

June 24, 2015

Kyle Rauch
City of Grove City
4035 Broadway
Grove City, Ohio 43123
Via Email: krauch@grovecityohio.gov



Regarding Development Plan Application # 201504270021

Mr. Rauch,

Thank you for your letter summarizing the City's Departmental review of our development plan application for the Broadway and Park Apartment Homes proposed in Grove City's town center. Our responses to the comments provided by the various City Departments are as follows:

Development Department

1. All proposed building and parking lot setbacks should be noted on sheet AS1.

RESPONSE: Building Setbacks have been noted on Sheet AS1.

2. The east-most parking space east of Building B (see image to the right) should be eliminated to increase the separation between the parking lot and the sidewalk along Grove City Road.

RESPONSE: This parking has been reconfigured to meet the setback requirements.

3. A signage plan for the site should be submitted. This includes square footage of all signs, height and location. Awnings shall be free of signage. Signage must comply with Historical Preservation Area requirements in accordance to Chapter 1138.

RESPONSE: A signage plan shall be included in a subsequent submission for staff review and approval and shall meet the specification set forth in the PUD.

4. A lighting plan should be submitted with details for site and exterior building fixtures. Fixtures should be decorative and match the character of lighting in the Town Center, as required in section 4(k) of the proposed Zoning and Development Standards Text (C-29-15).

RESPONSE: A lighting plan has been included with this submittal.

5. No more than 35 percent of any exterior building elevation should be finished with siding.

RESPONSE (requesting an update to the PUD text): As designed the buildings have less than 35% (approximately 33%) of the exterior elevations finished with siding. By design, each side of the apartment buildings are uniquely site specific. The building facades that face Park Street, Grove City Road and the City Hall building

have a much higher percentage of brick than the rear facades, which face inward toward the parking lot and the site's landscape amenities. The brick facades are intended to relate more to the historic town center which is predominantly brick, while the elevations that face the interior of the site have more siding and are intended to feel more residential in character and relate more to the residential neighborhood and historic homes immediately to the west.

6. Indicate where all mechanical equipment will be located on exterior of buildings.

RESPONSE: Mechanical equipment shall be roof mounted and concealed from view. See the architectural plans for details.

7. The total height (tallest building element) should be indicated on all building elevations (Sheets A7 – A12).

RESPONSE: Building heights have been indicated. See the architectural plans for details.

8. A note should be added to building elevations that any roof mounted mechanicals will be screened by raised parapet or other approved method so that the equipment is not visible from any contiguous right-of-way to the site.

RESPONSE: A note about the mechanical screening has been added. See the architectural plans for details.

9. Details should be submitted for the entry feature and landscaping noted in section 4(h)(ii) of the Zoning and Development Standards Text (C-29-15).

RESPONSE: Landscape details have been added. See the Landscape Plans for details. Monument signs are not included in this development proposal.

10. The exterior finish schedule should be submitted on a separate 8.5x11' sheet. Colors of Brick A and Brick B should be noted (currently indicated as "To Be Determined").

RESPONSE: The exterior finish schedule has been submitted on a separate 8-1/2 x 11 sheet.

11. Details and elevations should be submitted for the proposed trash enclosure. The enclosure should be finished in brick to match the residential structures with stained wood gates.

RESPONSE: Architectural details of the trash enclosure have been added.

12. A materials sample board should be submitted with samples of all proposed exterior materials.

RESPONSE: An image of the materials selection board is included in the drawing set. A materials sample board for staff review.

Building Division

13. Air conditioner locations should be annotated.

RESPONSE: Air conditioning condenser locations have been annotated. See architectural plans for details.

14. Provide detail and rendering of covered parking structure.

RESPONSE: Architectural details of the trash enclosure have been added.

15. Provide detail and rendering shed and shop.

RESPONSE: Architectural details of the trash enclosure have been added.

16. A description should be provided on how trash will be picked up.

RESPONSE: Residents shall drop their trash in the compactor located at the southwest corner of the site. The compactor crushes the trash and pushes it into a dumpster. The dumpster is emptied or replaced on a regular basis by a third party waste management company.

17. Site cannot be deeded as condos.

RESPONSE: Any deed restrictions shall be made part of a forthcoming Development Agreement between the City and the Developer.

Urban Forestry

18. A landscape plan should be submitted, meeting the requirements of chapter 1136 and the proposed zoning and development standards text (C-29-15). The plan should include:

a) Parking lot-screening (1136.06)

RESPONSE: A 3' minimum height, continuous evergreen hedge and four 2" minimum caliper deciduous trees will be provided for 125' of frontage. A combination of evergreen trees and fencing as part of the carport design will provide screening along the western property line along the railroad tracks. 12 2' caliper deciduous trees will be planted in the parking area in landscape islands, aisle ends and peninsulas. Plantings will be provided to meet the PUD text. Details will be provided for approval with final site permit drawings.

b) Screening of all Service structures (1136.08)

RESPONSE: The trash compactor will be screened by an opaque fence enclosure with operable gates. Plantings will be provided to augment the fence enclosure. All other service structures will be screened with deciduous and evergreen shrubs, and/or perennials plantings. Plantings will be provided to meet the PUD text. Details will be provided for approval with final site permit drawings.

c) Landscaping abutting the structures (1136.09)

RESPONSE: Foundation plantings will be provided around all elevations of all buildings. This design will include boxwood hedges with groundcover, lawn and ornamental trees, to provide a clean, manicured appearance. Plantings will be provided to meet the PUD text. Details will be provided for approval with final site permit drawings.

d) Landscaping around all freestanding signage

RESPONSE: Masonry columns will be constructed as part of a formal entry along Park Street. 140 SF of landscaping will be provided in this areas. Plantings will be

provided to meet the PUD text. Details will be provided for approval with final site permit drawings.

- e) Tree Planting Typical including a note stating 50% removal of burlap and wire cage from rootball of trees (1136.09(d))

RESPONSE: Typical tree planting detail will be provided to meet this requirement. Details will be provided for approval with final site permit drawings.

- f) Detailed list of the Plants (Plant Key) including Genus, size of plants at Installation & Quantities

RESPONSE: The plant palette will include Spruce, London Planetree, Flowering Pear, Zelkova, Winterking Hawthorn, Serviceberry, Viburnum, Juniper, Boxwood, Myrtle, Ivy and lawn. Deciduous trees will be minimum 2" caliper. Evergreen trees will be minimum 8' height. Shrubs shall be a minimum 18" height. Perennials will be minimum 1 gallon. Plantings will be provided to meet the PUD text. Details will be provided for approval with final site permit drawings.

Service Department

19. Building A1 is shown over an existing 8" sanitary main. This main should be re-routed as necessary to provide sanitary service to the project. Any sanitary mains on the site will need to be in recorded easements.

RESPONSE: The existing 8" sanitary main shall be abandoned in place and removed where in conflict with building foundations or proposed utilities. New 6" sanitary service shall be provided to each new building. See the attached Site Utilities Plan for details.

20. Proposed storm water management for this project needs to be provided.

RESPONSE: See the attached Site Utilities Plan for details.

21. Show all proposed utility services (sanitary, water, storm, etc.) on the site plan.

RESPONSE: See the attached Site Utilities Plan for updates.

22. Sidewalks, curb and roadway improvements on Grove City Road are needed as part of this development.

RESPONSE: The developer agrees to patch and repair existing sidewalks, curbs and roadways damaged as a result of the proposed construction.

Fire Department

23. The ladder truck must be able to access the parking lot without running over curbs and without trees scraping the sides of the truck. Please show a plan with ladder truck maneuverability through the parking lot.

RESPONSE: See the attached Site Utilities Plan for details. In addition, it should be noted that a ladder truck can access Buildings A2 from Park Street and Building B from Grove City Road and a ladder truck can access building A1 from the existing driveway to the west of City Hall, from Park Street or from Grove City Road.

Police Department

24. Make sure there is lighting at the rear of the building; couldn't see any on the elevation drawings.

RESPONSE: Light shall be provided at the rear of the buildings per the attached lighting plan. Additionally, there shall be an exterior light fixture at each doorway and porch. Low voltage landscape lighting shall be installed by the developer as well to highlight the decorative landscape features and provide accent lighting to the buildings.

