior to construction of the proposed sewers and shall maintain same until said sewers are accepted by the City.
  - City Water:** The Contractor shall obtain from the City of Columbus, Division of Power and Water (645-8270) a water usage permit and a fire hydrant permit from the Jackson Township Fire Department (875-5588) prior to connection of their water supply lines to any fire hydrant. The Contractor shall provide all the necessary gate valves, backflow preventers, and other equipment and fittings, and valves shall be installed in accordance with the standards of the Division of Power and Water Standards. The Contractor shall pay for water at the current City Rates. Use of water from fire hydrants and associated fees are outlined in the City of Grove City Rule and Regulation #93.3. A copy of this regulation is available from the City of Columbus, Division of Power and Water. Utilization of a subcontractor must meet the licensing requirements of City of Columbus Building Code, in particular Section 4114.119 and 4114.529.
  - Interruption of Water Service:** The Contractor shall give written notice to all affected property owners at least 24 hours, but not more than 72 hours prior to any temporary interruption of water service. Interruption of water service shall be held to a minimum and shall be approved by the City of Grove City.

- WATER MAIN MATERIALS:** All water main material on this project shall be in accordance with item 801 of the CMS. All water main installation and testing shall be in accordance with the current rules and regulations of the City of Columbus, Division of Power and Water.
- EXISTING VALVES:** All existing valves shall be operated by City of Columbus, Division of Power and Water personnel only, as stated in Chapter 1113 of the Columbus City Code.
- WATER MAIN CLEANING AND FLUSHING:** All water mains shall be cleaned and flushed in accordance with section 801.11 of the City of Columbus, Construction and Material Specifications. Additionally, water main 12-inch and larger must also be properly pigged.
- TESTING PROCEDURE:** All water mains shall be hydrostatically tested in accordance with Item 801.12 of the CMS. Cost of this work is to include in the unit price bid in accordance with Item 801.12 of the CMS. All testing shall be performed by the City Engineer. For disposal outside the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the off-site Landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the Landowner's permission for such use. Excess excavation material shall not be disposed of within any floodplain area, unless any and all necessary approvals do so have been obtained.
- DISINFECT:** All water mains shall be disinfected in accordance with Section 801.13 of the City of Columbus Construction and Material Specifications (CMS). Special attention is directed to applicable sections of AWWA C-651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7). The Contractor shall be responsible for all costs associated with all water mains constructed under this plan.
- HAND SWABBING:** The Contractor shall hand swab all pipes and fittings that are not otherwise disinfected. The amount of swabbing performed against existing valves shall be at the Contractor's risk and in strict compliance with the requirements of the City. If satisfactory results cannot be obtained against an existing valve, the new line shall be disconnected from the existing valve, plugged and retested. Disconnection from the existing water main and any repairs necessary because of damage caused to the existing lines, valves and service connections shall be at the Contractor's expense.
- SERVICE TRANSFER AND WATERLINE ABANDONMENT:** Where indicated on plans, the existing waterlines shall be abandoned and existing water services off these lines, indicated on the plans and shown by house number, shall be transferred to the new waterlines. Prior to abandonment of existing waterlines, the proposed new waterlines shall be tested and chlorinated and then the existing services shall be transferred to the new waterlines. The Contractor shall maintain water service to all water customers affected by the abandonment of existing water services as transferred to the new waterline, no waterline shall be abandoned until all affected water services have been transferred; the new waterline is put in service; and the existing waterline to be abandoned has been shut down for 24 hours. All visible valves and service boxes on the waterline to be abandoned, which will no longer be in service, shall be removed. The required service restoration shall be paid for under the appropriate bid item(s).
- SERVICE CONNECTION PERMITS:** No service connection permits shall be issued or connection made to any service taps until the waterline has been disinfected by the City of Columbus, Division of Power and Water.
- BLOCKING:** All fittings shall be adequately restrained with concrete blocking per the City of Columbus standard construction drawings. All fittings to be backed must be thoroughly wrapped in a plastic sheathing prior to placing concrete.
- EXISTING PLUGS, CAPS, ETC.:** Plugs and caps removed from existing waterlines shall be delivered to the Water Services Center, 4035 Broadway, Grove City, Ohio, unless otherwise directed by the City Engineer. No additional payment will be made for this delivery.
- FIRE HYDRANT REPLACED OR RELOCATED:** No existing fire hydrants to be replaced or relocated shall be removed, or taken out of service, until the new waterlines are in service and the new fire hydrants are accepted by the Jackson Township Fire Department.
- WATER SERVICES:** Where and as shown on the plans, the water services shall be extended from the normal locations of the permanent block and curb stop to its terminus point with Copper Type K and a temporary box set at the end of the extension.
- WATER METERS:** All water meters associated with this project shall be installed inside the proposed structure unless a meter pit is approved by the Administrator of the Division of Power and Water, City of Columbus. All meter pits must conform to Standard Drawing L-7103, A & B for 5/8" through 1" meters or L-6317, A & B for 1 1/2" or larger meters.
- POLYETHYLENE ENCASEMENT:** Contractor shall wrap all ductile iron pipe with tube style 8 mill linear low density polyethylene (LLDPE) film made from virgin polyethylene only (no recycled material) per AWWA C-105. The color shall be black with nominal 2% carbon black UV inhibitor and printed per the AWWA C-105 standard. Installation shall be done in accordance with the "Polyethylene Encasement Installation Guide" written by the Ductile Iron Pipe Research Association (DIPRA). All permanent pavement markings and traffic control signs as shown on this plan shall be installed by the Contractor at the Developer's expense. The City of Grove City shall be notified a minimum of forty-eight (48) hours (excluding weekends and holidays) prior to the installation of permanent markings to inspect and approve pavement marking layout before markings are installed. All lumps of clay, mud, cinders, etc., on the pipe surface shall be removed before the pipe is covered with polyethylene. When lifting polyethylene-encased pipe use a fabric type sling or padded cable. Joints shall be overlapped and taped. Fold excess slack over the top of the pipe and tape every three (3) feet. Small holes or tears shall be repaired with a piece of tape piece over the hole. Large holes or tears should be repaired by taping another piece of polyethylene over the hole. To avoid damage during backfilling allow adequate slack in the film tube at joints. Backfill material shall be free of cinders, rocks, boulders, nails, sticks or other material that will damage the polyethylene sleeve. Appurtenances such as bolted joints, valves, service taps shall also be wrapped. For service taps, wrap two/three layers of tape completely around the polyethylene-encased pipe to cover the area where tapping machine will contact the pipe. Install corporation stop directly through the tape and polyethylene. Wrap copper service at least three feet (3') back from installation. All work necessary to furnish and install the polyethylene encasement shall be included in the price bid for Item 801.
- BACKFILL TESTING:** Prior to construction of the public roadway, soil density tests shall be made on all sanitary sewer and designated storm sewer trenches which cross the proposed pavements or which lie such that the proposed pavements are located within any part of the influence line of said trench. Where said results indicate that the trench backfill does not meet the compaction requirements of Item 912.03 of the Construction and Material Specifications (CMS), all backfill material shall be removed, replaced, and re-tested until compaction meets said requirements of Item 912.03.
- RECORD PLANS:** The Developer is responsible for providing "Record Plan" construction drawings to the City of Grove City after the project has been completed. Plans must include top of casting and finished elevations for all sanitary and storm structures and identify any and all field modifications to, and deviations from, the approved plan set. A redline set of plans reflecting the "Record Plan" information shall be kept by the project Inspector and provided to the City Engineer for review and subsequent inclusion in the record plan drawings. If the Contractor is unable to provide the information, the Developer shall be responsible for supplying the missing information by field survey or other means to facilitate a complete set of record drawings.



**GROVE CITY STANDARD DRAWINGS**

C-GC-30  
C-GC-37  
C-GC-38  
C-GC-41B  
C-GC-43C  
C-GC-46  
C-GC-58  
C-GC-80

**ODOT STANDARD DRAWINGS**

CB1.2 - CB 2-3

**CITY OF COLUMBUS**

L-7401

11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140

1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

**SANDS DECKER CPS ENGINEERS SURVEYORS**

**GROVE CITY CONTORL #201509310058**

**LAMPLIGHTER SENIOR VILLAGE II FINAL DEVELOPMENT PLAN**

GROVE CITY, OHIO

OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**

184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566

SCALE: - AS NOTED  
DATE: SEPTEMBER 25, 2013 SHEET: C1.05

THE STORM WATER POLLUTION PREVENTION PLAN (SWP3) FOR THIS PROJECT IS COMPOSED OF THESE DRAWINGS (AND THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT, INCLUDING ALL REQUIREMENTS THEREIN, THE PROJECT DRAWINGS, AND ALL SUPPLEMENTAL INFORMATION INCLUDED/ADDED BY THE CONTRACTOR(S) AS APPROVED/ACCEPTED BY THE ENGINEER. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.

ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-DISTURBING ACTIVITY.

**SITE DESCRIPTION:**  
 A. PROJECT CONSISTS OF THE CONSTRUCTION OF A MULTI UNIT SENIOR LIVING COMMUNITY & ASSOCIATED INFRASTRUCTURE, DRIVES & PARKING.  
 B. TOTAL AREA OF SITE - 7.80 ACRES  
 C. PRE-CONSTRUCTION RUNOFF COEFFICIENT - 0.79  
 D. IMPERVIOUS AREA CREATED BY CONSTRUCTION ACTIVITY - 3.59 ACRES  
 E. EXISTING SOIL DATA SHOWN FROM USDA/NCRS WEB SOIL SURVEY: cRa - CROSBY SILT LOAM 0-2% SLOPES.  
 F. STORM WATER DISCHARGE QUALITY INFORMATION NOT AVAILABLE.  
 G. PRIOR LAND USE AT THE SITE - AGRICULTURAL  
 H. SEE TIMING OF SEDIMENT-TRAPPING PRACTICES, INSPECTION SCHEDULE & OTHER EROSION CONTROL NOTES FOR IMPLEMENTATION SEQUENCING.  
 I. SITE STORM WATER IS TRIBUTARY TO AN UN-NAMED TRIBUTARY TO THE SCIOTO RIVER.

**CONTRACTOR/CONSTRUCTION MANAGER RESPONSIBILITY:**  
 A. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY AND IS RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT.  
 B. THE SWP3, INCLUDING COPIES OF THE NOI, THE LETTER GRANTING PERMIT COVERAGE AND THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT SHALL BE MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. THE SWP3 MUST BE SIGNED BY THE PERMITTEE OR A DULY AUTHORIZED REPRESENTATIVE, AS DEFINED IN THE GENERAL PERMIT (PART V.G).  
**CERTIFICATION:**  
 I HEREBY CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

**PERMITTEE** DATE  
 TIMING OF SEDIMENT-TRAPPING PRACTICES: SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT ANY SITE DEMOLITION AND/OR EARTH-DISTURBING ACTIVITY.  
 PERMITTEE CONTROLS & OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.  
 FOR DISTURBED AREAS WITHIN 50 FEET OF A STREAM REMAINING DORMANT FOR OVER 21 DAYS, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS.  
 FOR DISTURBED AREAS OVER 50 FEET FROM A STREAM REMAINING DORMANT FOR OVER 21 DAYS, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS.  
 FOR DISTURBED AREAS THAT WILL BE LEFT IDLE OVER WINTER, TEMPORARY EROSION CONTROLS SHALL BE APPLIED PRIOR TO ONSET OF WINTER WEATHER.  
 FOR DISTURBED AREAS WITHIN 50 FEET OF A STREAM, AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS OF REACHING FINAL GRADE.  
 FOR DISTURBED AREAS REMAINING DORMANT FOR OVER 1 YEAR OR AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS.  
 SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.  
 SEDIMENT BARRIERS: SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.  
 SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES & WATER RESOURCES FROM SEDIMENT TRANSPORTED

BY SHEET FLOW.  
 TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED & SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.  
 ALL CONCENTRATED WATER SOURCES SHALL DISCHARGE INTO A VIABLE SEDIMENT BASIN.  
 SEDIMENT BASINS SHALL BE CLEANED OUT ANY TIME ACCUMULATED SILT OCCUPIES 40% OF THE BASIN DEPTH.  
 ALL WATER SOURCES SHALL DISCHARGE IN A NON-EROSIVE MANNER.  
 ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR SILT FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.  
 PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER & IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY & TO SURVIVE ADVERSE WEATHER CONDITIONS.  
**INSPECTION SCHEDULE:**  
 1. DIVERSION SWALE & STRUCTURAL PROTECTION - INSPECT EVERY 15 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.  
 2. INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL & DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.  
 3. VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS & REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.  
 NON-SEDIMENT POLLUTANT CONTROLS: HAZARDOUS/TOXIC WASTES SHALL NOT BE DISPOSED OF ON-SITE OR DUMPED INTO SEWERS, DRAINS OR CATCH BASINS. ANY HAZARDOUS/TOXIC WASTE SHALL BE DISPOSED OF OFF-SITE AT AN APPROVED LOCATION AND/OR TAKEN TO AN APPROVED RECYCLING CENTER.  
**CONSTRUCTION SEQUENCE:**

1. THE CONTRACTOR SHALL ESTABLISH A STABILIZED CONSTRUCTION ENTRANCE.
2. THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT FENCE, DITCH CHECKS AND OTHER PERIMETER CONTROLS.
3. THE CONTRACTOR SHALL ESTABLISH ALL SEDIMENT BASINS AND SEDIMENT CONTROL STRUCTURES INCLUDING THE DETENTION POND AND OUTLET STRUCTURE PRIOR TO DENUDED.
4. THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS AND NOTES. PROVISIONS FOR INLET PROTECTION SHALL BE ESTABLISHED AS REFERENCED BY THE DETAILS SHOWN HEREIN. THE CONTRACTOR SHALL APPLY WATER OR DUST PALLIATIVE ON DISTURBED AREAS DURING CONSTRUCTION TO ALLEVIATE OR PREVENT DUST NUISANCE PER ITEM 616. DUST PALLIATIVE SHALL CONSIST OF CALCIUM CHLORIDE MEETING THE REQUIREMENTS OF SECTION 712.02. THE WATER OR CALCIUM CHLORIDE SHALL BE SPREAD UNIFORMLY OVER THE SURFACE OF THE DISTURBED AREAS.
5. EXPOSED SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED.
6. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO STABILIZE ALL DENUDED AREAS. ALL DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN (7) DAYS OF DISTURBANCE IF THEY ARE TO BE SUBSTANTIALLY UNWORKED FOR MORE THAN 21 DAYS OR IF THEY ARE AT FINAL GRADE.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER.
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 CONCRETE WASHOUT AREA: THE CONTRACTOR SHALL PROVIDE FOR AN ISOLATED CONCRETE WASHOUT AREA ON-SITE. THIS LOCATION SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS OR, IF NOT SHOWN, THE LOCATION SHALL BE DETERMINED AT THE PRECONSTRUCTION CONFERENCE. NO CONCRETE DISPENSING VEHICLES SHALL BE PERMITTED TO DISCHARGE WASH WATER INTO A PRIVATE OR PUBLIC STORM SEWER SYSTEM.  
 ALL CONSTRUCTION AND DEMOLITION DEBRIS WASTE SHALL BE RECYCLED OR DISPOSED OF IN AN OHIO EPA APPROVED CONSTRUCTION AND DEMOLITION DEBRIS LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714.