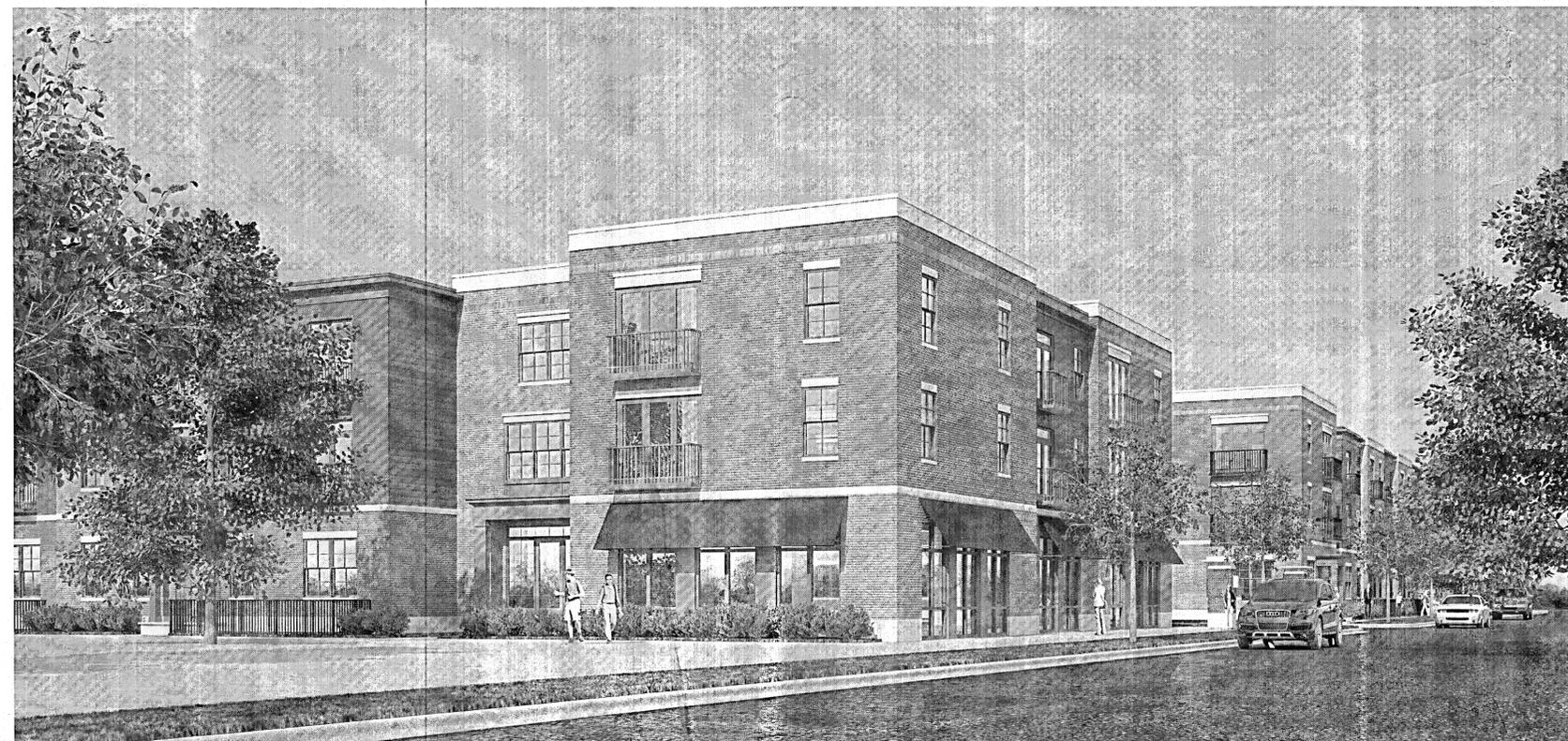
Please feel free to contact me by phone or email if you have any questions. We look forward to your favorable consideration of this revisions and updates.

Sincerely,
The Pizzuti Companies

Daniel L. Gore,
Vice President - Development



view from Park Street



view from Broadway & Park

BROADWAY & PARK APARTMENT HOMES
Grove City, Ohio

DEVELOPMENT PLANS

INDEX OF DRAWINGS

- AS1 ARCHITECTURAL SITE PLAN
- AS2 COMPACTOR ENCLOSURE
- C1 CIVIL SITE & FIRETRUCK AUTO TURN PLAN
- L1 LANDSCAPE SITE PLAN
- SL SITE LIGHTING PLAN
- A1 1 BEDROOM FLOOR PLANS
- A2 2 BEDROOM FLOOR PLANS
- A3 A1 BUILDING PLAN
- A4 A1-ALTERNATE BUILDING PLAN
- A5 A2 BUILDING PLAN
- A6 B BUILDING PLAN
- A7 A1 BUILDING ELEVATIONS
- A8 A1 & A2 BUILDING ELEVATIONS
- A9 A2 BUILDING ELEVATIONS
- A10 B BUILDING ELEVATIONS
- A11 B BUILDING ELEVATIONS
- A12 A1 & A2 STREETSCAPE ELEVATIONS

DESIGN ARCHITECT
FEHÉR
Architecture LLC

4041 N. High Street Suite 203a
Columbus, Ohio 43214
614.581.0069

ARCHITECT OF RECORD

LUSK
architecture

555 Metro Place North Suite 100
Dublin, Ohio 43017
614.827.6000

OWNER

PIZZUTI
Two Miranova Place Metro Place
Suite 220
Columbus, Ohio 43215
614.280.4000

RECEIVED

JUN 24 2015

GC PLANNING COMMISSION

PROJECT NAME

BROADWAY & PARK
APARTMENT HOMES

DEVELOPMENT PLAN

DATE
APRIL 27, 2015

REVISED
MAY 27, 2015
JUNE 24, 2015

PROJECT
INFORMATION



City Administrator _____

Service Director _____

Review for the City of
 Grove City _____

Jackson
 Township Fire Dept. _____

DEVELOPMENT PLAN DATA

BLDG. A1 (42 TOTAL)
 32 - 1 BEDROOM UNITS
 10 - 2 BEDROOM UNITS

BLDG. A2 (45 TOTAL)
 30 - 1 BEDROOM UNITS
 15 - 2 BEDROOM UNITS

BLDG. B (33 TOTAL)
 27 - 1 BEDROOM UNITS
 6 - 2 BEDROOM UNITS

3 - 3 STORY BUILDINGS
 120 APARTMENT UNITS

89 - 1 BEDROOM UNITS
 31 - 2 BEDROOM UNITS
 (1 CAR/BEDROOM = 151 CARS REQ'D.)
 TOTAL = 151 PARKING SPACES

SITE = +/- 3.25 AC.
 36.92 UNITS/AC.

☐ DENOTES APPROXIMATE LOCATION OF
 ROOF TOP MECHANICAL EQUIPMENT,
 (3 TON AC CONDENSERS).

FRONT ST

RAILROAD TRACKS

PARK ST

422'-3"

HARRISBURG PIKE

GROVE CITY RD

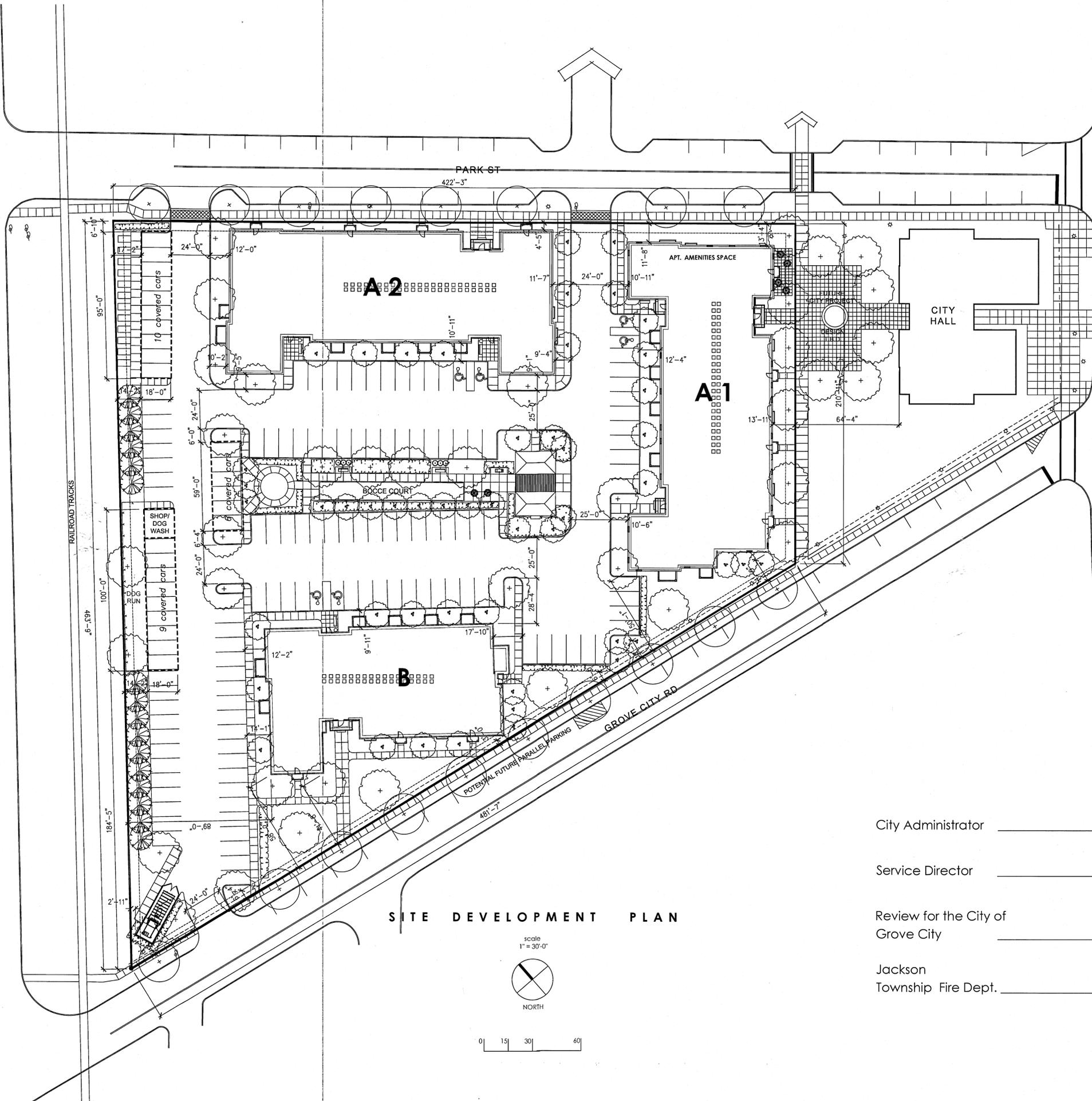
SITE DEVELOPMENT PLAN

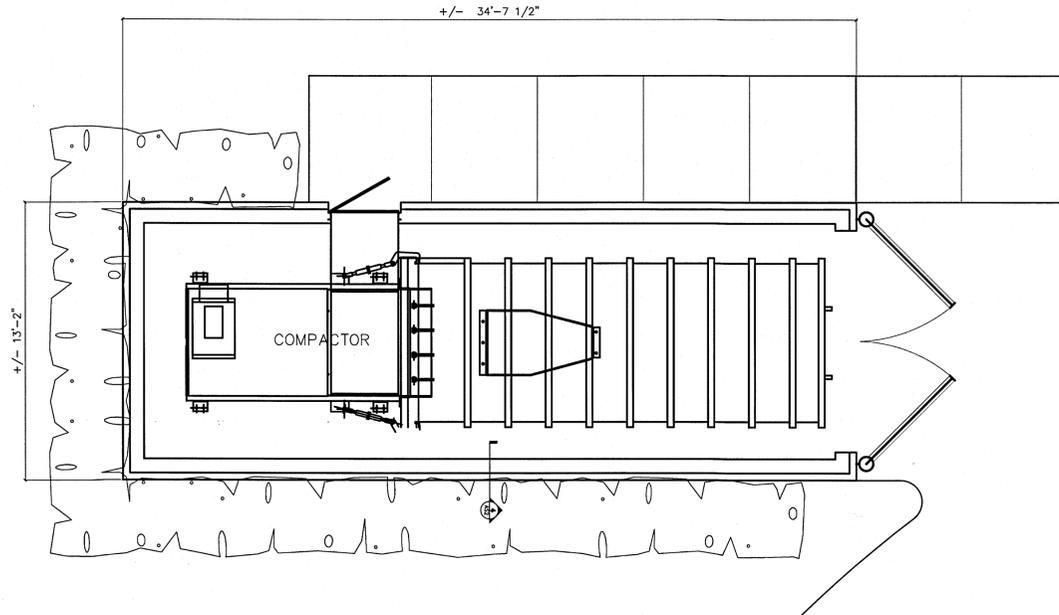
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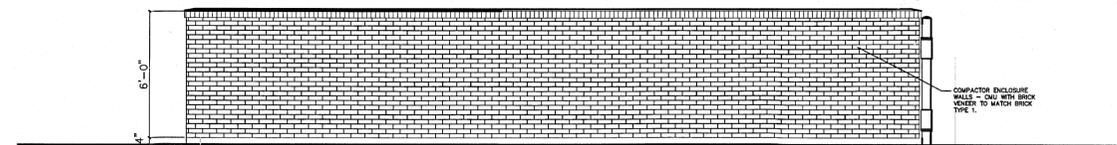
NORTH

0 15 30 60

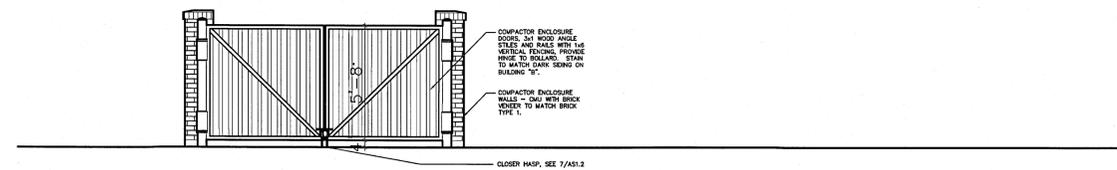




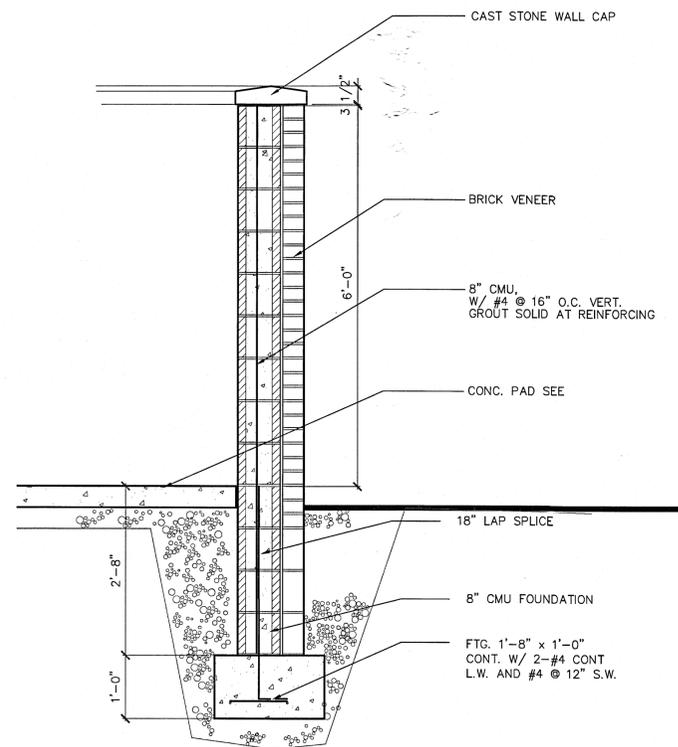
1 COMPACTOR / ENCLOSURE PLAN
 1/4" = 1'-0"



2 SOUTHEAST ELEVATION (opposite side similar)
 1/4" = 1'-0"



3 NORTHEAST ELEVATION (opposite end similar, w/out gate)
 1/4" = 1'-0"



4 WALL SECTION
 3/4" = 1'-0"

UTILITY NARRATIVE

SANITARY SEWER

The existing sanitary sewer that runs East-West through the middle of the site will be abandoned in place and removed where in conflict with building foundations or proposed utilities. The proposed buildings will be serviced by individual 6" services that connect into the existing 8" sewer that runs North-South through the middle of the site.