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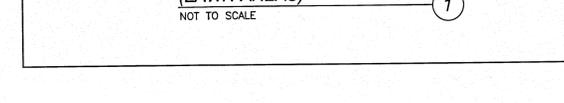
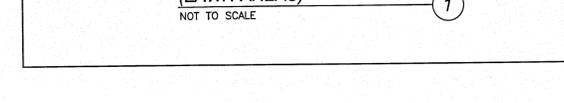
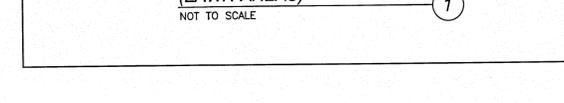
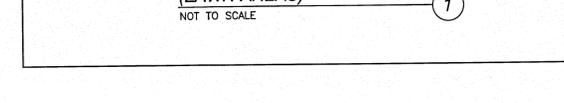
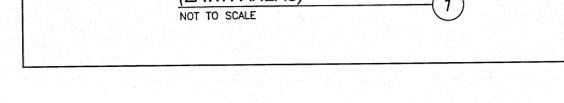
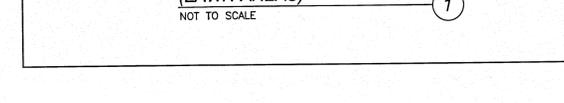
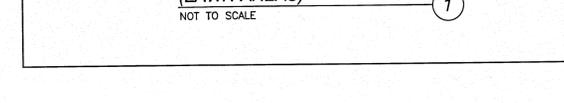
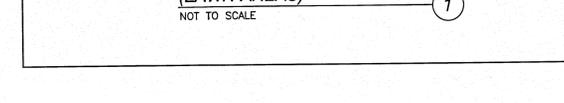
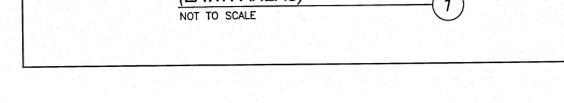
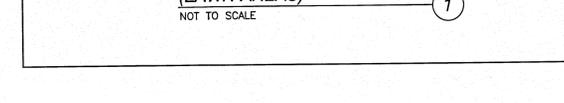
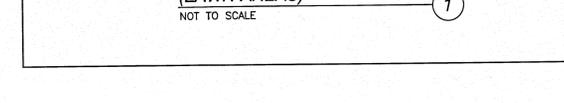
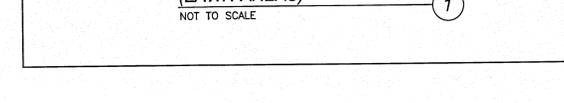
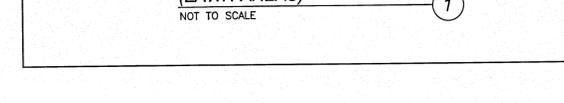
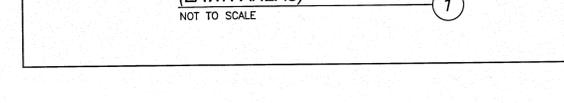
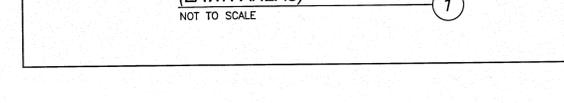
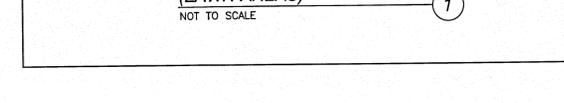
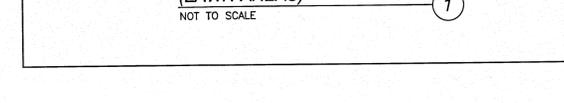
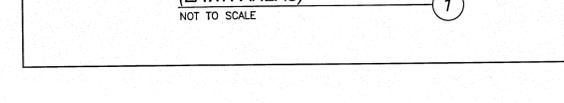
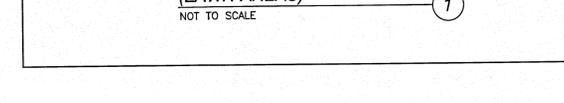
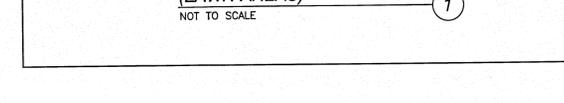
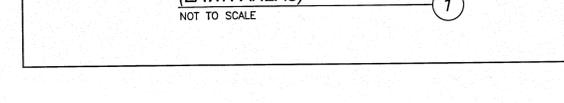
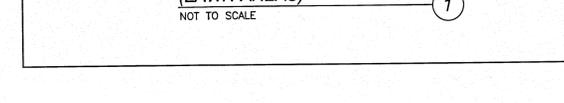
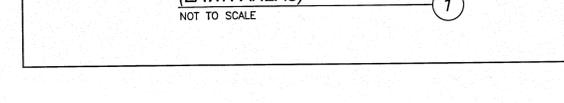
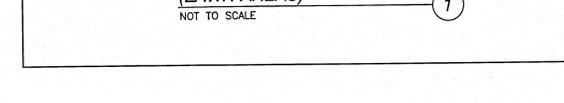
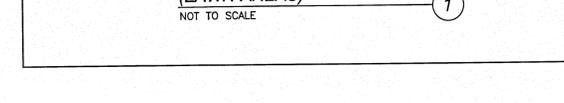
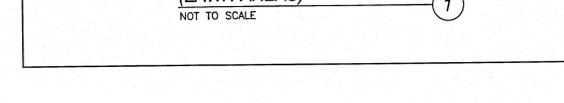
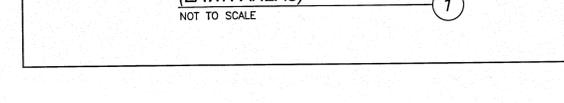
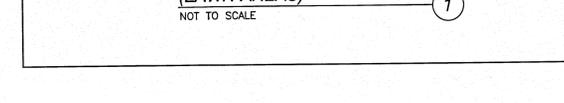
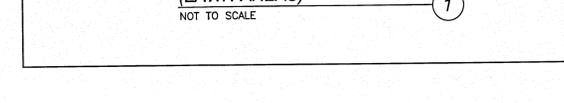
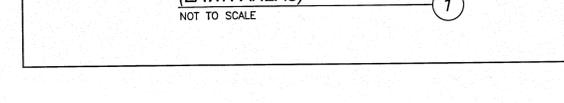
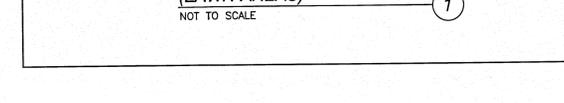
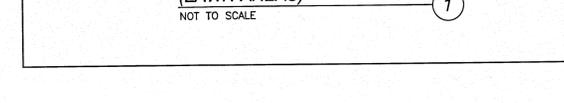
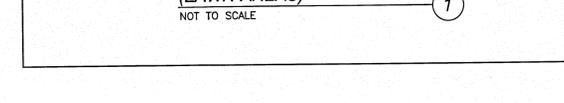
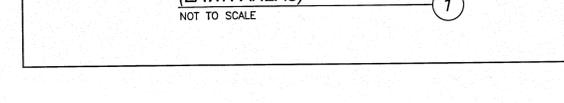
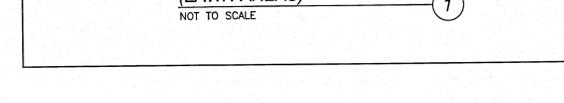
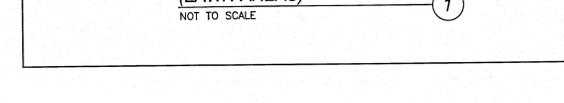
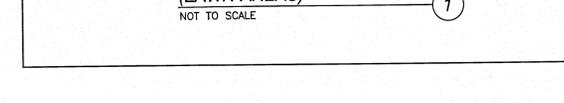
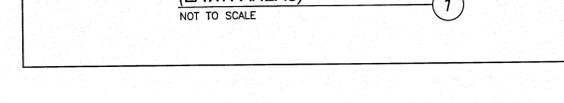
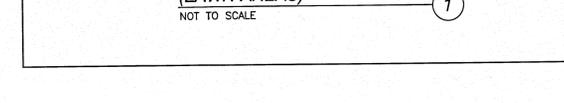
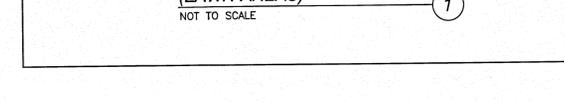
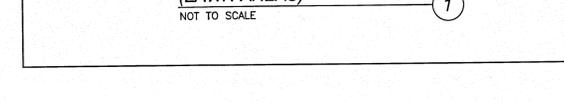
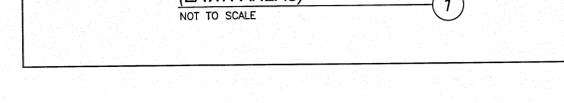
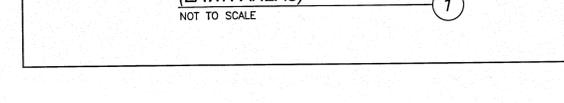
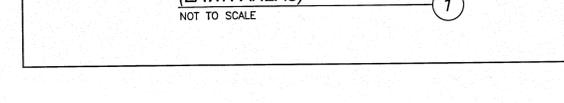
CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY AND IS RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT.  
 THE SWP3, INCLUDING COPIES OF THE NOI, THE LETTER GRANTING PERMIT COVERAGE AND THE NPDES CONSTRUCTION STORM WATER GENERAL PERMIT SHALL BE MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. THE SWP3 MUST BE SIGNED BY THE PERMITTEE OR A DULY AUTHORIZED REPRESENTATIVE, AS DEFINED IN THE GENERAL PERMIT (PART V.G).  
**CERTIFICATION:**  
 I HEREBY CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

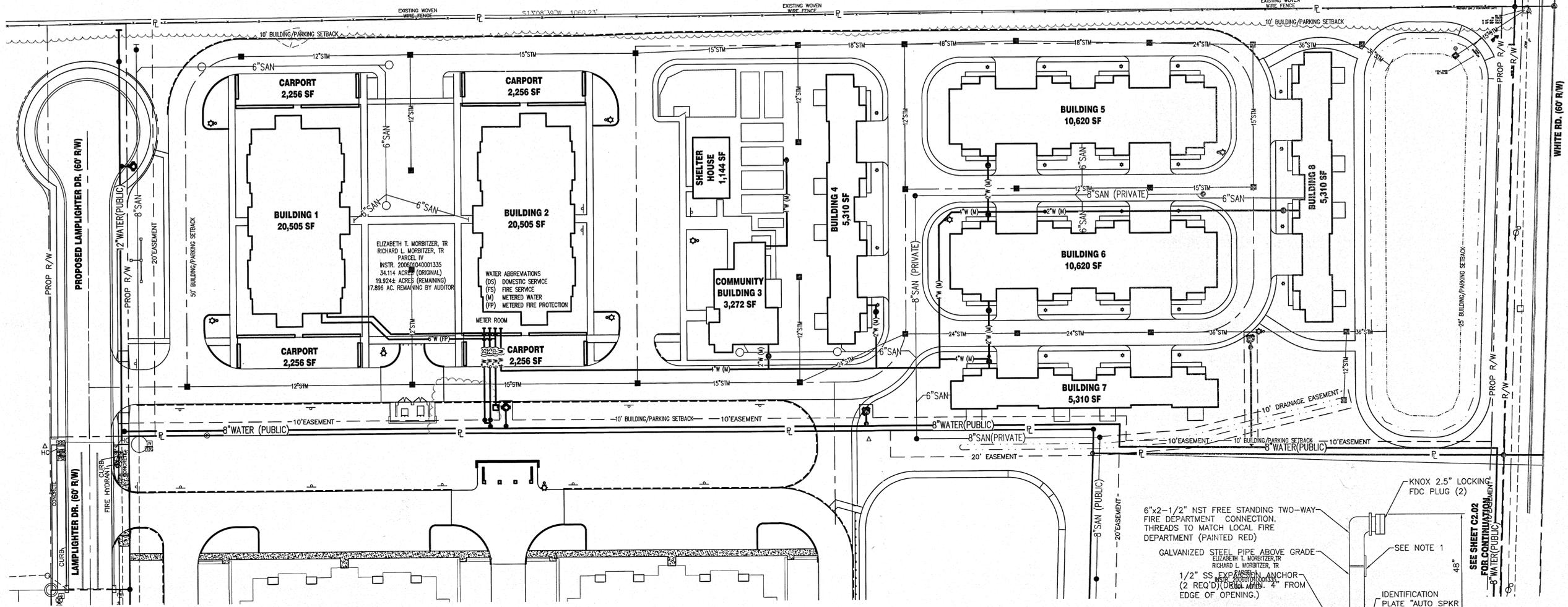
PERMITTEE DATE  
 TIMING OF SEDIMENT-TRAPPING PRACTICES: SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT ANY SITE DEMOLITION AND/OR EARTH-DISTURBING ACTIVITY.  
 PERMITTEE CONTROLS & OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.  
 FOR DISTURBED AREAS WITHIN 50 FEET OF A STREAM REMAINING DORMANT FOR OVER 21 DAYS, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS.  
 FOR DISTURBED AREAS OVER 50 FEET FROM A STREAM REMAINING DORMANT FOR OVER 21 DAYS, TEMPORARY EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS.  
 FOR DISTURBED AREAS THAT WILL BE LEFT IDLE OVER WINTER, TEMPORARY EROSION CONTROLS SHALL BE APPLIED PRIOR TO ONSET OF WINTER WEATHER.  
 FOR DISTURBED AREAS WITHIN 50 FEET OF A STREAM, AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 2 DAYS OF REACHING FINAL GRADE.  
 FOR DISTURBED AREAS REMAINING DORMANT FOR OVER 1 YEAR OR AT FINAL GRADE, PERMANENT EROSION CONTROLS SHALL BE APPLIED WITHIN 7 DAYS.  
 SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED FOR OVER 14 DAYS.  
 SEDIMENT BARRIERS: SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.  
 SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES & WATER RESOURCES FROM SEDIMENT TRANSPORTED

BY SHEET FLOW.  
 TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED & SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.  
 ALL CONCENTRATED WATER SOURCES SHALL DISCHARGE INTO A VIABLE SEDIMENT BASIN.  
 SEDIMENT BASINS SHALL BE CLEANED OUT ANY TIME ACCUMULATED SILT OCCUPIES 40% OF THE BASIN DEPTH.  
 ALL WATER SOURCES SHALL DISCHARGE IN A NON-EROSIVE MANNER.  
 ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR SILT FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.  
 PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER & IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY & TO SURVIVE ADVERSE WEATHER CONDITIONS.  
**INSPECTION SCHEDULE:**  
 1. DIVERSION SWALE & STRUCTURAL PROTECTION - INSPECT EVERY 15 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.  
 2. INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL & DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.  
 3. VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS & REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.  
 NON-SEDIMENT POLLUTANT CONTROLS: HAZARDOUS/TOXIC WASTES SHALL NOT BE DISPOSED OF ON-SITE OR DUMPED INTO SEWERS, DRAINS OR CATCH BASINS. ANY HAZARDOUS/TOXIC WASTE SHALL BE DISPOSED OF OFF-SITE AT AN APPROVED LOCATION AND/OR TAKEN TO AN APPROVED RECYCLING CENTER.  
**CONSTRUCTION SEQUENCE:**

1. THE CONTRACTOR SHALL ESTABLISH A STABILIZED CONSTRUCTION ENTRANCE.
2. THE CONTRACTOR SHALL PLACE THE REQUIRED SEDIMENT FENCE, DITCH CHECKS AND OTHER PERIMETER CONTROLS.
3. THE CONTRACTOR SHALL ESTABLISH ALL SEDIMENT BASINS AND SEDIMENT CONTROL STRUCTURES INCLUDING THE DETENTION POND AND OUTLET STRUCTURE PRIOR TO DENUDED.
4. THE CONTRACTOR SHALL PERFORM SITE EARTHWORK OPERATIONS IN ACCORDANCE WITH THE PLAN DETAILS AND NOTES. PROVISIONS FOR INLET PROTECTION SHALL BE ESTABLISHED AS REFERENCED BY THE DETAILS SHOWN HEREIN. THE CONTRACTOR SHALL APPLY WATER OR DUST PALLIATIVE ON DISTURBED AREAS DURING CONSTRUCTION TO ALLEVIATE OR PREVENT DUST NUISANCE PER ITEM 616. DUST PALLIATIVE SHALL CONSIST OF CALCIUM CHLORIDE MEETING THE REQUIREMENTS OF SECTION 712.02. THE WATER OR CALCIUM CHLORIDE SHALL BE SPREAD UNIFORMLY OVER THE SURFACE OF THE DISTURBED AREAS.
5. EXPOSED SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED.
6. THE CONTRACTOR SHALL PLACE SEEDING AND MULCHING AS NECESSARY TO STABILIZE ALL DENUDED AREAS. ALL DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN (7) DAYS OF DISTURBANCE IF THEY ARE TO BE SUBSTANTIALLY UNWORKED FOR MORE THAN 21 DAYS OR IF THEY ARE AT FINAL GRADE.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE ESTABLISHED VEGETATIVE COVER.
8. AFTER REMOVAL OF EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL DREDGE ALL SEDIMENT DEPOSITED WITHIN THE RETENTION POND AND PROVIDE CONFIRMATION THAT THE BASIN HAS BEEN RESTORED TO ITS DESIGN GRADE THROUGH THE COMPLETION OF A BASIN VERIFICATION SURVEY.