DOMESTIC WATER

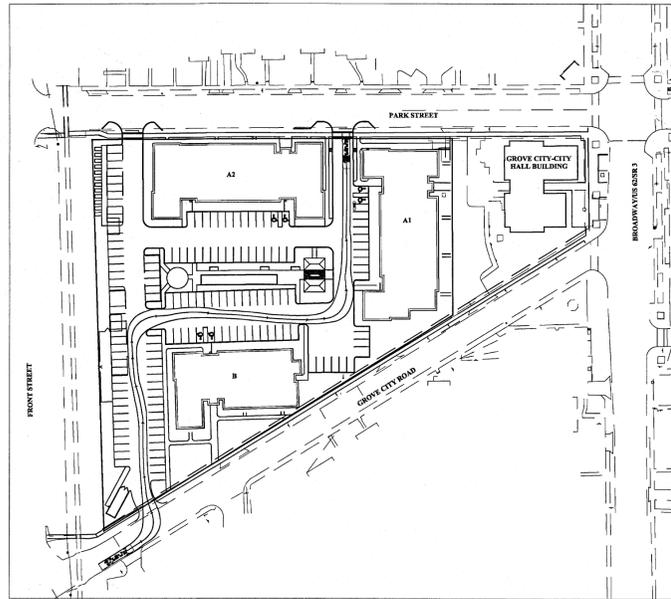
Water for the project will be fed from an existing 12" public main through a new tapping sleeve and valve near the intersection of Front Street and Grove City Road. The line will be split into separate fire protection and domestic services and the meter and backflow preventers will be installed in a meter building adjacent to the compactor in the Southwest corner of the site. After the backflow preventers, domestic and fire protection lines will be extended to each individual building. Fire hydrants on the existing public streets provide coverage for the buildings, but one hydrant will be installed in the center of the site.

STORMWATER MANAGEMENT

The site will outlet to an existing 48" storm sewer in the Northwest corner of the site. Catch basins and storm sewers within the parking lot will intercept stormwater from the pavement and the building roof drains and route them to an underground stormwater system in the Northwest corner of the site that will be designed to meet City of Grove City and Ohio EPA detention and water quality requirements.

UTILITY LEGEND

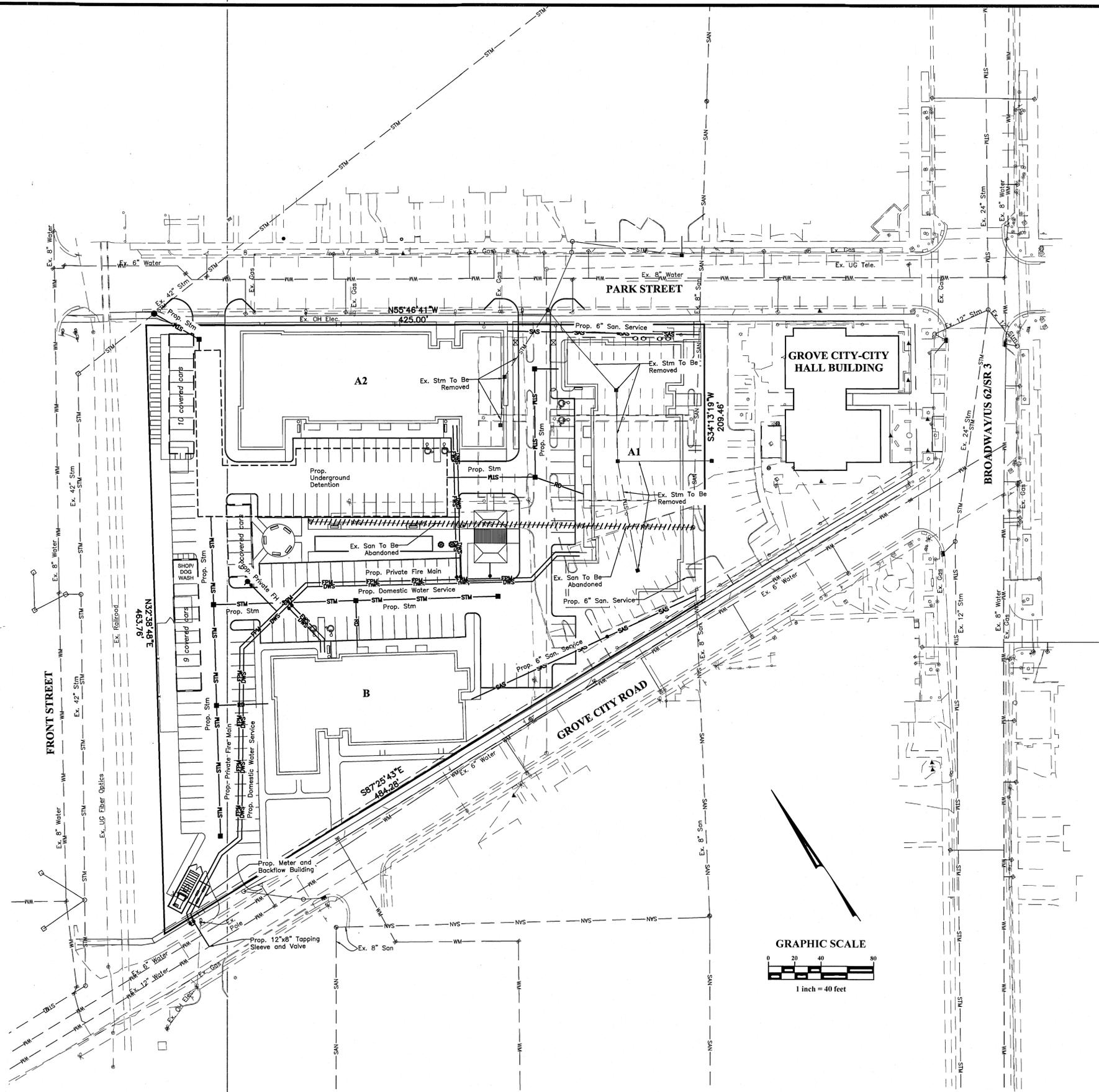
EXISTING	PROPOSED
STM	Storm Sewer
SAN	Sanitary Sewer
WM	Water
E	Underground Electric
C	Underground Communication
G	Gas
OHE	Overhead Electric/Communication
RD	Roof Drain
SAS	Sanitary Sewer Service
SAN	Sanitary Sewer Main
WM	8" Water Service Tap
DWS	4" Domestic Water Service
PFM	Private 8" Fire Protection Main
C	Communication
E	Electric
GS	Gas



FIRETRUCK AUTOTURN EXHIBIT
1" = 100'

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
June 24, 2015



MARK	DATE	DESCRIPTION

PIZZUTI

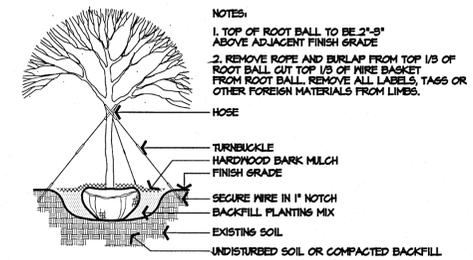
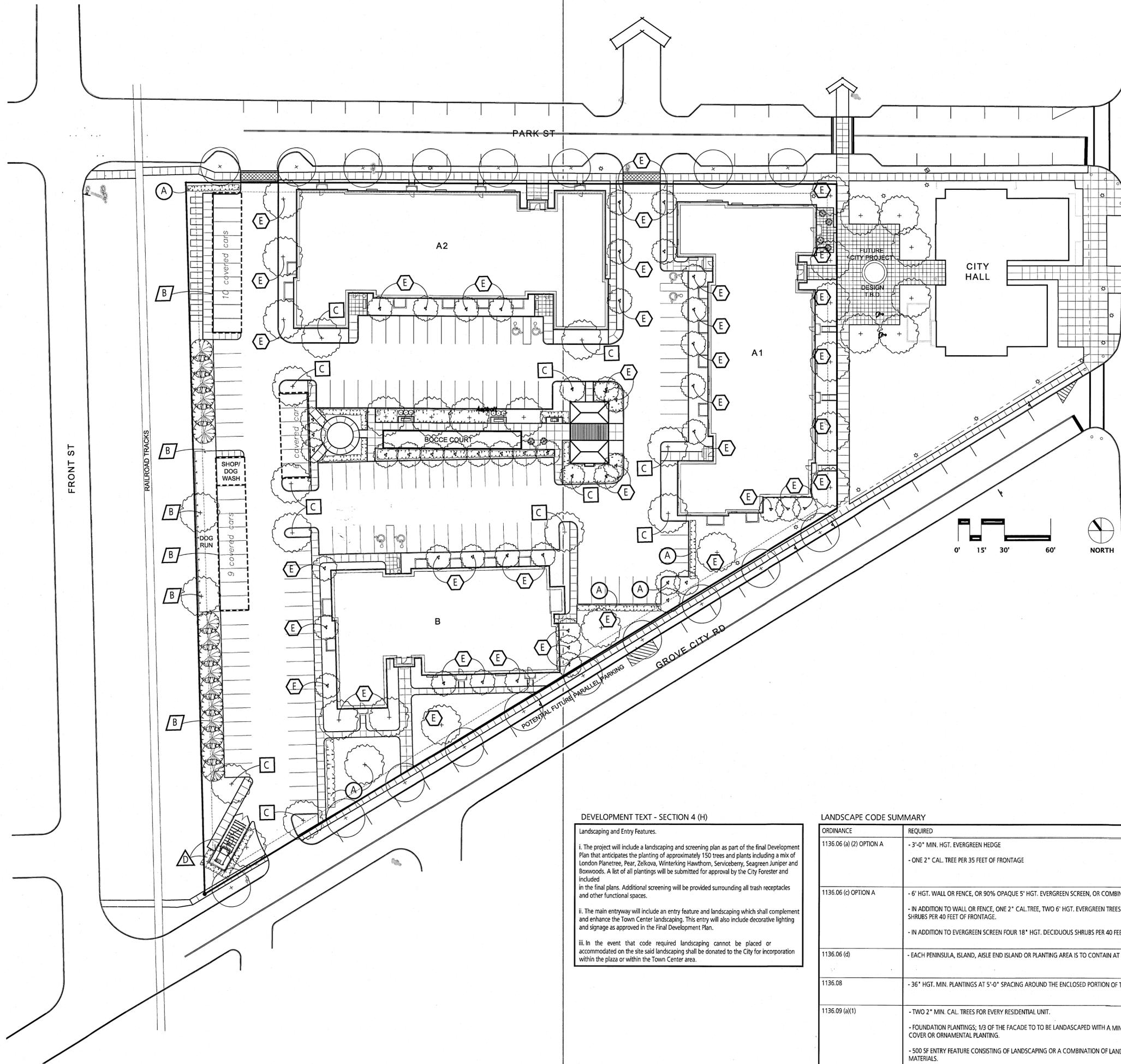
GROVE CITY, FRANKLIN COUNTY, OHIO
CONCEPT SITE UTILITY PLAN
FOR
GROVE CITY APARTMENTS



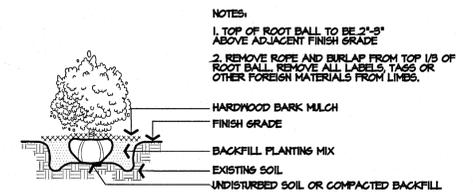
DATE	June 24, 2015
SCALE	1" = 40'
JOB NO.	2015-0445
SHEET	1/1

AA:20150445.Dwg\ASchmitt\A:Exhibits\A:20150445-Concept_MPHN_Elct.dwg, Last Saved By: mpschmitt, 5/27/2015, 1:35:58 PM, Last Printed By: mpschmitt, Matthew, 6/23/2015, 2:10:34 PM, (No Xrefs)

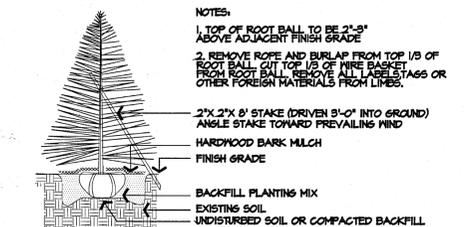
**BROADWAY & PARK
APARTMENT HOMES**
GROVE CITY, OH



1 TREE PLANTING
NTS



2 SHRUB PLANTING
NTS



3 EVERGREEN TREE PLANTING
NTS

DEVELOPMENT TEXT - SECTION 4 (H)

Landscaping and Entry Features.

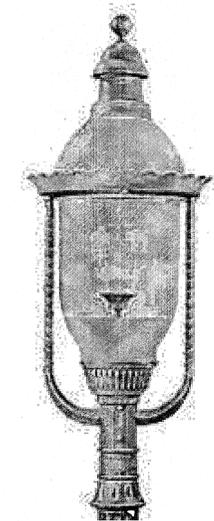
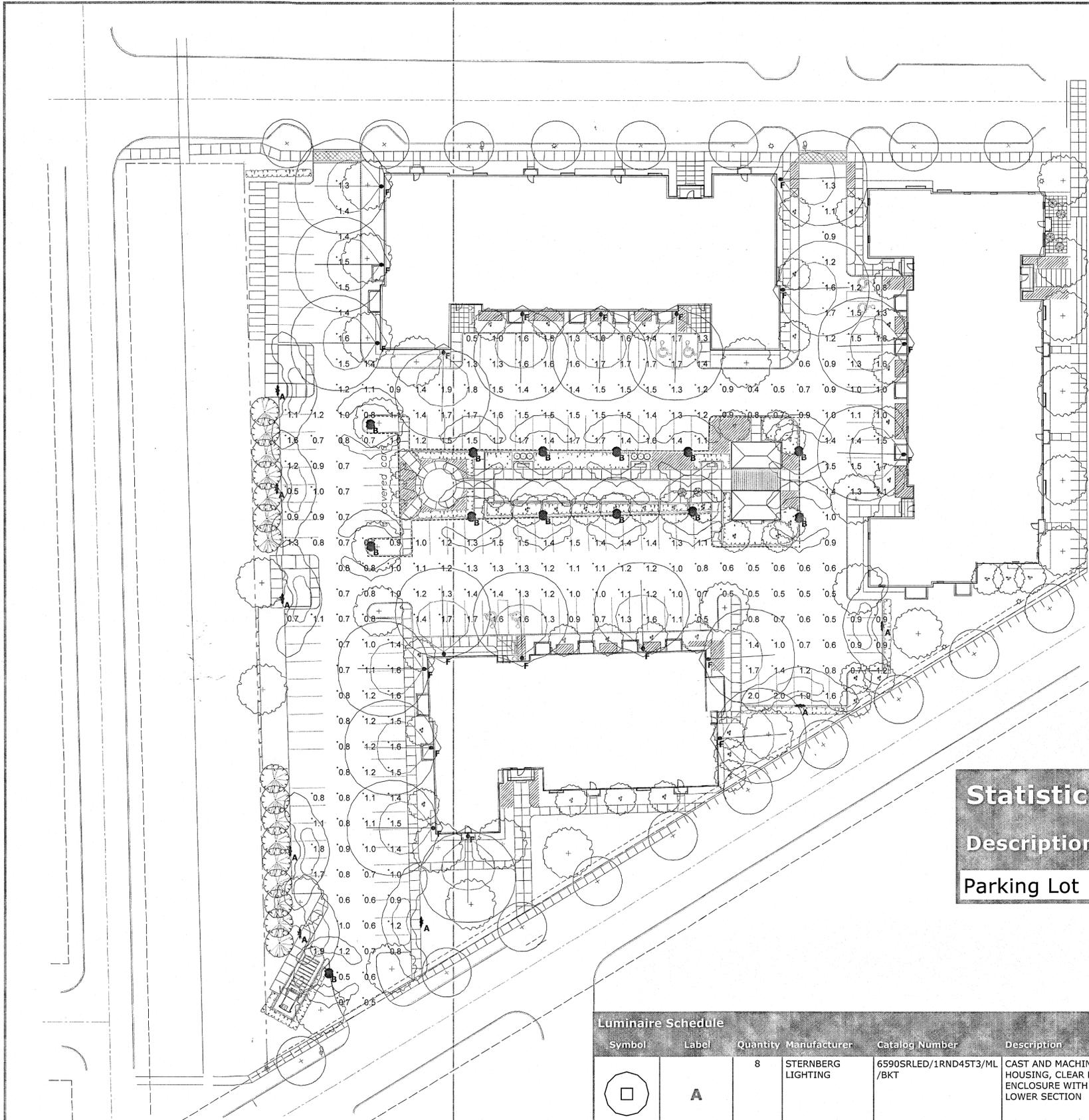
i. The project will include a landscaping and screening plan as part of the final Development Plan that anticipates the planting of approximately 150 trees and plants including a mix of London Planetree, Pear, Zelkova, Winterking Hawthorn, Serviceberry, Seagreen Juniper and Boxwoods. A list of all plantings will be submitted for approval by the City Forester and included in the final plans. Additional screening will be provided surrounding all trash receptacles and other functional spaces.