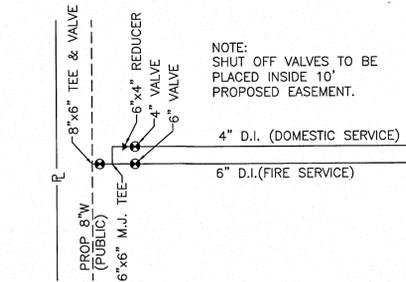
THE PERMITTEE OR HIS/HER AGENT SHALL MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES IN ACCORDANCE WITH THE INSPECTION SCHEDULE OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN(S). THE PURPOSE OF SUCH INSPECTIONS WILL BE TO DETERMINE THE OVERALL EFFECTIVENESS OF THE CONTROL PLAN AND THE NEED FOR ADDITIONAL CONTROL MEASURES. ALL INSPECTIONS SHALL BE DOCUMENTED IN WRITTEN FORM.  
 OEPA NOTICE OF INTENT (NOI): DEVELOPER SHALL OBTAIN A NOI FROM THE OEPA AND MAINTAIN SWP3 PROVISIONS THROUGHOUT THE DURATION OF THE PROJECT. NO CONSTRUCTION WORK SHALL BEGIN WITHOUT AN APPROVED AND CURRENT OHIO EPA NOTICE OF INTENT (NOI).  
 EROSION CONTROL FABRIC: JUTE MATTING, EXCLOSIR MATTING OR A SIMILAR PRODUCT IS TO BE APPLIED ON SLOPES OF 2:1 OR GREATER. INSTALL MATTING PER MANUFACTURER AND INDUSTRY STANDARDS.  
 CONCRETE WASHOUT AREA: THE CONTRACTOR SHALL PROVIDE FOR AN ISOLATED CONCRETE WASHOUT AREA ON-SITE. THIS LOCATION SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS OR, IF NOT SHOWN, THE LOCATION SHALL BE DETERMINED AT THE PRECONSTRUCTION CONFERENCE. NO CONCRETE DISPENSING VEHICLES SHALL BE PERMITTED TO DISCHARGE WASH WATER INTO A PRIVATE OR PUBLIC STORM SEWER SYSTEM.  
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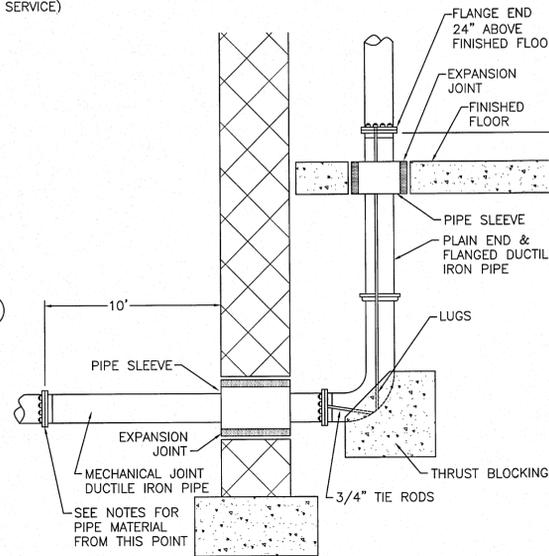


HYDRANT FLOW DATA

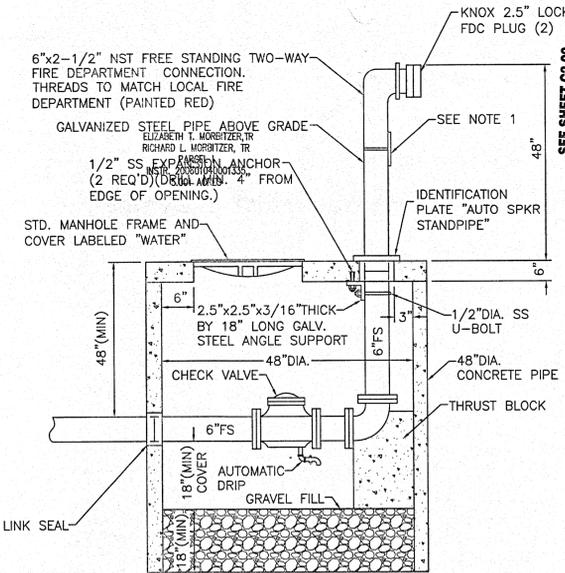
COC FLOW TEST ID	2078
DATE	6/2/12
TIME	9:00 AM
STATIC PRESSURE	100 PSI
RESIDUAL PRESSURE	77 PSI
PITOT 1	45 PSI
PITOT 2	NONE
OUTLET	4" DIFF
FLOW	2400 GPM
FLOW @ 20PSI	4700 GPM
WATER DISTRICT	BIG RUN
PIPE SIZE	12"
ELEVATION	743
HYDRANT OWNER	GROVE CITY
COEFFICIENT	0.75
CH	976
HSL	974



WATER TAP DETAIL  
 NOT TO SCALE



WATER TURN-UP DETAIL  
 NOT TO SCALE



NOTE:  
 1. PERMANENT METAL SIGN OF 6"x11" MUST BE FIRMLY BANDED AT FIRE DEPARTMENT CONNECTION RISER WITH THE LETTERS OR NUMBERS, A MINIMUM OF 2" IN HEIGHT, WITH THE FOLLOWING:  
 A. "FDC" WITH THE NUMBER(S) OF THE ADDRESS RANGE THAT THE FIRE DEPARTMENT CONNECTION SUPPLIES  
 B. THE BACKGROUND COLOR SHALL BE RED WITH WHITE LETTERS.  
 C. INDICATE THE PRESSURE REQUIRED TO DELIVER THE GREATEST SYSTEM DEMAND.

FIRE DEPARTMENT CONNECTION DETAIL  
 NOT TO SCALE

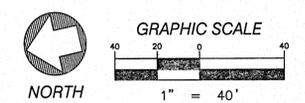
NOTES  
 PIPING 4" & 6": AWWA C151, AWWA C115, & NSF 61; ANSI A21.6 OR A21.8 DUCTILE IRON PIPE, AWWA C104 & ANSI A21.4 CEMENT-LINED, BITUMASTIC ENAMEL-COATED EXTERIOR, THICKNESS CLASS 53, PRESSURE CLASS 250, PUSH-ON JOINTS, AWWA C111 RUBBER GASKET. FLANGED JOINT WITHIN BUILDING.

DUCTILE IRON FITTINGS: MECHANICAL-JOINT, DUCTILE IRON IN ACCORDANCE WITH AWWA C110/ANSI A21.10 & AWWA C111/ANSI A21.11, & CONFORMING TO DETAILS & DIMENSIONS PUBLISHED THEREIN. FITTINGS SHALL BE CEMENT-LINED & SEAL COATED IN ACCORDANCE WITH AWWA C104/ANSI A21.4.

GLANDS, GASKETS & BOLTS: AWWA C111, DUCTILE GLANDS, RUBBER GASKETS & STEEL BOLTS.

COORDINATE ALL CROSSINGS &/OR PENETRATIONS OF FOUNDATION WALLS WITH ARCHITECTURAL/STRUCTURAL PLANS.

COORDINATE LOCATION OF ALL FLOOR PENETRATIONS WITH BUILDING PLUMBING PLANS.



**SANDS DECKER CPS**  
 ENGINEERS • SURVEYORS

11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140

1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

GROVE CITY CONTORL #201509310058

LAMPLIGHTER SENIOR VILLAGE II  
 SITE IMPROVEMENT PLAN  
 GROVE CITY, OHIO

OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST MAIN STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566

SCALE: - AS NOTED  
 DATE: SEPTEMBER 25, 2013 SHEET: C2.01

14-1287  
14-1283  
14-1289  
14-1285

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

MORBITZER JENNIFER J.  
TR.

MORBITZER FAMILY LLC

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

GARY L. MORBITZER  
MARY A. MORBITZER  
O.R. 34841 H17  
1.135 ACRES

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

SEE SHEET C2.01  
FOR CONTINUATION

BUILT 5,9,21

BUILT 10,6,1

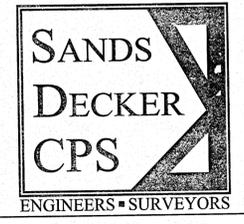
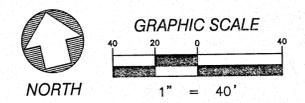
8" WATER PUBLIC (COC WATER PLANS)

WHITE ROAD

CONNECT TO EXISTING  
WATERLINE

50

51



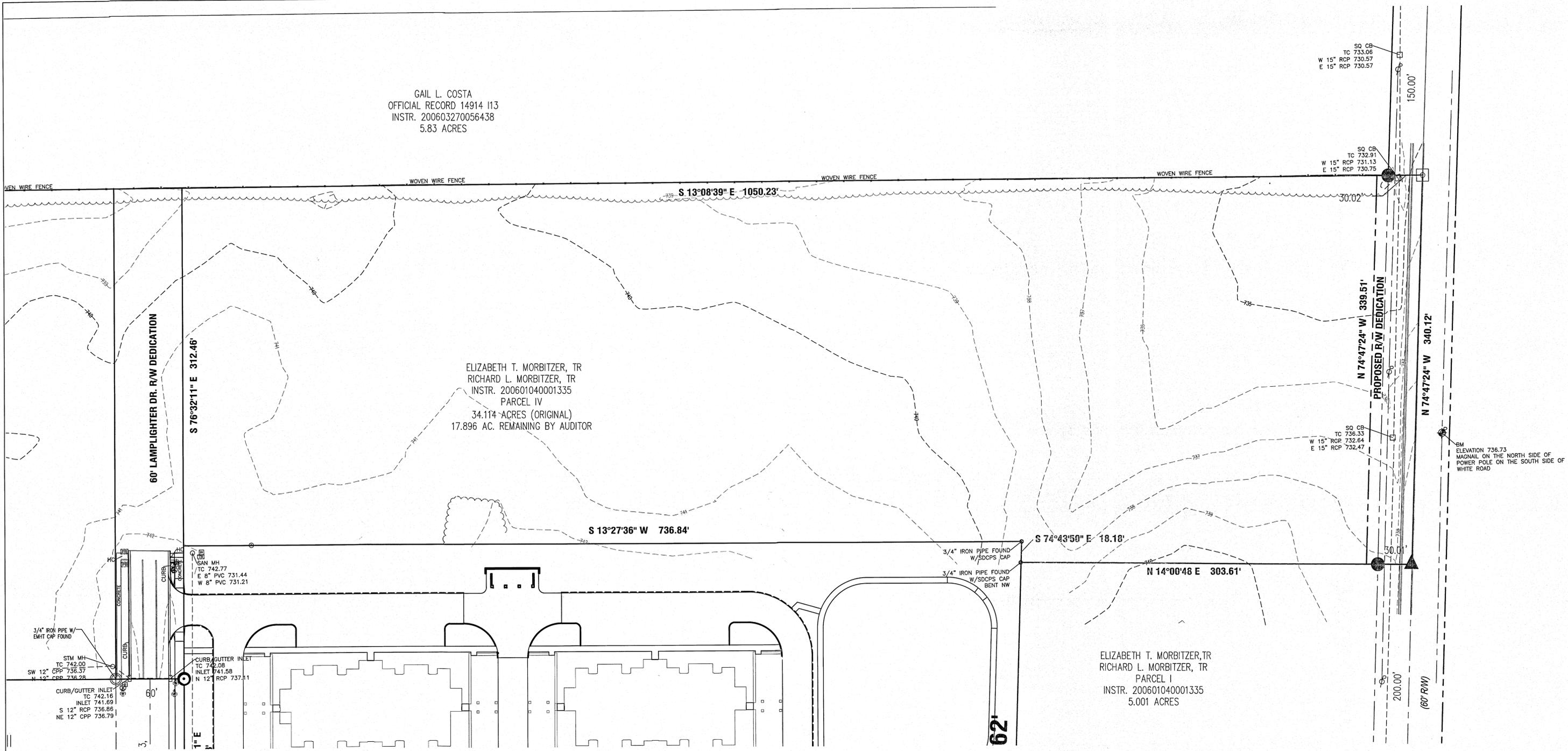
11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140  
  
1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600  
  
507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

GROVE CITY CONTORL #201509310058	
LAMPLIGHTER SENIOR VILLAGE II SITE IMPROVEMENT PLAN GROVE CITY, OHIO	
OWNER: LAMPLIGHTER II SENIOR HOUSING LLC 184 WEST MAIN STREET ASHVILLE, OHIO 43103 740-983-4566	
SCALE: - AS NOTED	
DATE: SEPTEMBER 25, 2013	SHEET: C2.02

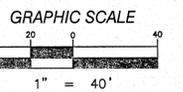
GAIL L. COSTA  
 OFFICIAL RECORD 14914 I13  
 INSTR. 200603270056438  
 5.83 ACRES

ELIZABETH T. MORBITZER, TR  
 RICHARD L. MORBITZER, TR  
 INSTR. 200601040001335  
 PARCEL IV  
 34.114 ACRES (ORIGINAL)  
 17.896 AC. REMAINING BY AUDITOR

ELIZABETH T. MORBITZER, TR  
 RICHARD L. MORBITZER, TR  
 PARCEL I  
 INSTR. 200601040001335  
 5.001 ACRES



EM  
 ELEVATION 736.73  
 MAGNAIL ON THE NORTH SIDE OF  
 POWER POLE ON THE SOUTH SIDE OF  
 WHITE ROAD



**811**  
 Know what's below.  
 Call before you dig.

**SANDS  
 DECKER  
 CPS**  
 ENGINEERS • SURVEYORS

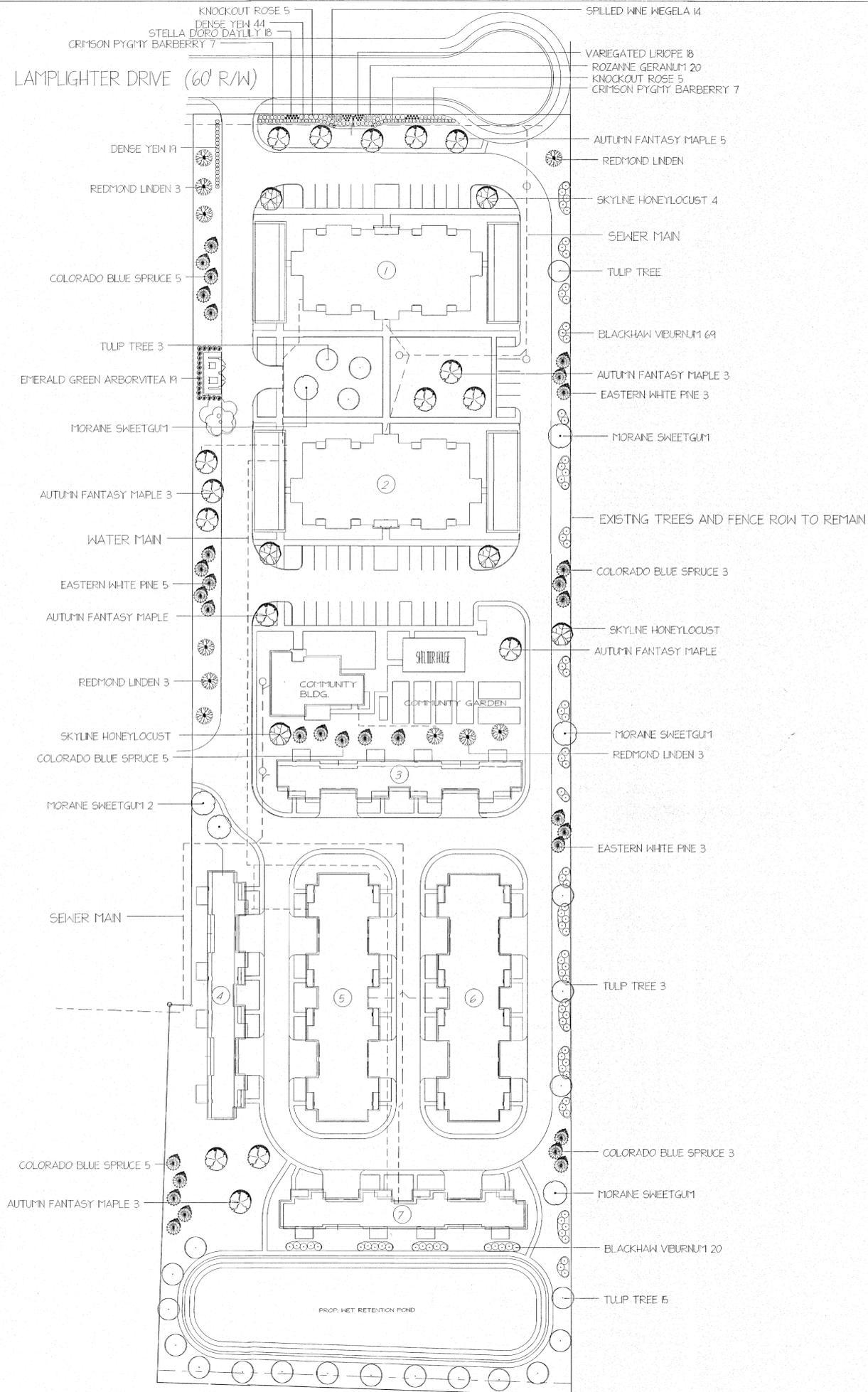
11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140  
  
 1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600  
  
 507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

**LAMPLIGHTER SENIOR VILLAGE II  
 FINAL DEVELOPMENT PLAN**  
 GROVE CITY, OHIO  
  
 OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST MAIN STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566  
  
 SCALE: - AS NOTED  
 DATE: AUGUST 31, 2015 SHEET: S1.01

COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREES</b>		
AUTUMN FANTASY MAPLE	2"	16
SKYLINE HONEYLOCUST	2"	5
MORANE SWEETGUM	2"	6
TULIP POPLAR	2"	22
REDMOND LINDEN	2"	10
<b>EVERGREEN TREES</b>		
COLORADO BLUE SPRUCE	6'	21
EASTERN WHITE PINE	6'	11
EMERALD GREEN ARBORVITEA	6'	19
<b>SHRUBS</b>		
BLACKHAW VIBURNUM	30"	89
CRIMSON PYGMY BARBERRY	# 3	14
KNOCKOUT ROSE	# 3	10
DENSE YEW	18-24"	63
SPILLED WINE WIEGELA	# 3	14
<b>PERENNIALS</b>		
ROZANNE GERANIUM	# 1	20
STELLA D'ORO DAYLILY	# 1	18
VARIEGATED LIRIOPE	# 1	18
21,320 sq. ft.		

### GENERAL PLANTING NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED. ALL PLANT MASSES TO BE INCORPORATED BY CONTINUOUS MULCH BED TO LIMITS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN & PLANTING BED AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SOD/SEED ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT MATERIALS LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
- CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL INCLUDING PLANTS AS VIABLE AND THRIVING.
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR CHANGES TO THE DESIGN SHALL BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- NATIVE OR ADAPTIVE PLANTS HAVE BEEN SELECTED FOR THE ENTIRE PROJECT. NO IRRIGATION WILL BE NECESSARY ONCE THE PLANTS ARE ESTABLISHED.
- SERVICE STRUCTURES INCLUDING BUT NOT LIMITED TO PROPANE TANKS, TRASH DUMPSTERS, GROUND MOUNTED TRANSFORMERS, AIR CONDITIONERS, HEAT PUMPS, UTILITY VAULTS WHICH EXTEND ABOVE GRADE AND OTHER EQUIPMENT AND ELEMENTS PROVIDING SERVICE TO A BUILDING SHALL BE SCREENED ON ALL SIDES OF THE BUILDINGS.



NOTES

No.	Date	Description

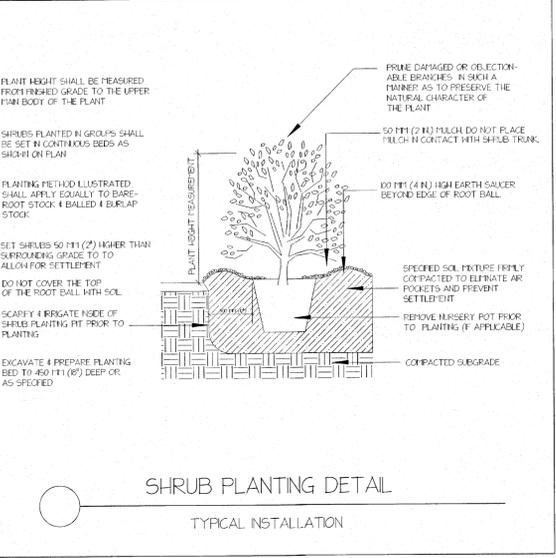
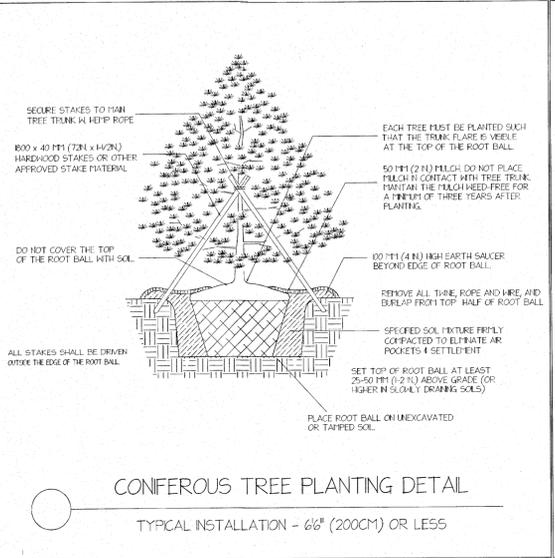
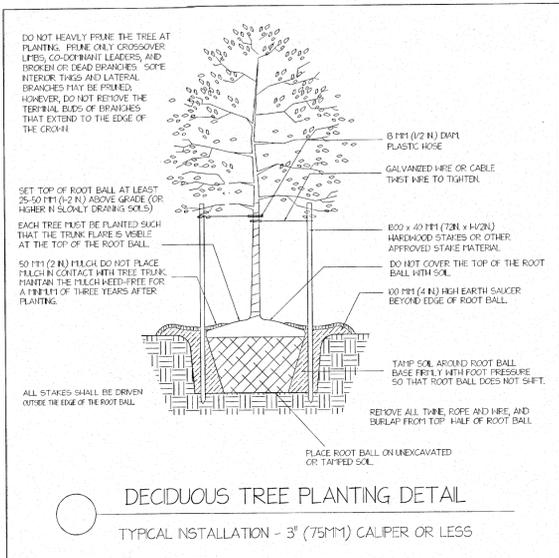
**RHOADS**  
LANDSCAPING

1051 STATE ROUTE 56 EAST  
CIRCLEVILLE, OH 4313  
(740) 474-2028  
(800) 378-8934

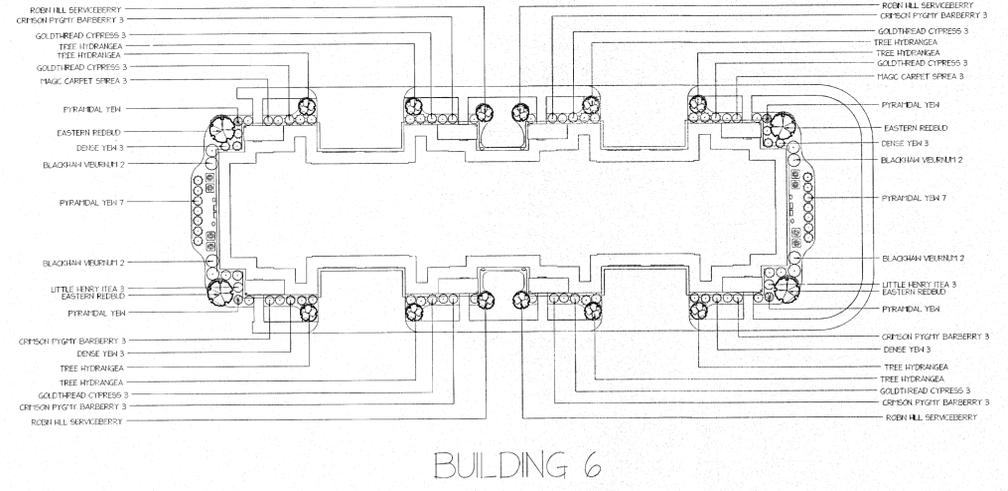
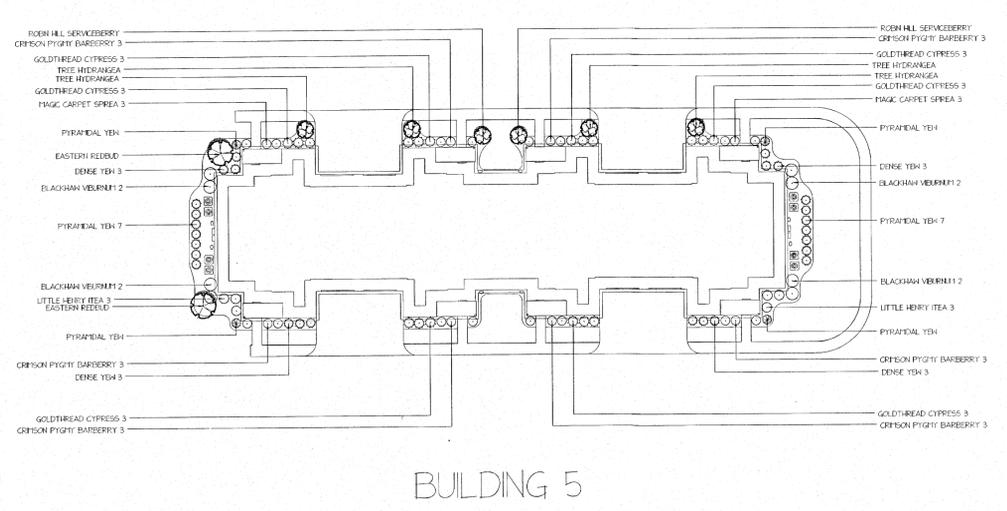
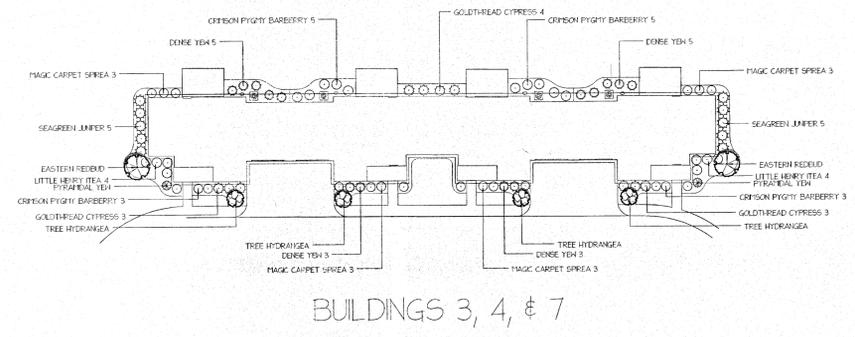
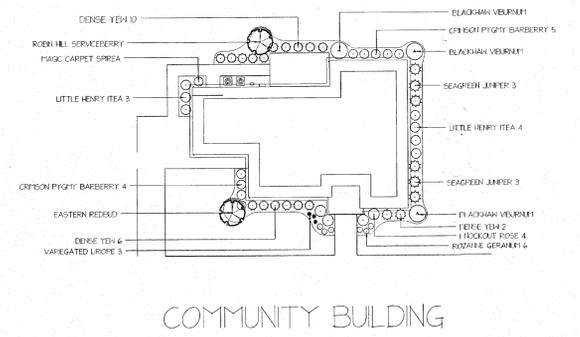
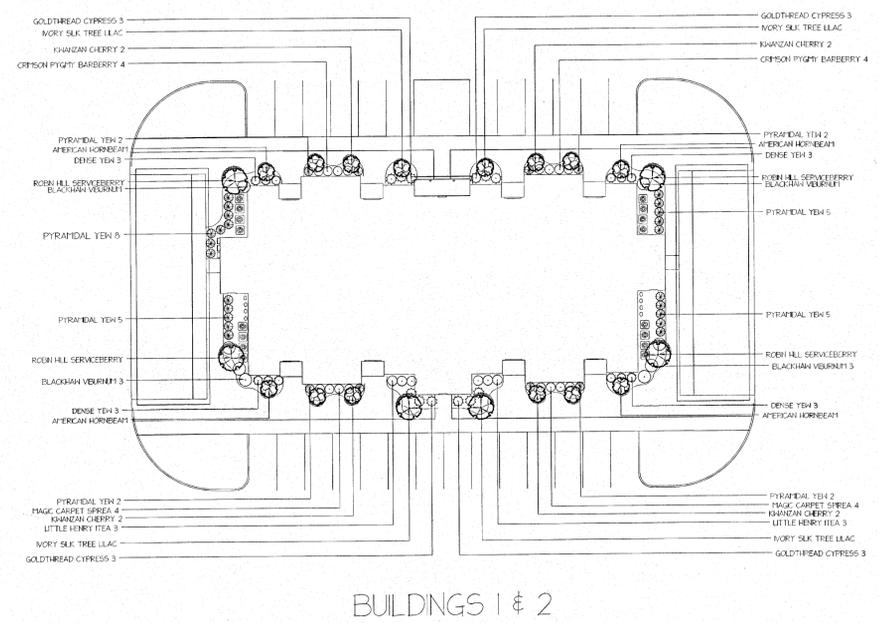
LAMPLIGHTER SENIOR VILLAS  
PHASE 2

GROVE CITY, OHIO

SCALE 1" = 50'	PROJECT NO. 201509310058
DRAWN BY ERN PANCAKE	SHEET NO. L 1
CHECKED BY JEREMY NEFF	DATE 9/24/15
DATE 9/24/15	DATE OF PRINT



COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREES</b>		
ROBIN HILL SERVICBERRY	2"	15
AMERICAN HORNBEAM	2"	8
EASTERN REDBUD	2"	13
TREE HYDRANGEA	2"	18
KWANZAN CHERRY	2"	16
IVORY SILK JAPANESE LILAC TREE	2"	8
<b>SHRUBS</b>		
CRIMSON PYGMY BARBERRY	# 3	109
GOLDTHREAD CYPRESS	# 3	90
LITTLE HENRY ITEA	# 3	55
SEA GREEN JUNPER	# 3	36
KNOCKOUT ROSE	# 3	4
MAGIC CARPET SPIREA	# 3	68
DENSE YEW	24"	108
PYRAMIDAL YEW	3'	108
BLACKHAW VIBURNUM	# 5	35
<b>PERENNIALS</b>		
ROZANNE GERANIUM	# 1	6
VARIEGATED LIRIOPE	# 1	3
19,765 SQ FT		



No.	Date	Description

**RHOADS**  
LANDSCAPING

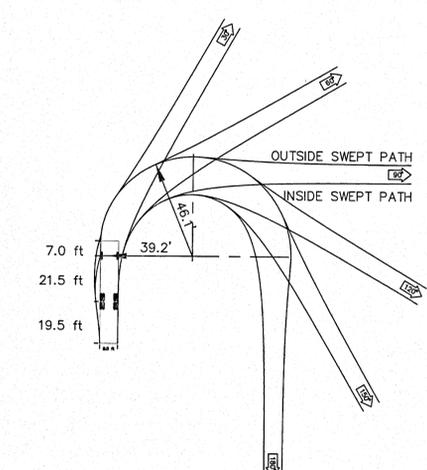
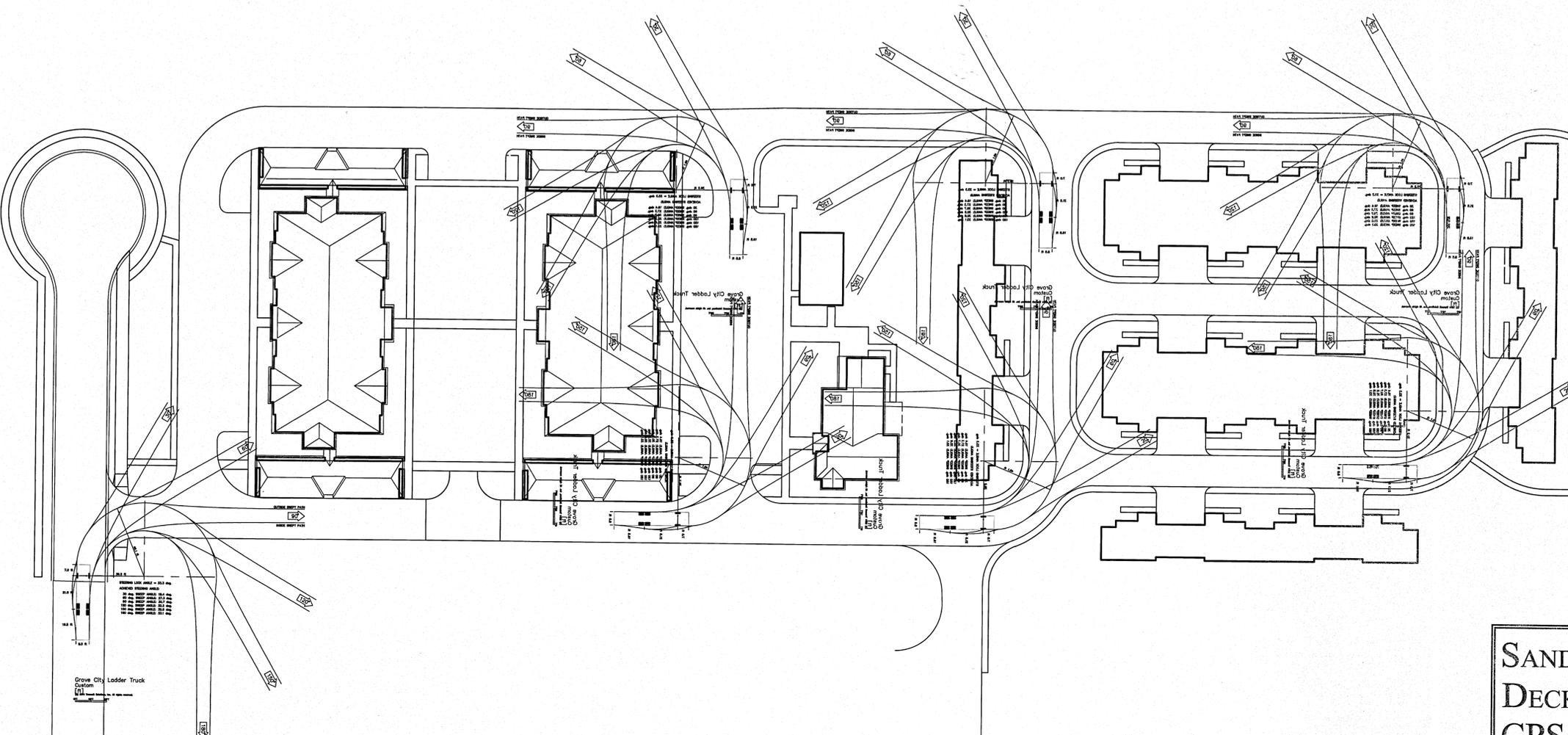
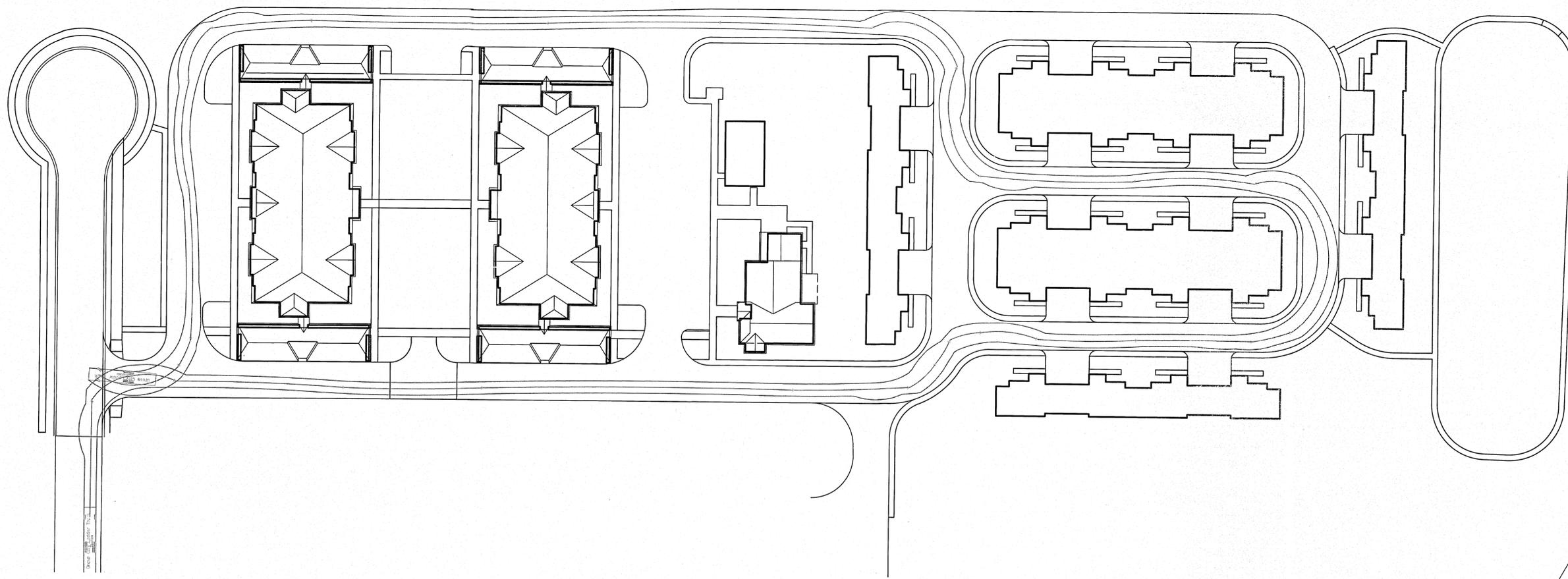
1051 STATE ROUTE 56 EAST  
CIRCLEVILLE, OH 43113  
(740) 474-2028  
(800) 378-8934

LAMPLIGHTER SENIOR VILLAS  
PHASE 2

GROVE CITY, OH

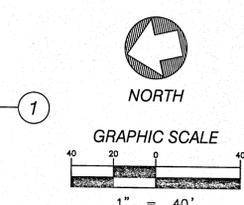
SCALE: 1" = 30'	PROJECT NO.: 2050930058
DRAWN BY: ERN PANCAKE	SHEET NO.: L2
CHECKED BY: JEREMY NEFF	DATE: 9/24/15
DATE OF PRINT:	





STEERING LOCK ANGLE = 33.3 deg.  
 ACHIEVED STEERING ANGLE:  
 30 deg. SWEEP ANGLE: 19.4 deg.  
 60 deg. SWEEP ANGLE: 27.3 deg.  
 90 deg. SWEEP ANGLE: 30.7 deg.  
 120 deg. SWEEP ANGLE: 32.2 deg.  
 150 deg. SWEEP ANGLE: 32.8 deg.  
 180 deg. SWEEP ANGLE: 33.1 deg.