ii. The main entryway will include an entry feature and landscaping which shall complement and enhance the Town Center landscaping. This entry will also include decorative lighting and signage as approved in the Final Development Plan.

iii. In the event that code required landscaping cannot be placed or accommodated on the site said landscaping shall be donated to the City for incorporation within the plaza or within the Town Center area.

LANDSCAPE CODE SUMMARY

ORDINANCE	REQUIRED	PROVIDED	KEY
1136.06 (a) (2) OPTION A	- 3'-0" MIN. HGT. EVERGREEN HEDGE - ONE 2" CAL. TREE PER 35 FEET OF FRONTAGE	- 3'-0" MIN. HGT. EVERGREEN HEDGE FOR 125' FRONTAGE. PLANTINGS WILL BE PROVIDED TO MEET THE PUD TEXT. - 4 2" CAL. TREES FOR 125' FRONTAGE. PLANTINGS WILL BE PROVIDED TO MEET THE PUD TEXT.	(A)
1136.06 (c) OPTION A	- 6' HGT. WALL OR FENCE, OR 90% OPAQUE 5' HGT. EVERGREEN SCREEN, OR COMBINATION. - IN ADDITION TO WALL OR FENCE, ONE 2" CAL. TREE, TWO 6' HGT. EVERGREEN TREES AND TWO 18" HGT. DECIDUOUS SHRUBS PER 40 FEET OF FRONTAGE. - IN ADDITION TO EVERGREEN SCREEN FOUR 18" HGT. DECIDUOUS SHRUBS PER 40 FEET OF FRONTAGE.	- A COMBINATION OF EVERGREEN TREE SCREEN AND OPAQUE FENCE FOR 463' OF FRONTAGE. PLANTINGS WILL BE PROVIDED TO MEET THE PUD TEXT.	(B)
1136.06 (d)	- EACH PENINSULA, ISLAND, AISLE END ISLAND OR PLANTING AREA IS TO CONTAIN AT LEAST ONE 2" MIN. CAL. TREE.	- 12 2" CAL. TREES ARE PROVIDED IN ISLANDS, AISLE ENDS OR PENINSULAS. PLANTINGS WILL BE PROVIDED TO MEET THE PUD TEXT.	(C)
1136.08	- 36" HGT. MIN. PLANTINGS AT 5'-0" SPACING AROUND THE ENCLOSED PORTION OF THE PERIMETER SCREEN.	- TRASH COMPACTOR IS SCREENED BY FENCE ENCLOSURE AND GATES. - AIR CONDITIONERS AND TRANSFORMERS ARE SCREENED BY LANDSCAPING.	(D)
1136.09 (a)(1)	- TWO 2" MIN. CAL. TREES FOR EVERY RESIDENTIAL UNIT. - FOUNDATION PLANTINGS; 1/3 OF THE FACADE TO BE LANDSCAPED WITH A MINIMUM OF 5 SHRUBS, GROUND COVER OR ORNAMENTAL PLANTING. - 500 SF ENTRY FEATURE CONSISTING OF LANDSCAPING OR A COMBINATION OF LANDSCAPING AND HARDSCAPE MATERIALS.	- 49 2" CAL. TREES FOR 135 DWELLING UNITS - FOUNDATION PLANTINGS WILL BE PLANTED TO MEET THE PUD TEXT. 140 SF OF LANDSCAPE AREA IS PROVIDED AS PART OF THE ENTRY FEATURE ON PARK STREET. PLANTINGS WILL BE PROVIDED TO MEET THE PUD TEXT.	(E)



Note

- 1) Poles mounted at 13' AFG
- 2) Floods mounted at 35' AFG and aimed at 45 degrees
- 3) Iso-line displays are one-half (purple) and one (green) foot-candle contribution of an individual fixture or pole assembly.
- 4) Calculations are at grade.
- 5) Calculations are the expected maintained average at 50,000 hours.

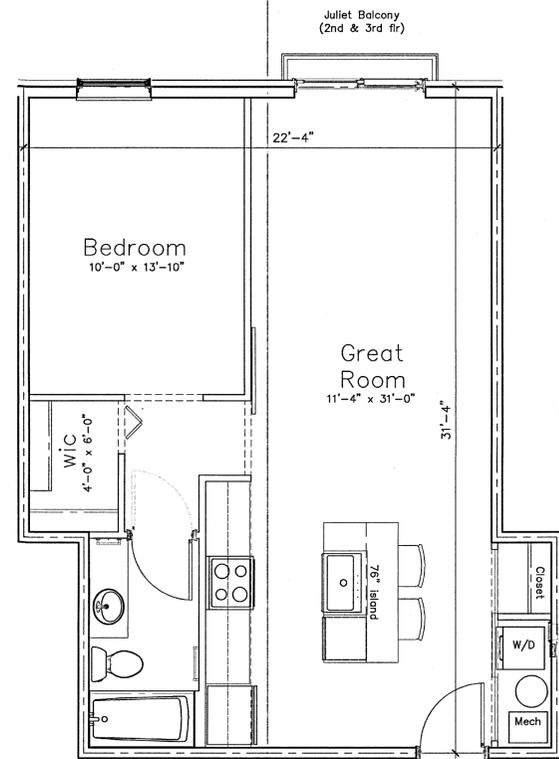
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	1.2 fc	2.0 fc	0.4 fc	5.0:1	3.0:1

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	8	STERNBERG LIGHTING	6590SRLED/1RND45T3/ML/BKT	CAST AND MACHINED ALUMINUM HOUSING, CLEAR PLASTIC ENCLOSURE WITH FROSTED LOWER SECTION	26 WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH	1	6590SRLED-1RND45T3.IES	1838.699	0.95	31.6
	B	13	STERNBERG LIGHTING	6590SRLED/1RND45T5/ML/BKT	CAST AND MACHINED ALUMINUM HOUSING, CLEAR PLASTIC ENCLOSURE WITH FROSTED LOWER SECTION	26 WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH	1	6590SRLED-1RND45T5.IES	1959.091	0.95	31.4
	F	20	Lithonia Lighting	DSXF1 LED 2 A530/50K WFL MVOLT	D-SERIES FLOOD SIZE 1 WITH 2 COB, 5000K, (WFL) DISTRIBUTION, NEMA TYPE 6HX6V	LED	1	DSXF1_LED_2_A530_50K_WFL_MVO.LT.ies	-1	0.9	40.45