MADISON TOWNSHIP FD  
 LADDER TRUCK  
 NOT TO SCALE

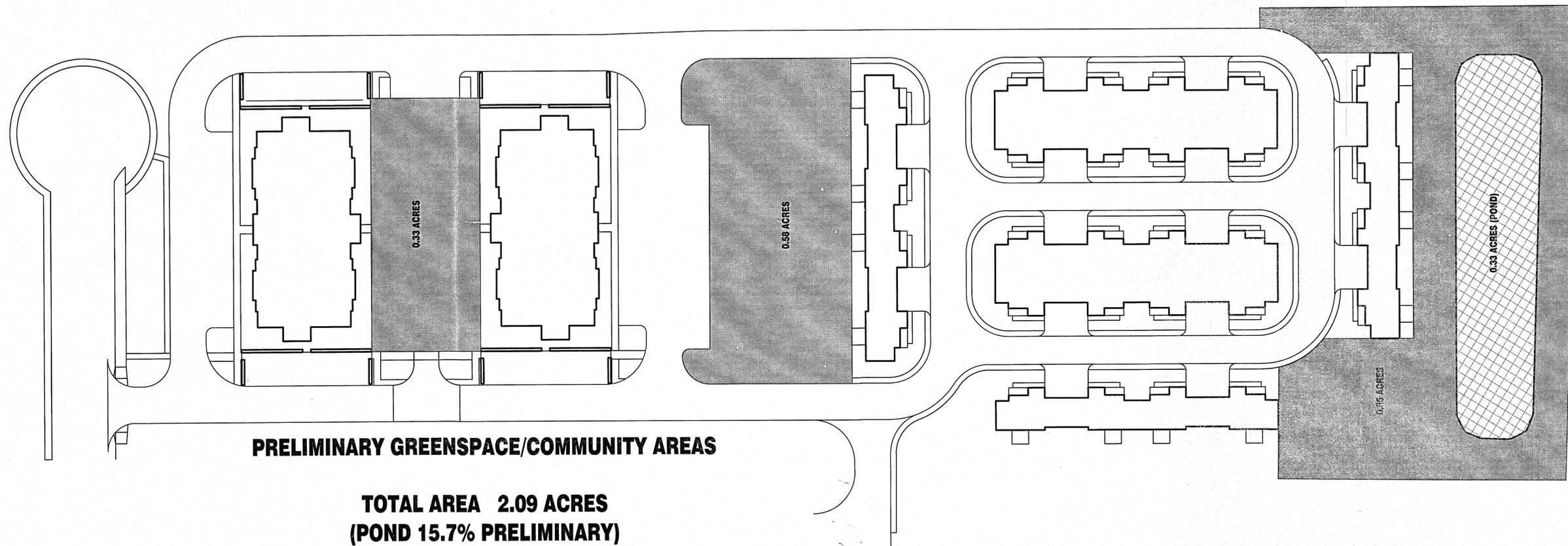


Grove City Ladder Truck  
 Custom

**SANDS  
 DECKER  
 CPS**  
 ENGINEERS • SURVEYORS

11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140  
 1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600  
 507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

GROVE CITY CONTORL #201509310058  
**LAMPLIGHTER SENIOR VILLAGE II  
 MADISON TWP FIRE DEPT EXHIBIT**  
 GROVE CITY, OHIO  
 OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST MAIN STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566  
 SCALE: - AS NOTED  
 DATE: SEPTEMBER 25, 2013 SHEET: MTFD EXHIBIT



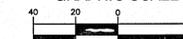
**PRELIMINARY GREENSPACE/COMMUNITY AREAS**

**TOTAL AREA 2.09 ACRES  
(POND 15.7% PRELIMINARY)**

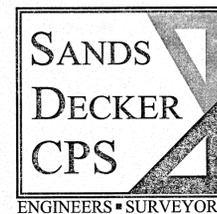


NORTH

GRAPHIC SCALE



1" = 40'



11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140

1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

GROVE CITY CONTORL #201509310058

LAMPLIGHTER SENIOR VILLAGE II  
MADISON TWP FIRE DEPT EXHIBIT  
GROVE CITY, OHIO

OWNER:  
LAMPLIGHTER II SENIOR HOUSING LLC  
184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566

SCALE: - AS NOTED

DATE: SEPTEMBER 25, 2015 SHEET: GS/C EXHIBIT

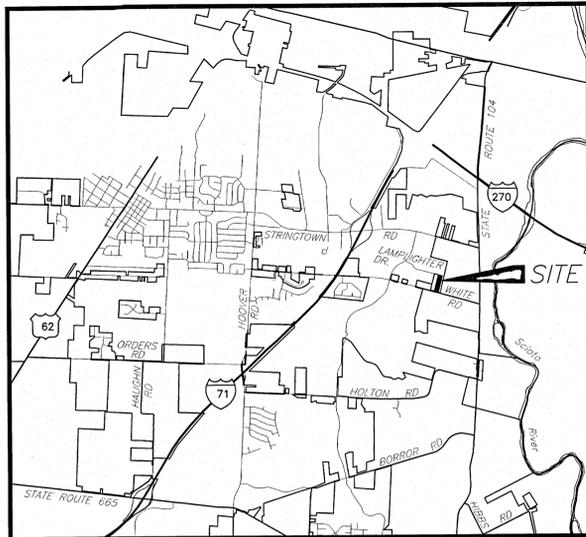
# GROVE CITY, OHIO

## SANITARY SEWER IMPROVEMENT PLAN

### FOR

# LAMPLIGHTER SENIOR VILLAGE II

## 2015



**LOCATION MAP**  
NOT TO SCALE

**PROJECT DATA:**

SEWER TREATMENT AUTHORITY:  
CITY OF COLUMBUS, OHIO  
(BY CONTRACT WITH CITY GROVE CITY, OHIO)  
3262 VENTURA BLVD.  
GROVE CITY, OHIO 43123  
CONTACT: LES SPRING, DIRECTOR OF PUBLIC SERVICE  
(614) 227-1100

PROJECT OWNER:  
LAMPLIGHTER II SENIOR HOUSING LLC  
184 WEST MAIN STREET  
ASHVILLE, OH 43103  
CONTACT: TODD VALENTINE  
(740) 983-4566

DESIGN ENGINEER:  
SANDS DECKER CPS  
1495 OLD HENDERSON RD.  
COLUMBUS, OH 43220  
CONTACT: MARK ANTONETZ P.E.  
(614) 459-6992

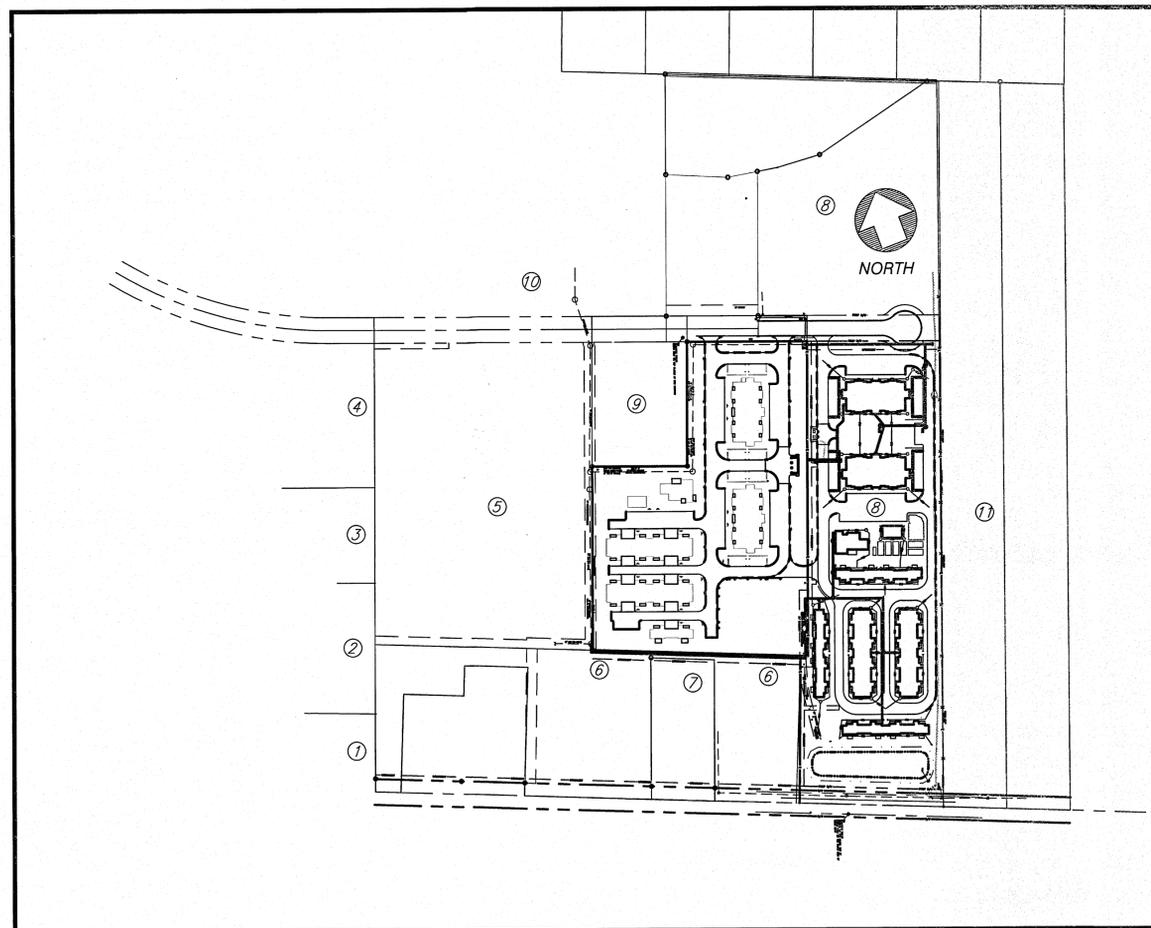
**BENCHMARKS:**

SOURCE:  
FRANKLIN COUNTY ENGINEERS MONUMENT FCGS 0025,  
ALUMINUM CAP IN PVC ENCASED CONCRETE MONUMENT  
SET OVER A STONE FOUND AT AN ANGLE POINT IN THE  
CENTERLINE OF WHITE ROAD, 0.40 MILES WEST OF  
JACKSON PIKE, ON A P/L NORTH.  
ELEVATION 734.917 NAVD 88

BM1:  
CHISELED 'X' ON THE NORTH BOLT OF A FIRE HYDRANT  
LOCATED 21 FEET SOUTH OF THE CENTERLINE OF  
LAMPLIGHTER DRIVE AND 13 FEET NORTHWEST OF THE  
NORTHEAST CORNER OF THE LAMPLIGHTER HOLDING CO  
LLC PARCEL AT 1239 LAMPLIGHTER DRIVE.  
ELEVATION 745.49

BM2:  
CHISELED 'X' ON THE NORTH BOLT OF A FIRE HYDRANT  
LOCATED 21 FEET SOUTH OF THE CENTERLINE OF  
LAMPLIGHTER DRIVE AND 40 FEET WEST OF THE  
NORTHWEST CORNER OF THE LAMPLIGHTER HOLDING CO  
LLC PARCEL AT 1239 LAMPLIGHTER DRIVE.  
ELEVATION 746.98

- ① BURTON MARIE M  
1390 CASCADE DR  
GROVE CITY OH 43123
- ② BALABAN JANET E  
4121 WATERSIDE PL  
GROVE CITY OH 43123
- ③ PADEN MICHAEL J  
PADEN BETTY C  
4157 WATERSIDE DR  
GROVE CITY OH 43123
- ④ BILLINGS RANDY  
BILLINGS KATHLEEN  
4238 WATERSIDE PL  
GROVE CITY OH 43123
- ⑤ INN AT GROVE CITY LLC  
3131 ELLIOT AVE STE 500  
SEATTLE WA 98121
- ⑥ MORBITZER ELIZABETH T TR  
MORBITZER RICHARD L TR  
1237 WHITE RD  
GROVE CITY OH 43123
- ⑦ GARY L & MARY A MORBITZER  
1260 WHITE RD  
GROVE CITY OH 43123
- ⑧ MORBITZER ELIZABETH T TR  
MORBITZER RICHARD L TR  
1237 WHITE RD  
GROVE CITY OH 43123
- ⑨ LAMPLIGHTER HOLDING LLC  
10501 BLACKLICK E RD 500  
PICKERINGTON OH 43147
- ⑩ PARKWAY CENTRE EAST LLC  
150 E BROAD ST  
COLUMBUS OH 43215
- ⑪ COSTA GAIL L  
1180 WHITE RD  
GROVE CITY OH 43123



**AREA MAP**  
SCALE: 1"=200'

**SANITARY SEWER SERVICE NOTE:**

PER GROVE CITY/COLUMBUS SEWER SERVICE AGREEMENT,  
ANNEXATION IS REQUIRED FOR ACCESS TO SANITARY SEWER.

**STANDARDS NOTE:**

THIS SANITARY SEWER MEETS OR EXCEEDS CITY OF COLUMBUS  
DESIGN STANDARDS (INCLUDING PER CAPITA FLOW, PEAKING  
FACTOR, AND 1/I ALLOWANCE) AND MATERIAL SPECIFICATIONS.

**APPROVALS**

CITY OF GROVE CITY SIGNATURES ON THIS PLAN SIGNIFY ONLY  
CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF  
THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE  
RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

\_\_\_\_\_  
MAYOR THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
CITY ADMINISTRATOR THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
SERVICE DIRECTOR THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
SAFETY DIRECTOR THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
CITY ENGINEER THE CITY OF GROVE CITY, OHIO DATE

\_\_\_\_\_  
CHIEF JACKSON TOWNSHIP FIRE DEPARTMENT DATE

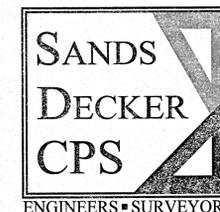
**CITY OF COLUMBUS APPROVALS**

CITY OF COLUMBUS SIGNATURES ON THIS PLAN SIGNIFY ONLY  
CONCURRENCE WITH THE PURPOSE AND GENERAL LOCATION OF THE  
PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF  
THE ENGINEER PREPARING THE PLANS.

APPROVAL ON THE PART OF THE CITY OF COLUMBUS IS GIVEN  
PURSUANT TO THE PROVISION IN THE SEWER SERVICE AGREEMENT  
WITH THE CITY OF GROVE CITY DATED MARCH 20, 2001 AND ALL  
SUBSEQUENT AMENDMENTS THEREOF.

\_\_\_\_\_  
ADMINISTRATOR, DIVISION OF SEWERAGE & DRAINAGE DATE  
CITY OF COLUMBUS, OHIO

\_\_\_\_\_  
DIRECTOR OF PUBLIC UTILITIES DATE  
CITY OF COLUMBUS, OHIO



11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140  
  
1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600  
  
507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

PM xxx/xxx CC-xxxxx
<b>GROVE CITY CONTORL #201509310058</b>
<b>LAMPLIGHTER SENIOR VILLAGE II SITE IMPROVEMENT PLAN</b> GROVE CITY, OHIO
OWNER: <b>LAMPLIGHTER II SENIOR HOUSING LLC</b> 184 WEST MAIN STREET ASHVILLE, OHIO 43103 740-983-4566
SCALE: - AS NOTED
DATE: SEPTEMBER 25, 2015 SHEET: C3.01

1. SPECIFICATIONS: The current City of Columbus and Ohio Department of Transportation (ODOT) "Construction and Material Specifications" (CMSC and ODOT CMS respectively) together with the requirements of the City of Grove City, Ohio, including all supplements thereto, in force on the date of the contract shall govern all materials and workmanship involved in the improvements shown on these plans except as such specifications are modified by the following specifications, or by the construction details set forth herein. In case of any conflict among these identified technical specifications, the greater requirement shall take precedence (as determined by the sole discretion of the City) unless directed otherwise by the City.

General provisions of the ODOT and the City of Columbus CMS as modified herein shall not apply. This exclusion includes but is not necessarily limited to Division 100 of the ODOT and City of Columbus CMS.

2. Bench marks: The Contractor shall carefully preserve bench marks, property corners, reference points, and stakes. Any bench mark, property corner, or survey marker damaged or disturbed by the Contractor shall be reset by an Ohio Registered Surveyor at the Contractor's expense.

3. SAFETY REQUIREMENTS: The Contractor and any and all Subcontractors shall be solely responsible for complying with all federal, state, and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees) and property. It is also solely the responsibility of the Contractor and Subcontractor to initiate, maintain, and supervise all safety requirements, precautions and programs in connection with the work, including all OSHA rules and regulations.

4. PERMITS: The Contractor or Developer shall secure and pay for all permits and government fees, licenses, and inspections necessary for the proper execution and completion of the improvements shown on the plans.

5. Notification: The Contractor shall notify the Service Department and the City Engineer at least 48 hours in advance (holidays and weekends excluded) of the anticipated start of work requiring inspection, testing, or approval by the City Engineer. Work shall not commence until a pre-construction conference is held. The Contractor or Developer shall supply three (3) copies of the approved construction plans, along with one (1) complete set of mylars and one (1) electronic copy of all plan sheets (tif format), to the City Engineer, and one (1) copy of the plans to the Director of Public Service one (1) week prior to the pre-construction conference.

The Contractor shall notify all adjacent landowners a minimum of one (1) week in advance of work near their property. The Contractor shall coordinate with the City for a suggested format for the notice.

6. Inspection: The City of Grove City will provide all construction inspection for this project. No work shall commence until arrangements (Development Agreement) have been made with the City Engineer and Director of Public Service for inspection services and payment of the inspection fee deposit. The Development Agreement shall be completed and executed a minimum of 48 hours prior to the commencement of construction activities.

7. Utilities: The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the Owner of the underground utility as required by Section 153.64 or Section 3781.27 of the Ohio Revised Code. The City of Grove City assumes no responsibility for the accuracy of locations or depths of underground facilities shown on the approved construction drawings. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the utility owner, the City and the Design Engineer.

The Contractor shall notify the Ohio Utilities Protection Service (OUPS) at (1-800-362-2764) at least 48 HOURS, and NO MORE THAN 10 DAYS PRIOR TO excavating, with such time periods not including weekends or holidays. Contractor shall similarly contact all utility owners who are not subscribers to OUPS.

If there are markers or other apparent physical evidence in or near the project area that may indicate the existence of underground petroleum or natural gas pipelines, the Contractor shall additionally contact the Oil & Gas Producers Underground Protection Service (OGUPS) at 800-925-0988, toll free. Said notification shall be given a minimum of 48 hours prior to the commencement of construction.

The following utilities are known or can be expected to be located within the limits of this project.

UTILITY	OWNER	TELEPHONE
Water, Sanitary	City of Grove City	614-277-1100
Storm and Street	4035 Broadway	
Lighting Facilities	Grove City, Ohio 43123	

LIST UTILITIES	
Columbia Gas of Ohio	1-866-632-6243
Matt Coyne	1-614-818-2107

AEP/Columbus Southern	1-800-277-2177
Brent Gates	1-614-883-6802

AT&T	1-800-248-3632
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Columbus Department of Utilities	1-614-645-8276
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Time Warner Cable	1-800-617-4311
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Franklin County Engineers	1-614-525-3030
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Pioneer Energy Management	1-614-442-7100
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Marathon Pipe Line	1-740-522-8448
--------------------	----------------

LIST UTILITIES	
----------------	--

The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on the plans or not. The Contractor shall proceed with the work and protect all underground utilities in a manner at least as cautious and protective of safety and underground utilities as those methods identified in Sections 3781.25 through 3781.30 of the Ohio Revised Code.

All private utility relocation (gas, electric, phone, etc.) will be the responsibility of the utility owners. The Contractor is responsible for coordinating the relocation and/or protection of any utilities as required by the plan with the owner of the affected utility.

8. EXPOSE EXISTING UTILITY: Where potential grade and alignment conflicts might occur with existing utilities, or as specifically called out on the plans, the Contractor shall expose utilities or structure sufficiently in advance of laying pipe for the Design Engineer to verify the vertical and horizontal effect on the proposed construction. Any discrepancy with the plans shall be coordinated with the City to ensure that there are no construction or conflict issues associated with said discrepancy. The cost of this work shall be included in the unit price bid for the various improvement items if a specific bid item is not provided in the estimate of quantities.

9. CONFLICTS: In all conflicts in elevation between the water main and gravity sewers, the water main shall be lowered during construction, unless otherwise directed by the City.

10. Site Visit: The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions and the potential effects upon the scope of work.

11. Rights-of-Way: In addition to the direct requirements of the contract specifications, the Contractor shall observe and conform to the specific requirements of all Rights-of-Way, including easements, court entries, rights-of-entry, or action filed in court in accordance with the code of the applicable governing agency. The cost of the operations necessary to fulfill such requirements shall be included in the price bid for the

various items of the contract unless specific provision is made in the contract specifications for such cost under specific items of the contract.

12. EASEMENTS: A draft copy of any required easements shall be submitted to the City of Grove City for review prior to execution by the property owner. Approval of this plan is contingent upon all easements required for the construction of the work being secured and recorded by the Developer and a recorded copy submitted to the City. No work which requires an easement will be allowed to proceed until this has been done.

13. Work Limits: The Contractor is responsible for containing all performed work and all equipment, materials, vehicles, etc., used to complete the work within the rights-of-way of the streets, roadways, permanent easements and the property boundaries of the project improvements, as shown on these plans.

The Contractor is responsible for cost of restoration for any area outside of the right-of-way, permanent easement or project property boundaries to former condition or better and to the satisfaction of the Property Owner and the City.

14. Contract Work Performed by the City: In the event that it becomes necessary for the City to perform work of an immediate nature (such as the placement of barricades or replacement of signs or other warning or protective devices) required of the Contractor by this contract because of failure or refusal of the Contractor to perform such work, the Contractor/Developer shall reimburse the City at the Rate of 2.5 times the actual cost of labor, materials and equipment necessary to perform such work.

15. Convenience Facilities: The Contractor shall furnish and maintain sanitary convenience facilities for the workmen and inspectors for the duration of the work.

16. NON-RUBBER Tired VEHICLES: No non-rubber tired vehicles shall be moved on City streets, existing private roadways or parking lots. Exceptions may be granted by the City of Grove City, for public roadways only, where short distances and special circumstances are involved. Granting of exceptions must be in writing, and any damage must be repaired by the Contractor to the satisfaction of the City of Grove City.

17. Signs, Mailboxes, Fences, Etc.: The Contractor shall be responsible for restoring all signs, mailboxes, fences, guardrail, shrubs, property, drainage structures, or other physical features disturbed or damaged during construction whether shown on the plans or not to their original or better condition and location and to the satisfaction of the Property Owner and the City of Grove City.

18. Pruning: Branches or growth which interferes with the free construction of the project may be removed from trees/bushes that are to be saved by the use of pruning tools with prior approval from the City's Urban Forester. All pruning tools used and methods employed shall meet the approval of the City's Urban Forester. The branches shall be removed with a good clean cut made flush with the parent trunk or if having a good healthy lateral branch, the cut shall be a good clean slanting cut close to and beyond the healthy branch. All pruning cuts shall be painted with an accepted pruning preservative. The cost of all work and expenses connected with tree pruning shall be included in the price bid for CMSC Item 201, Clearing and Grubbing. No extra payment shall be made.

Trees damaged or destroyed that were not designated for removal or approved by the Engineer for removal shall be replaced at the Contractor's expense.

19. Dewatering: The Contractor is solely responsible to the Ohio Department of Natural Resources (ODNR) for registry, maintenance, and abandonment of any withdrawal devices used in the construction of this project.

Installation of any well, well point, pit or other device used for the purpose of lowering the groundwater level to facilitate construction of this project shall be properly abandoned in accordance with the provisions of Section 3745-9-10 of the Ohio Administrative Code or as directed by the Director or his representatives.

The Contractor shall be required to complete and file a Well Log and a Drilling Report Form with ODNR, Division of Water, within 30 days of the completion of installation of any well, well point, pit or other device used for the purpose of removing groundwater from an aquifer, in accordance with Sections 1521.01 and 1521.05 of the Ohio Revised Code. In addition, any such facility that has a capacity to withdraw waters of the State in an amount greater than 100,000 gallons per day from all sources shall be registered by the Contractor with the Chief of the ODNR, Division of Water, within three (3) months of the completion of the facility in accordance with Section 1521.16 of the Ohio Revised Code. Copies of the necessary paperwork can be obtained at ODNR, Division of Water, Fountain Square, Columbus, OH, 43224-1387 - Phone: (614) 265-6717.

The Contractor shall furnish and operate suitable pumping equipment of such capacity, adequate to dewater the trench, should water be encountered. The trench shall be sufficiently dewatered so that the placement of bedding and the laying and joining of pipe is made on firm, dry ground. If dewatering cannot produce acceptable subgrade, and only as directed by the City, unsuitable materials shall be removed and replaced by CMSC Item 906, stone foundation.

The Contractor shall convey all trench water to a natural drainage channel or storm sewer without damage to property. The Contractor shall be responsible to place and maintain the necessary sediment control measures to filter the dewatering discharge. Cost for the above shall be included in the bid price for the various improvement items.

20. REPLACEMENT OF DRAIN TILES AND STORM SEWERS: All drain tile and storm sewers damaged, disturbed, or removed as a result of the Contractor's operations shall be replaced with the same quality pipe or better, maintaining the same gradient as existing. Replaced drain tile shall be laid on compacted bedding equal in density to surrounding stratum. If possible, the drain tile and/or storm sewer shall be connected to a storm sewer structure, curb underdrain or outlet into the roadway ditch as applicable. Replacement shall be done at the time of the backfill operation.

21. MAINTAIN DRAINAGE: The flow in all sewers, drains, and watercourses encountered shall be maintained by the Contractor at his own expense, and whenever such watercourses and drains are disturbed or destroyed during the prosecution of the work, they shall be restored by the Contractor at his own cost and expense, unless specific provision is made within the Contract Documents for the measure of and payment for such cost specific items, to a condition satisfactory to the City.

22. Inlet Protection: The Contractor is responsible to keep all storm sewer inlets protected from excessive amounts of sediments using adequate filtering devices as approved by the City.

23. Erosion & Sedimentation Control: The Contractor shall provide sediment control at all points where stormwater runoff leaves the project including waterways, overlaid sheet flow, and storm sewers. Erosion and sediment control shall be provided as per the requirements of the City of Grove City and the Standards and Specifications of the "Rainwater and Land Development" manual of the ODNR.

Erosion control measures are to be installed per NPDES permit regulations or as directed by the City, and are to be maintained until such time that they are no longer required by the permit and the City. Cost for erosion and sedimentation control shall be included in the price bid for CMSC Item 207.

All land disturbing activities shall be subject to inspection and site investigation by the City of Grove City and/or the Ohio EPA. Failure to comply with these regulations is subject to legal enforcement action.

The Contractor is responsible to notify the City of Grove City 48 hours prior to commencement of initial site land disturbance on any site of one (1) or more acres. This includes site clearing, grubbing and any earth moving. Primary erosion and sediment control practices are mandated by regulations to be in place from the beginning of the construction activity.

All denuded areas shall have soil stabilization applied within seven (7) days of completion of grading operations if said areas are to remain undisturbed for more than forty-five (45) days.

It is the Contractor's responsibility to maintain the sediment and erosion control features used on this project. The site shall be inspected periodically and within 24 hours of a

significant rainfall event. Records of these inspections shall be kept and made available to jurisdictional agencies if requested. Any sediment or debris which has reduced the efficiency of a structure shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace it at no additional cost to the Owner.

24. Soil Stockpiles: The Contractor shall be responsible for keeping all soil stockpiles, including trench excavation stockpiles, protected from erosion. The areas surrounding the stockpiles are to be protected from sediment with the use of perimeter control devices such as earth or straw bale devices or silt fences. These perimeter control devices shall be maintained for the duration of the project.

25. Disposal of Excess Excavation: The Contractor shall dispose of all excess excavation at such location on the project site as approved by the Engineer. For disposal outside the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the offsite Landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the Landowner's permission for such use. Excess excavation material shall not be disposed of within any floodplain area, unless any and all necessary approvals to do so have been obtained.

26. CLEANUP: The Contractor shall be responsible for the immediate cleanup of any debris, mud or dirt tracked or spilled on City and/or public streets or private drives whether inside or outside the project area. The Contractor is responsible for the cost of any services contracted and/or completed by the City of Grove City in the cleanup of any tracking or spillage anytime during project construction. The Engineer may require the Contractor to perform weekly street cleaning if excessive amounts of dirt and mud are left along the street. This may include removal by sweeping, power cleaning, or manual methods. The cost of this work shall be included in the various contract items, unless otherwise specified.

27. Construction Debris: All debris, rubble, unusable materials, and items not salvaged by the Owner shall become the property of the Contractor and shall be removed from the site by the Contractor and disposed of properly.

28. Maintenance of Traffic Notes: All temporary traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the Ohio Manual of Uniform Traffic Control Devices for Construction and Maintenance Operations (current edition), copies of which are available from the Ohio Dept. of Transportation, Bureau of Traffic, 1980 West Broad St., Columbus, OH 43223.

Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night. Cones are NOT approved for use at night.

All trenches within the road right-of-way shall be backfilled or securely plated during non-working hours.

Access to all properties within the project area shall be maintained at all times.

All traffic lanes shall be fully open to traffic from 7:00 a.m. to 9:00 a.m. and 4:00 to 6:00 p.m. weekdays on all roadways within the project area. One lane may be closed to traffic during working hours.

#### FOR MAJOR THOROUGHFARES AND COLLECTORS:

Two-way, one-lane traffic shall be maintained during construction operations in accordance with page C-18 of the Ohio Manual. A uniformed officer shall be substituted for each flagman shown on that page and such officers shall be present whenever two-way, one-lane operation is in effect.

#### FOR LOCAL STREETS:

Police Officers are not needed, unless a hazard develops, for two-way, one-lane traffic maintained during construction operations on all local roadways within the project area. If a hazard develops, an off-duty officer may be assigned by the City to the project at the Contractor's expense.

All permanent traffic controls not in conflict with the temporary traffic controls shall be maintained through this project by the Contractor. Permanent traffic controls may be temporarily relocated as approved by the City. The Contractor shall assume all liability for missing, damaged, and improperly placed signs.

Any work done by the City, including installation, modification, removal and/or replacement of permanent traffic control devices as a result of work done by the Contractor or as a result of the negligence of the Contractor shall be at the expense of the Contractor.

All permanent pavement markings and traffic control signs as shown on this plan shall be installed by the Contractor at the Developer's expense. The City of Grove City shall be notified a minimum of forty-eight (48) hours (excluding weekends and holidays) prior to the installation of permanent markings to inspect and approve pavement marking layout before markings are placed.

29. CONCRETE PIPE AND STRUCTURE INSPECTION: All precast concrete products shall be inspected at the location of manufacture. All concrete pipe, storm, and sanitary sewer structures shall be stamped or have such identification noting that said pipe, storm, and sanitary structures have been inspected by the City of Columbus and meets their specifications. Installation of pipe and structures without proper identification shall not be permitted.

30. PIPE MATERIAL: The installation of all sewer pipe on this project shall be in accordance with Section 901 of the CMSC, unless specifically indicated otherwise, with materials conforming to the appropriate section of CMSC. The following pipe materials will be permitted for use for public sewers:

#### SANITARY SEWER PIPE

##### Outside of R/W Limits

Flexible Pipe (PVC Pipe per CMSC 720.08 only, ASTM D-3034, SDR 35) will be allowed for sewers up to and including 15' diameter that have a minimum of 4' coverage and a maximum 20' coverage.

Flexible Pipe (PVC Pipe per CMSC 720.08 only, ASTM D-3034, SDR 26) will be allowed for sewers 8"-10' diameter that exceed 20' in depth.

Rigid Pipe will be required for all sewers greater than 15" (Reinforced Concrete Pipe 706.02, Vitrified Clay Pipe 706.08, Ductile Iron 801.03) and for any sewers greater than 10' diameter that will have less than 4' coverage or more than 20' coverage.

##### Within R/W

Flexible Pipe will be allowed for sewers up to and including 15' diameter (PVC Pipe per CMSC 720.08 only, ASTM D-3034, SDR 35) that have a minimum of 4' coverage and a maximum of 20' coverage.

Flexible Pipe (PVC Pipe per CMSC 720.08 only, ASTM D-3034, SDR 26) will be allowed for sewers 8"-10' diameter that exceed 20' in depth.

Rigid Pipe will be required for all sewers greater than 12" (Reinforced Concrete Pipe 706.02, Vitrified Clay Pipe 706.08, Ductile Iron 801.03) and for any sewers greater than 10' diameter that will have less than 4' coverage or more than 20' coverage.

31. Trench Backfill: Trenches within a 1:1 influence of the roadway and/or pavement, including all points to within 3' behind the curb or edge of pavement, shall be filled and compacted per Type A backfill. Trenches within the right-of-way but outside the road influence shall be filled and compacted as per Type B backfill. All other trenches shall be filled and compacted as per Type C backfill at a minimum, or as otherwise indicated within these plans.

All item numbers shown below refer to City of Columbus Construction and Material Specifications (CMSC) item numbers.