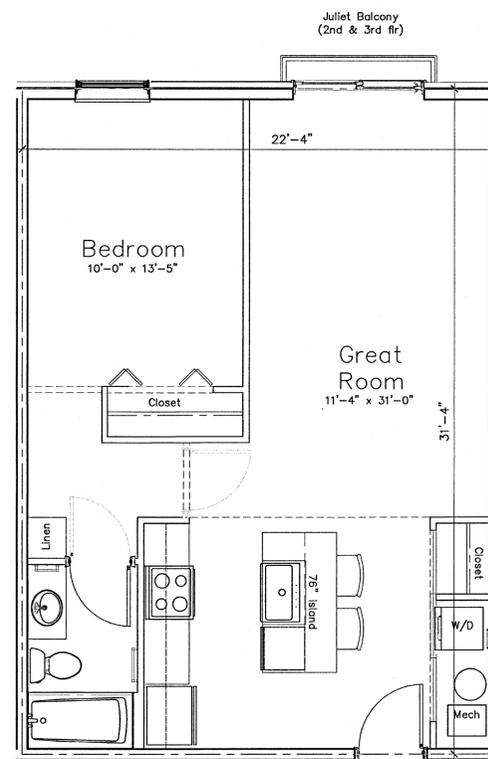
Plan View
Scale: 1" = 20'



699 sf
 2nd & 3rd floor @ street frontage units

1 BEDROOM STANDARD
 SCENARIO - A.2

699 sf
 1 Bedroom - 1 Bath



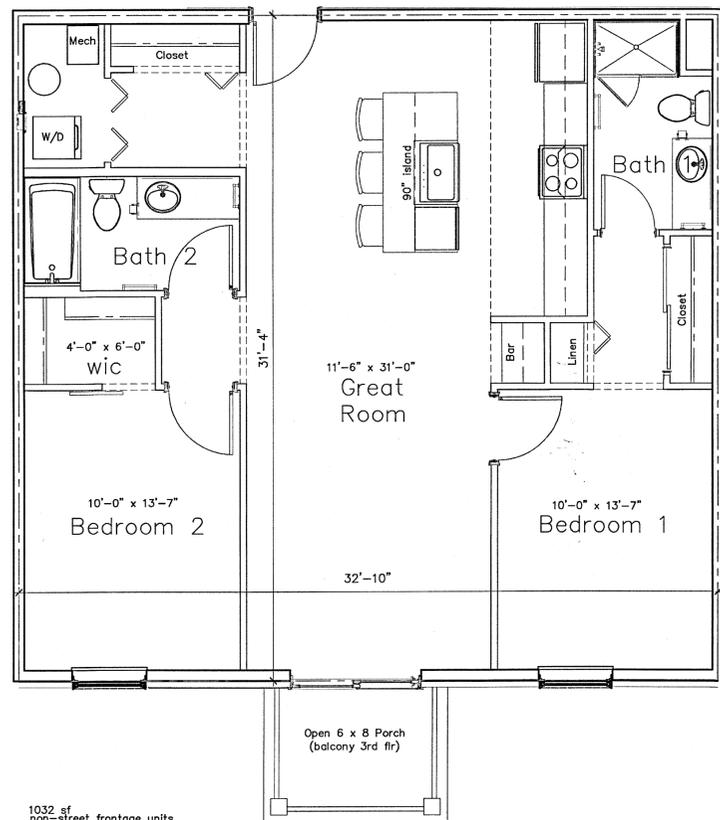
699 sf
 2nd & 3rd floor @ street frontage units

BEDROOM STANDARD
 SCENARIO - A.3

699 sf
 1 Bedroom - 1 Bath

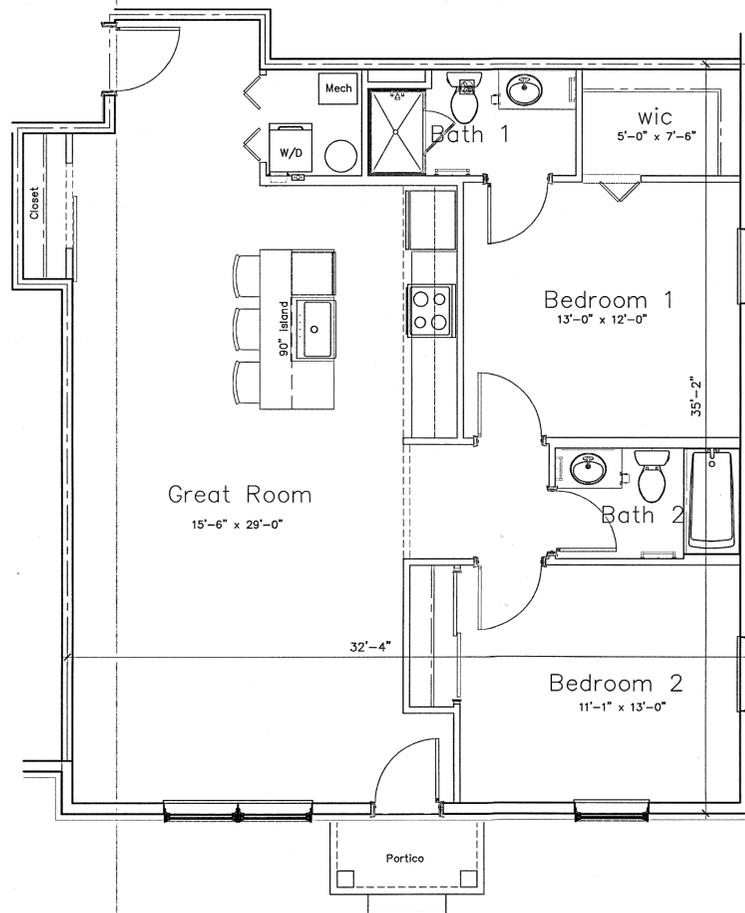
1 BEDROOM APARTMENT PLANS

scale
 1/4" = 1'-0"