Type A backfill shall be granular material, conforming to Item 703.01 No. 4 coarse aggregate or Item 304, as directed by the Engineer compacted as stipulated in Item 912.03. In all cases granular material shall be used around all manholes, structures and cleanouts.

Type B backfill shall be natural soil free from stones larger than two inches (2") across their greatest dimension, topsoil, vegetation, debris, rubbish or frozen material, compacted to 95% of its maximum laboratory dry weight and placed per Item 17.01.

Type C backfill shall be natural soil free from stones larger than six inches (6") across their greatest dimension, vegetation, debris, rubbish or frozen material, compacted to 90% of its maximum laboratory dry weight. When approved by the Engineer, rocks no larger than one cubic foot may be deposited at least three feet (3') above the top of the sewer.

Aggregate for bedding is No. 57 or No. 8, as per Item 703.

The excavated trench width twelve inches (12") above the conduit may be increased without extra compensation.

32. TRENCHES: All trenches shall be maintained as safe as possible by the Contractor at all times and backfilled as soon as practical. All trenches during non-working hours require traffic plates, and/or lighted barricades and construction fence.

33. TRENCH DAMS: All sanitary sewers require trench dams between manholes and on service laterals, at the property line, made of bentonite or other approved impermeable clay. Trench dams shall be constructed on all sanitary sewers in accordance with Item 901.11.

34. Water Main Separation: The Contractor shall maintain eighteen inches (18") vertical and ten feet (10') horizontal separations between any existing or proposed water main and proposed sanitary or storm sewers.

35. Deflection Testing: All flexible sewers are subject to mandrel testing as directed by the City Engineer. Testing shall be performed no sooner than 30 days after the pipe trench has been backfilled and all roadway and site fills over the sanitary sewers constructed. The testing shall be completed in conformance with the requirements of CMSC Item 901.21. Maximum deflection shall not exceed 5% of the base inside diameter. Cost of the testing shall be at the expense of the Developer and/or Contractor.

36. Visual inspection: All sanitary sewers shall be video recorded in DVD format after construction and prior to acceptance of the sewers by the City of Grove City. The DVD recording shall remain the property of the City. The DVD shall clearly identify the location of the camera within the sewer, date and time of the recording, and be of sufficient quality to determine the condition of the sanitary sewers. An additional video recording of the sewers shall be completed just prior to the expiration of the guarantee period.

37. LEAKAGE TESTING: The Contractor's specific attention is directed to the requirements of either the infiltration, exfiltration, or air test as specified by the City of Grove City, Ohio. Leakage through the joints of the sewer shall not exceed the following allowable limits: 100 gallons per inch of tributary sewer diameter per 24 hours per mile of length or the computed equivalent for shorter lengths and shorter periods of time. All sanitary sewers, manholes and services shall be tested.

38. Grade Checks - The Contractor shall ensure there is a surveyor's level and rod on the project for use in performing grade checks whenever sewer line structures or pipe are being installed. The Contractor shall make this equipment available for the use of, and assist, the City Inspector in performing grade checks when requested by the Inspector. The Inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to a time convenient to the Contractor.

These checks will be performed to ensure the following:

- Proper placement of each structure.
- Proper installation of initial runs of pipe from a structure.
- Grade, after an overnight or longer shutdown.
- Grade, at any other time the Inspector has reason to question grade of installation.

A grade check performed by the City Inspector in no way relieves the Contractor from the ultimate responsibility to ensure construction to the plan grade.

39. Grade Changes: If it is determined that the elevation of the existing sewer, or existing appurtenance to be connected to, differs from the plan elevation or results in a change in the plan sewer slope, the Design Engineer shall be notified before starting construction of any portion of the proposed sewer which will be affected by the variance in the existing elevations.

If it is determined that the proposed sewer will intersect an existing sewer or underground utility if constructed as shown on the plan, the Design Engineer shall be notified before starting construction of any portion of the proposed sewer which would be affected by the interference with an existing facility.

Grades and elevations shown on the plans shall not be revised under any circumstances without first obtaining written approval from the City.

40. Structure Adjustment: The Contractor shall field verify the top of casting elevation of all proposed manholes. If precast structures are utilized, a minimum of the top 6" and a maximum of 12" shall be field placed either with grade rings or brick and mortar to allow for field adjustment. Manhole tops shall be built or subsequently adjusted to meet surface grades established for the project/development.

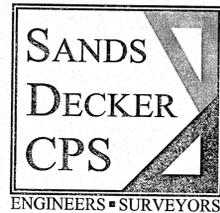
41. TEMPORARY BULKHEAD: The Contractor shall install a temporary bulkhead, where directed on the plans, prior to construction of the proposed sanitary sewers and shall maintain same until said sewers are accepted by the City.

42. RISERS: Service risers, CMSC Item 914, shall be installed where depths from the wyes to the existing or proposed ground elevations exceed 10'. The tops of risers shall be no more than 9' below the existing or proposed surface elevation, whichever is higher. Riser extensions shall be a minimum of 3' in length.

43. CLEAN WATER CONNECTIONS PROHIBITED: Roof drains, foundation drains and other clean water connections to the sanitary sewer system are prohibited on this project.

44. Y-POLES: Approved Y-poles made of 2" x 2" lumber shall be furnished and placed at all Y-branches and at the end of extended services. Y-poles shall extend from the end of service pipe to at least 2 feet above existing or proposed grade, whichever is higher. The cost of this work is to be included in the price bid for the various sewer items.

45. RECORD PLANS: The Developer is responsible for providing "Record Plan" construction drawings to the City of Grove City after the project has been completed. The plans must include top of casting and invert elevations for all sanitary and storm structures and identify any and all field modifications to, and deviations from, the approved plan set. A redline set of plans reflecting the "Record Plan" information shall be kept by the project Inspector and provided to the City Engineer for review and subsequent preparation of the record plan drawings. If the redline plans are incomplete or missing information, the Developer shall be responsible for supplying the missing information by field survey or other means to facilitate a complete set of record drawings.

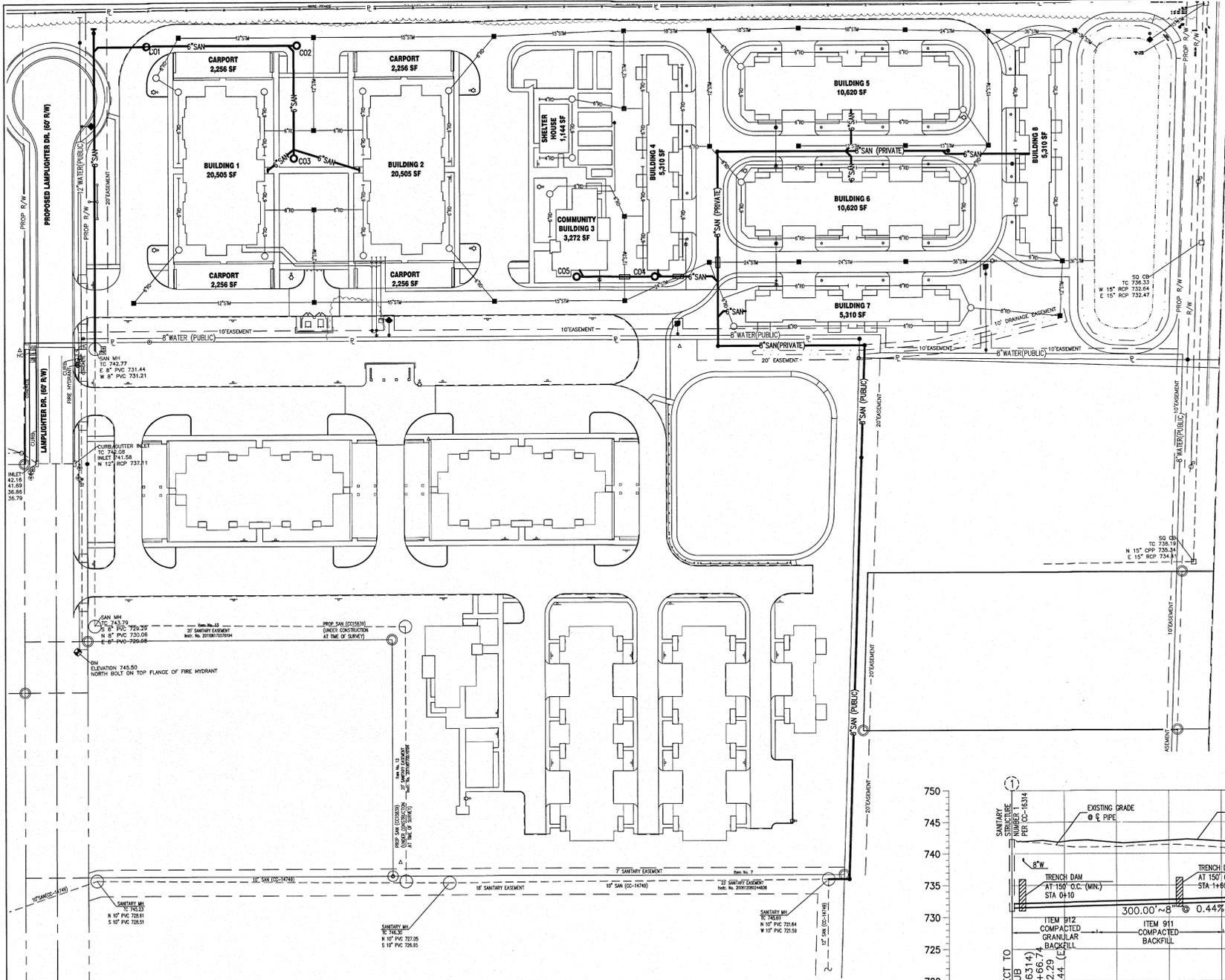


11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140

1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

PM xxx/xxx   CC-xxxxx	
<b>GROVE CITY CONTROL #201509310058</b>	
<b>LAMPLIGHTER SENIOR VILLAGE II SITE IMPROVEMENT PLAN</b>	
GROVE CITY, OHIO	
OWNER: <b>LAMPLIGHTER II SENIOR HOUSING LLC</b>	
184 WEST MAIN STREET ASHVILLE, OHIO 43103 740-983-4566	
SCALE: AS NOTED	
DATE: SEPTEMBER 25, 2015	SHEET: C3.01



**SANITARY COORDINATE DATA - OHIO SOUTH ZONE NAD 83 (1986 ADJ)**

LAMPLIGHTER DRIVE (PUBLIC)					
PIPE RUN	PLAN BEARING	REVISION DISTANCE	AS-BUILT BEARING	REVISION DISTANCE	AS-BUILT BEARING
EX1-7	N13°32'11"W	300.00'			
MORBITZER PROPERTY (PUBLIC)					
EX3-1	N13°06'10"E	20.02'			
1-2	N74°43'50"W	400.00'			
2-3	N74°43'50"W	106.65'			
LAMPLIGHTER II PROPERTY (PRIVATE)					
3-4	N13°23'43"E	139.87'			
4-5	N46°32'24"W	183.89'			
5-6	N13°27'36"E	220.00'			

**CLEANOUT SCHEDULE**

STRUCTURE	INVERT	RIM	LENGTH
CO X	xx	xx	x

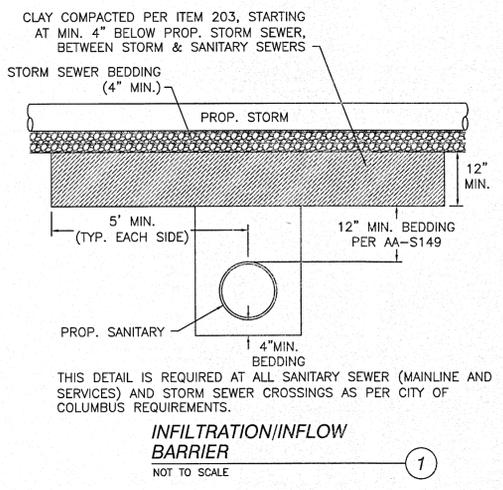
  

STRUCTURE	INVERT	RIM	LENGTH
CO x	xx	xx	xx

SERVICES TO INCLUDE CORE DRILL AND INSIDE DROP IN EXISTING MH 2 (CC15839) AND MH 3 (CC14749) PER COC STD DRAWING AA-S110.

**COMMON SERVICE SCHEDULE**

BUILDING NUMBER	WYE STATION	SERVICE LENGTH	RISER HEIGHT	END OF SERVICE	PERMIT NUMBER
x	xx	xx		xx	



- MISCELLANEOUS NOTES:**
- ALL CONSTRUCTION MATERIAL SUBMITTALS TO BE SENT TO THE DESIGN ENGINEER, AND FINAL APPROVED COPIES TO BE SENT TO THE CITY OF GROVE CITY.
  - ALL TESTING RESULTS TO BE SENT TO CITY OF GROVE CITY'S INSPECTION CONSULTANT.
  - ALL PROPOSED AND EXISTING SANITARY MANHOLES WITHIN THE PROJECT LIMIT TO HAVE CASTINGS ADJUSTED TO 1' ABOVE FINAL GRADE. (MANHOLES IN GRASS AREAS ONLY)
  - ALL CONSTRUCTION ACCESS FOR SANITARY INSTALLATION MUST BE MADE FROM THE STABILIZED CONSTRUCTION ENTRANCE.
- SANITARY SEWER SERVICE NOTES:**
- SEWER SERVICES TO BE SLOPED A MINIMUM OF 2.08%.
  - SERVICES WITHIN 10' OF PAVEMENT TO BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL ITEM 912. ALL REMAINING AREAS TO BE BACKFILLED WITH COMPACTED BACKFILL ITEM 911.
  - LENGTH OF RISER REPRESENTS DISTANCE FROM END OF SERVICE TO FLOW LINE OF COMBINED SERVICE.
  - LENGTH OF SERVICE REPRESENTS DISTANCE BETWEEN END OF SERVICE AND COMBINED SERVICE.
  - SANITARY SEWER SERVICES TO BE CONSTRUCTED TO AVOID CONFLICTS WITH THE PROPOSED STORM SEWER AND TO PROVIDE A MINIMUM OF 2.5' CLEARANCE BETWEEN THE SANITARY SEWER SERVICE AND ALL OTHER UTILITIES WHILE MAINTAINING A MINIMUM OF 2.08% GRADE. CONSTRUCT THE TYPICAL ANTI-INFILTRATION AND INFLOW BARRIER FOR ALL CROSSINGS OF SANITARY SEWERS AND WATER MAINS.
  - SANITARY SEWER SERVICES TO BE INSTALLED TO 5' OF PROPOSED FACE OF BUILDING.

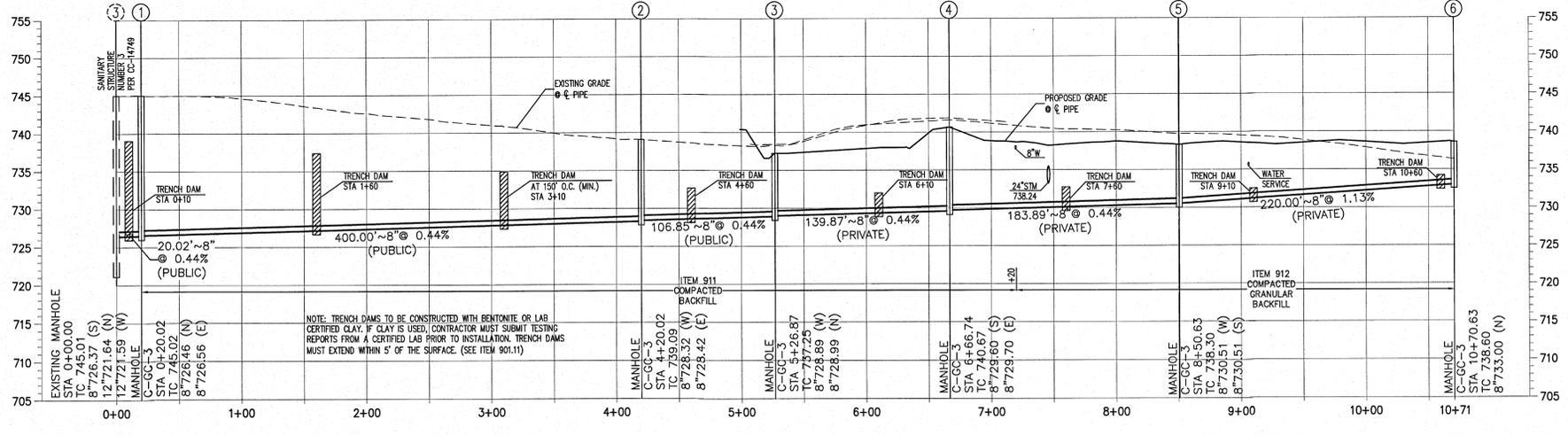
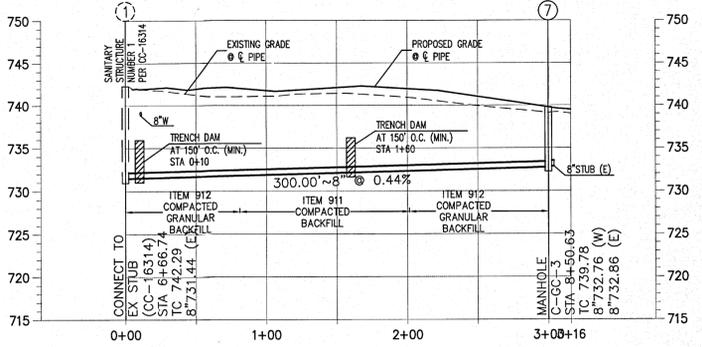
**ESTIMATED QUANTITIES (PUBLIC)**

ITEM	QUANTITY	UNIT	DESCRIPTION
604	4	EACH	MANHOLE (C-GC-3)
604	1	EACH	8" INSIDE DROP SECTIONS*(AA-S110)
914	827	LF	8" SANITARY SEWER PIPE
915	1	EACH	8"x6" WYE

**ESTIMATED QUANTITIES (PRIVATE)**

ITEM	QUANTITY	UNIT	DESCRIPTION
604	3	EACH	MANHOLE (C-GC-3)
914	512	LF	8" SANITARY SEWER PIPE
915	7	EACH	6"x6" WYE
915	5	EACH	CLEANOUT

ENGINEER'S ESTIMATE OF QUANTITIES: THE ENGINEER'S ESTIMATE OF QUANTITIES AS SHOWN ON THE CONSTRUCTION DRAWINGS AND CONTRACT DOCUMENTS APPROXIMATE ONLY. THE ESTIMATED QUANTITIES ARE BELIEVED TO BE COMPLETE AND ACCURATE, HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE PROJECT AS TO THE INTENT SHOWN ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS AND CONTRACT DOCUMENTS. ADDITIONAL COMPENSATION WILL NOT BE PAID TO THE CONTRACTOR FOR HIS FAILURE TO INCLUDE THE TOTAL COST OF ALL LABOR, EQUIPMENT, AND MATERIALS IN THE TOTAL BID PRICE.

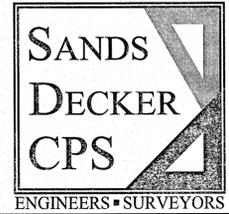
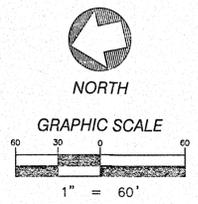


**STANDARD DRAWINGS**

DRAWING	DESCRIPTION
C-GC-3	PRECAST CONCRETE PIPE MANHOLE
C-GC-20	MANHOLE STEPS
C-GC-22	TYPICAL RISER AND CLEANOUT
C-GC-26	TYPICAL TRENCH SECTION W/TYPE I BEDDING
C-GC-37	6" SANITARY SEWER SERVICE
C-GC-38	TYPICAL CLEANOUT DETAIL
C-GC-44	24" MANHOLE FRAME & COVER CASTINGS FOR SANITARY SEWERS FOR SANITARY SEWERS

**CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWINGS**

AA-S110	INSIDE DROP PIPE FOR MANHOLES
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11 WEST MAIN ST  
PO BOX 188  
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740-385-2140

1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-9992  
FAX: 614-459-6987  
TOLL FREE: 866-297-0600

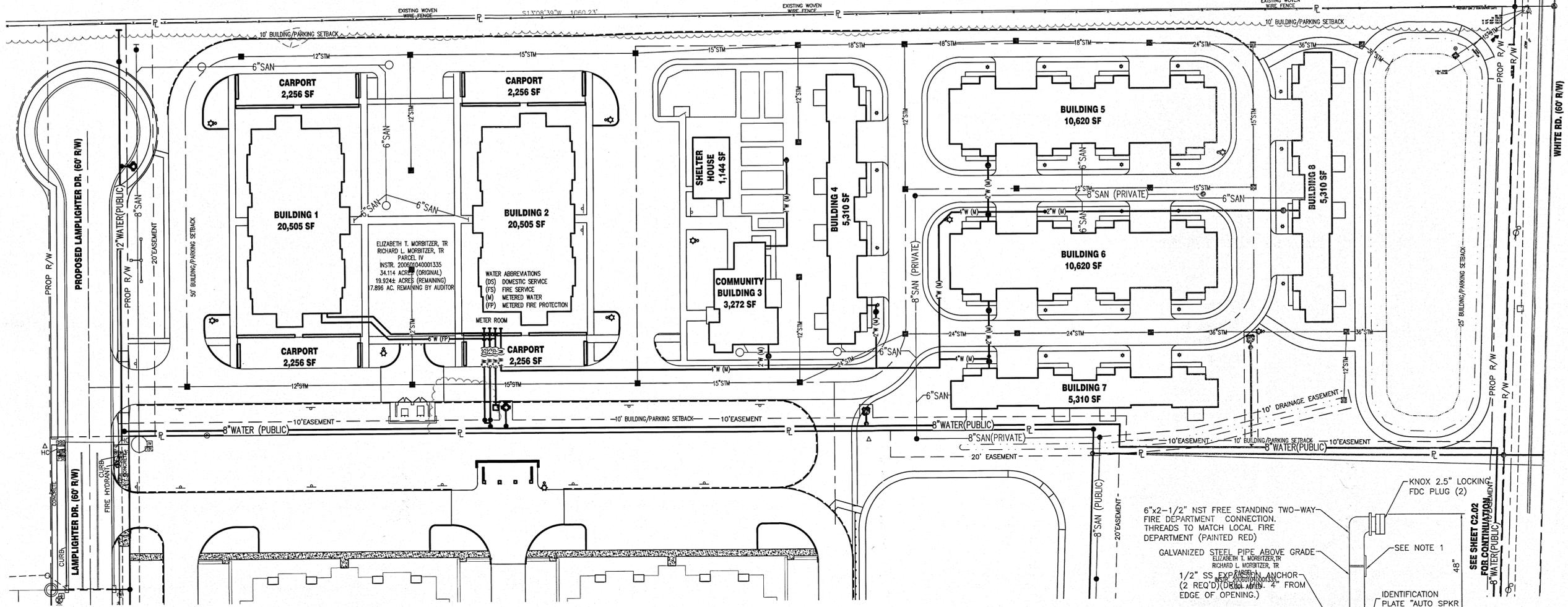
507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

PM xxx/xxx CC-xxxx  
GROVE CITY CONTORL #201509310058

**LAMPLIGHTER SENIOR VILLAGE II  
SITE IMPROVEMENT PLAN**  
GROVE CITY, OHIO

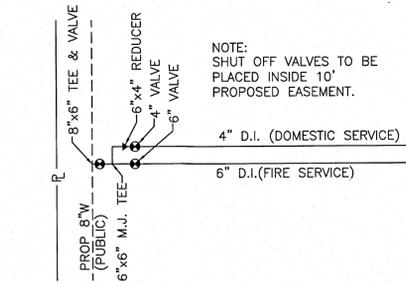
OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566

SCALE: - AS NOTED  
DATE: SEPTEMBER 25, 2015 SHEET: C3.03

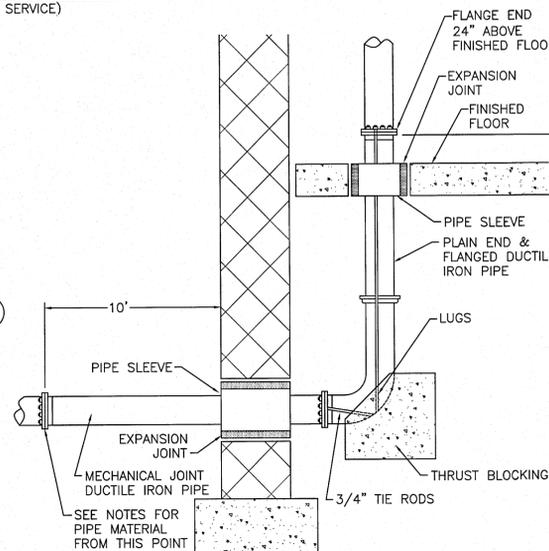


HYDRANT FLOW DATA

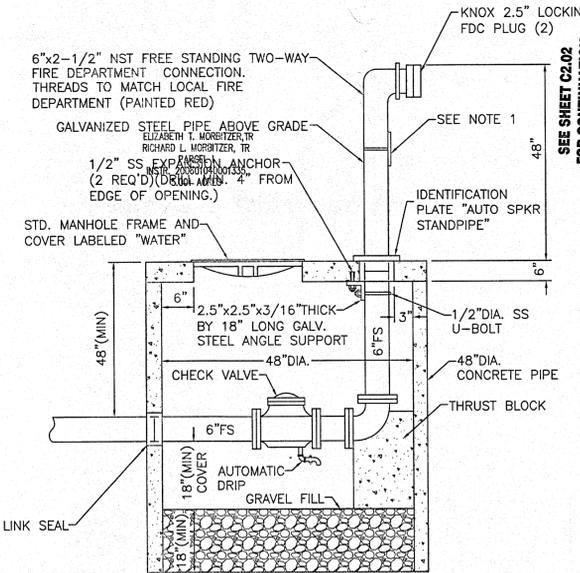
COC FLOW TEST ID	2078
DATE	6/2/12
TIME	9:00 AM
STATIC PRESSURE	100 PSI
RESIDUAL PRESSURE	77 PSI
PITOT 1	45 PSI
PITOT 2	NONE
OUTLET	4" DIFF
FLOW	2400 GPM
FLOW @ 20PSI	4700 GPM
WATER DISTRICT	BIG RUN
PIPE SIZE	12"
ELEVATION	743
HYDRANT OWNER	GROVE CITY
COEFFICIENT	0.75
CH	976
HSL	974



WATER TAP DETAIL  
 NOT TO SCALE

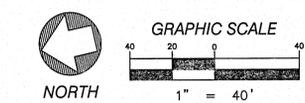


WATER TURN-UP DETAIL  
 NOT TO SCALE



NOTE:  
 1. PERMANENT METAL SIGN OF 6"x11" MUST BE FIRMLY BANDED AT FIRE DEPARTMENT CONNECTION RISER WITH THE LETTERS OR NUMBERS, A MINIMUM OF 2" IN HEIGHT, WITH THE FOLLOWING:  
 A. "FDC" WITH THE NUMBER(S) OF THE ADDRESS RANGE THAT THE FIRE DEPARTMENT CONNECTION SUPPLIES  
 B. THE BACKGROUND COLOR SHALL BE RED WITH WHITE LETTERS.  
 C. INDICATE THE PRESSURE REQUIRED TO DELIVER THE GREATEST SYSTEM DEMAND.

FIRE DEPARTMENT CONNECTION DETAIL  
 NOT TO SCALE



**SANDS DECKER CPS**  
 ENGINEERS • SURVEYORS

11 WEST MAIN ST  
 PO BOX 188  
 LOGAN, OH 43138  
 740-385-2140

1495 OLD HENDERSON RD  
 COLUMBUS, OH 43220  
 614-459-6992  
 FAX: 614-459-6987  
 TOLL FREE: 866-277-0600

507 MAIN STREET, SUITE 203  
 ZANESVILLE, OH 43701  
 740-450-1640

GROVE CITY CONTORL #201509310058

LAMPLIGHTER SENIOR VILLAGE II  
 SITE IMPROVEMENT PLAN  
 GROVE CITY, OHIO

OWNER:  
**LAMPLIGHTER II SENIOR HOUSING LLC**  
 184 WEST MAIN STREET  
 ASHVILLE, OHIO 43103  
 740-983-4566

SCALE: - AS NOTED  
 DATE: SEPTEMBER 25, 2013 SHEET: C2.01

14-1287  
14-1283  
14-1289  
14-1285

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

MORBITZER JENNIFER J.  
TR.

MORBITZER FAMILY LLC

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

GARY L. MORBITZER  
MARY A. MORBITZER  
O.R. 34841 H17  
1.135 ACRES

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

SEE SHEET C2.01  
FOR CONTINUATION

BUILT  
5,9,21

BUILT  
10,6,

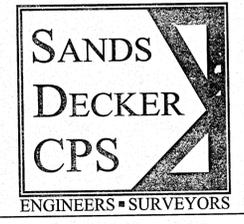
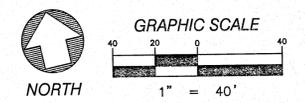
8" WATER PUBLIC (COC WATER PLANS)

WHITE ROAD

CONNECT TO EXISTING  
WATERLINE

50

51



11 WEST MAIN ST  
PO BOX 188  
LOGAN, OH 43138  
740-385-2140  
  
1495 OLD HENDERSON RD  
COLUMBUS, OH 43220  
614-459-6992  
FAX: 614-459-6987  
TOLL FREE: 866-277-0600  
  
507 MAIN STREET, SUITE 203  
ZANESVILLE, OH 43701  
740-450-1640

GROVE CITY CONTORL #201509310058	
LAMPLIGHTER SENIOR VILLAGE II SITE IMPROVEMENT PLAN GROVE CITY, OHIO	
OWNER: LAMPLIGHTER II SENIOR HOUSING LLC 184 WEST MAIN STREET ASHVILLE, OHIO 43103 740-983-4566	
SCALE: - AS NOTED	
DATE: SEPTEMBER 25, 2013	SHEET: C2.02

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

THE INN AT GROVE CITY LLC  
INSTR. 200712210218490  
8.426 ACRES

GARY L. MORBITZER  
MARY A. MORBITZER  
O.R. 34841 H17  
1.135 ACRES

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL I  
INSTR. 200601040001335  
5.001 ACRES

LAMPLIGHTER HOLDING CO LLC  
INSTR. 200905190071615  
1.498 ACRES

CREATIVE HOUSING INC., XII  
INSTR. 201012300178570  
LOT 1 OF THE PLAT OF  
CREATIVE HOUSING ON LAMPLIGHTER DRIVE  
PLAT BOOK 113, PAGE 99  
1.625 ACRES

ELIZABETH T. MORBITZER, TR  
RICHARD L. MORBITZER, TR  
PARCEL IV  
INSTR. 200601040001335  
34.114 ACRES (ORIGINAL)  
19,924.4 ACRES (REMAINING)  
17,896 AC. REMAINING BY AUDITOR

GAIL L. COSTA  
OFFICIAL RECORD 14914 113  
INSTR. 200603270056438  
5.83 ACRES

BUILDING 8  
5,310 SF

BUILDING 7  
5,310 SF

BUILDING 6  
10,620 SF

BUILDING 5  
10,620 SF

BUILDING 4  
5,310 SF

COMMUNITY  
BUILDING 3  
3,272 SF

SHELTER  
HOUSE  
1,444 SF

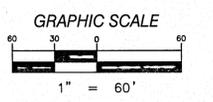
BUILDING 2  
20,505 SF

BUILDING 1  
20,505 SF

WHITE ROAD

LAMPLIGHTER DRIVE

5500  
5501



GROVE CITY CONTORL #201509310058  
LAMPLIGHTER SENIOR VILLAGE II  
SITE IMPROVEMENT PLAN  
GROVE CITY, OHIO  
OWNER:  
LAMPLIGHTER II SENIOR HOUSING LLC  
184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566  
SCALE: - AS NOTED  
DATE: SEPTEMBER 25, 2015 PROPERTY EXHIBIT



SANDS  
DECKER  
CPS  
ENGINEERS • SURVEYORS

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ZANESVILLE, OH 43701  
740-450-1640

Material Finish List  
 Lamplighter Senior Village II  
 Grove City, OH  
 September 21, 2015

Material	Manufacturer	Color/Style	Buildings
Vinyl Siding / Shakes	Mitten	Lite Maple	Building 1, 2
Vinyl Siding / Shakes	Mitten	Brown Stone	Building 4, 7, 8
Vinyl Siding / Shakes	Mitten	Sage	Building 5, 6
Vinyl Siding / Shakes	Mitten	Richmond Red	Community Bldg.
Vinyl Soffit / Ceiling	Mitten	Frost	Building 1-2, 4-8
Vinyl Soffit / Ceiling	Mitten	Frost	Comm. Bldg., Shelter House
Vinyl Corner Posts / Trim	Mitten	Frost	Comm. Bldg.
Vinyl Shutters	Mastic	Russet Red	Building 1, 2
Vinyl Shutters	Mastic	Georgetown Blue	Building 4, 7, 8
Vinyl Shutters	Mastic	Forest Green	Building 5, 6
Dimensional Shingles	Ownes Corning	Driftwood	All buildings
Cultured Stone Veneer	Heritage Stone	Allegheny Limestone	All buildings
Cultured Stone Cap + Ledge	Heritage Stone	Limestone	All buildings
Aluminum Fascia/Wraps	Mitten	Frost	Building 1-2, 4-8
Aluminum Fascia/Wraps	Mitten	Frost	Community Bldg
Aluminum Gutters	Mitten	Frost	Building 1-2, 4-8
Aluminum Gutters	Mitten	Frost	Community Bldg
Aluminum Downspouts	Mitten	Frost	Building 4-8
Aluminum Downspouts	Mitten	Frost	Building 1, 2, Comm Bldg, Shelter House
Aluminum Storefront Entry Door	Zanesville Glass	Bronze Anodized	Building 1,2
Exterior Paint - Door	Sherwin Williams	Color match to Russet Red	Building 1, 2
Exterior Paint - Door	Sherwin Williams	Color match to Georgetown Blue	Building 4, 7, 8
Exterior Paint - Door	Sherwin Williams	Color match to Forest Green	Building 5, 6
Exterior Paint - Door	Sherwin Williams	Color match to Sage	Comm. Bldg.
Exterior Paint - Porch Post	Sherwin Williams	White	Building 1-2, 4-8
Exterior Paint - Porch Post	Sherwin Williams	Color match to Wicker	Comm. Bldg., Shelter House
Overhead Garage Door	Sherwin Williams	White	Building 4-8
Overhead Garage Door	Sherwin Williams	Color match to Wicker	Comm. Bldg.
Vinyl Privacy Fence	Sherwin Williams	White	Building 4, 7, 8
Cedar Gates	Covrit Screening Systems	Teak 730	Dumpster Enclosure
Limestone Project Sign Panel	TBD	Buff	Project Sign
Metal Fencing	Custom	Black	Project Sign

RECEIVED  
 SEP 24 2015  
 GC PLANNING COMMISSION