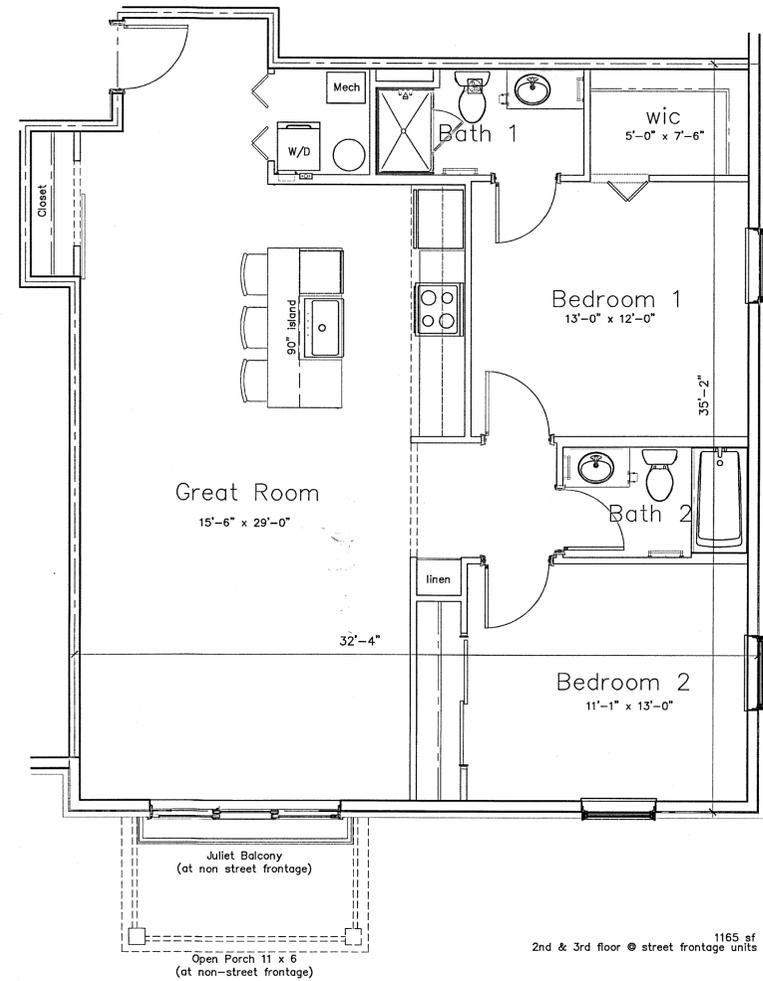
1032 sf
 non-street frontage units

2 BEDROOM STANDARD
 1032 SF
 2 Bedrooms - 2 Baths



1165 sf
 ground floor @ street frontage units

2 BEDROOM CORNER
 GROUND FLOOR
 1165 SF
 2 Bedrooms - 2 Baths

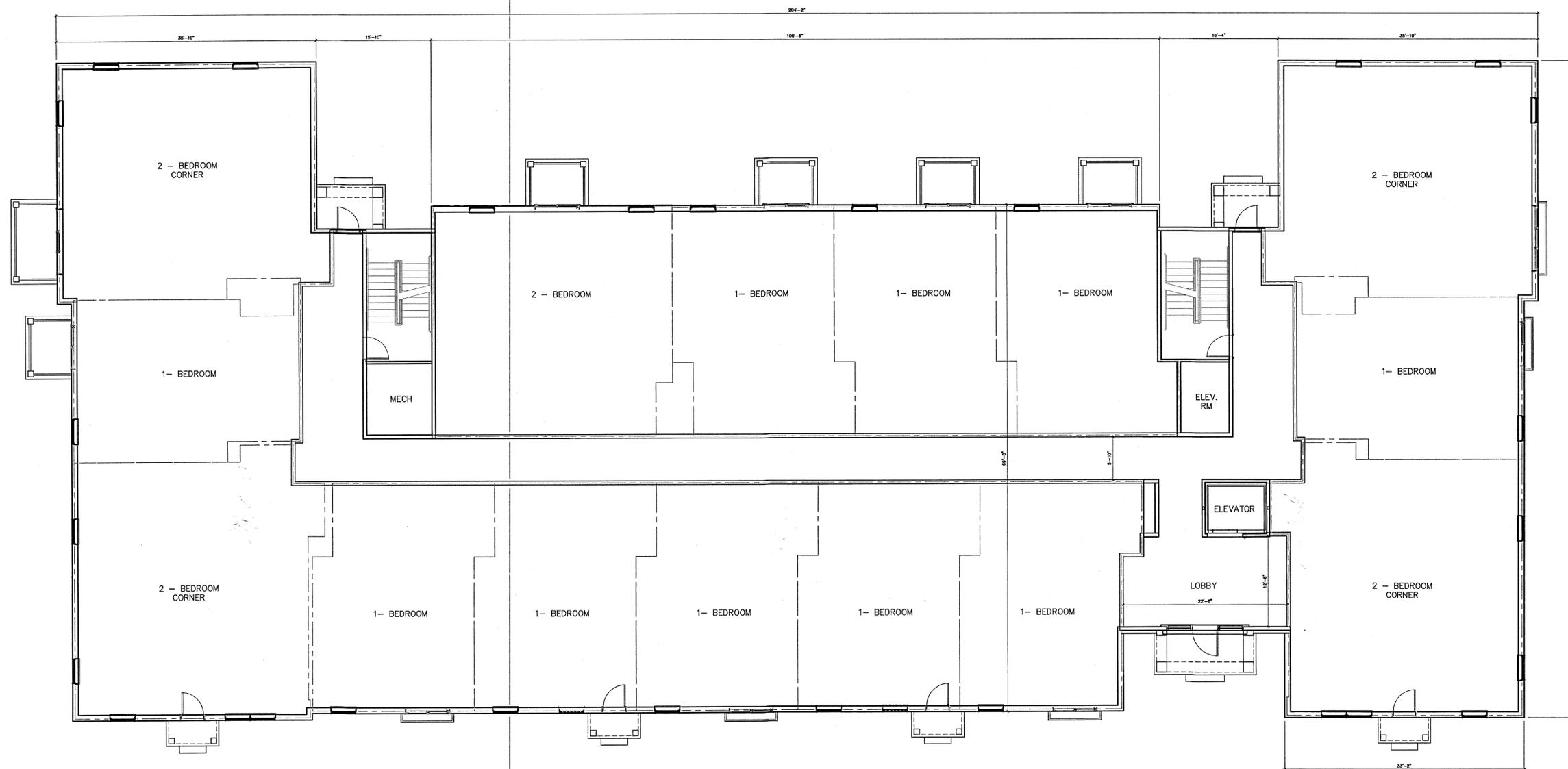


1165 sf
 2nd & 3rd floor @ street frontage units

2 BEDROOM CORNER
 FLOORS 2 & 3
 1165 SF
 2 Bedrooms - 2 Baths

2 BEDROOM APARTMENT PLANS

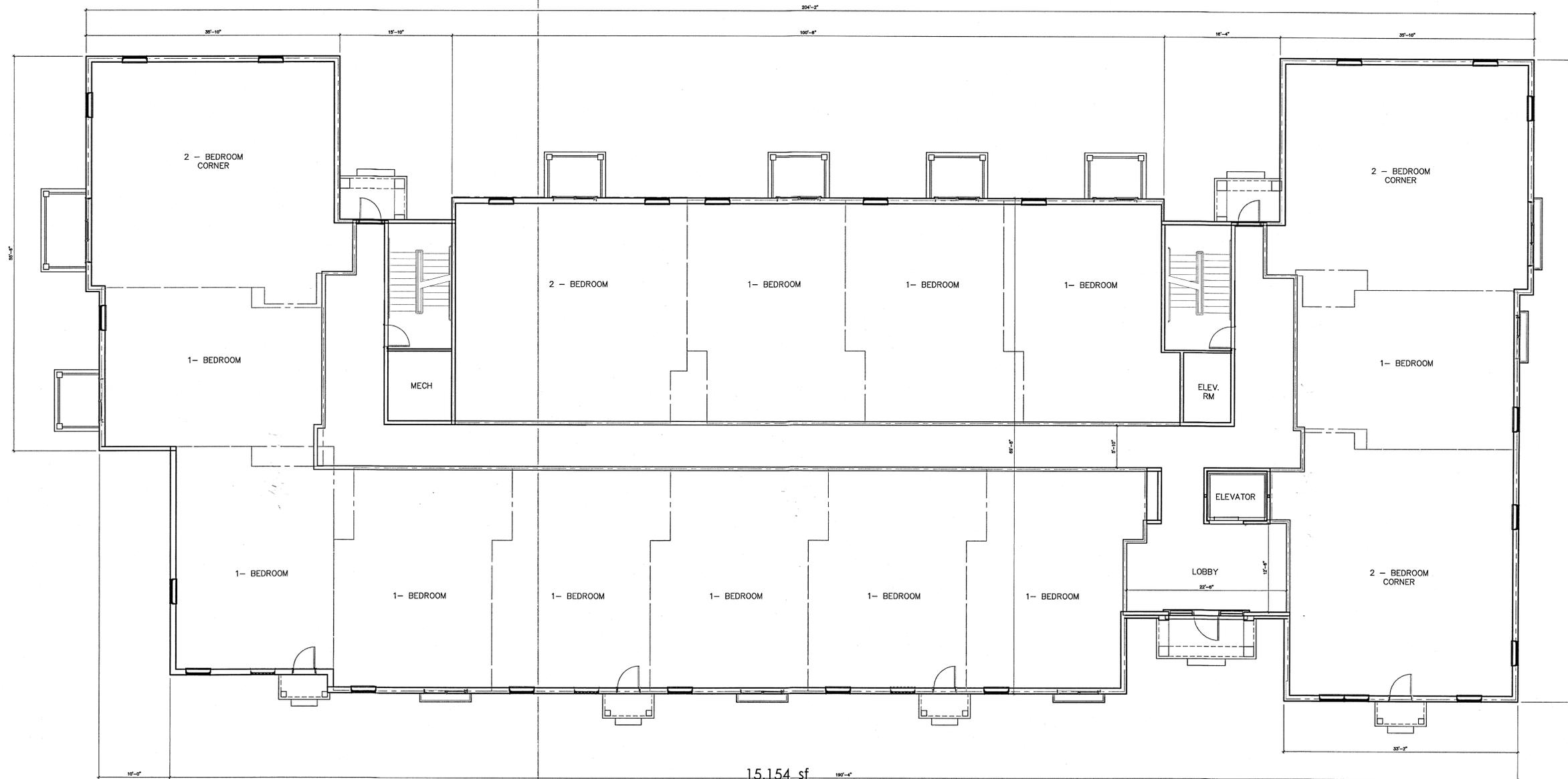
scale
 1/4" = 1'-0"



15,154 sf
 12 apt's. on 1st floor
 15 apartments floors 2 & 3

APARTMENT BUILDING TYPE A1

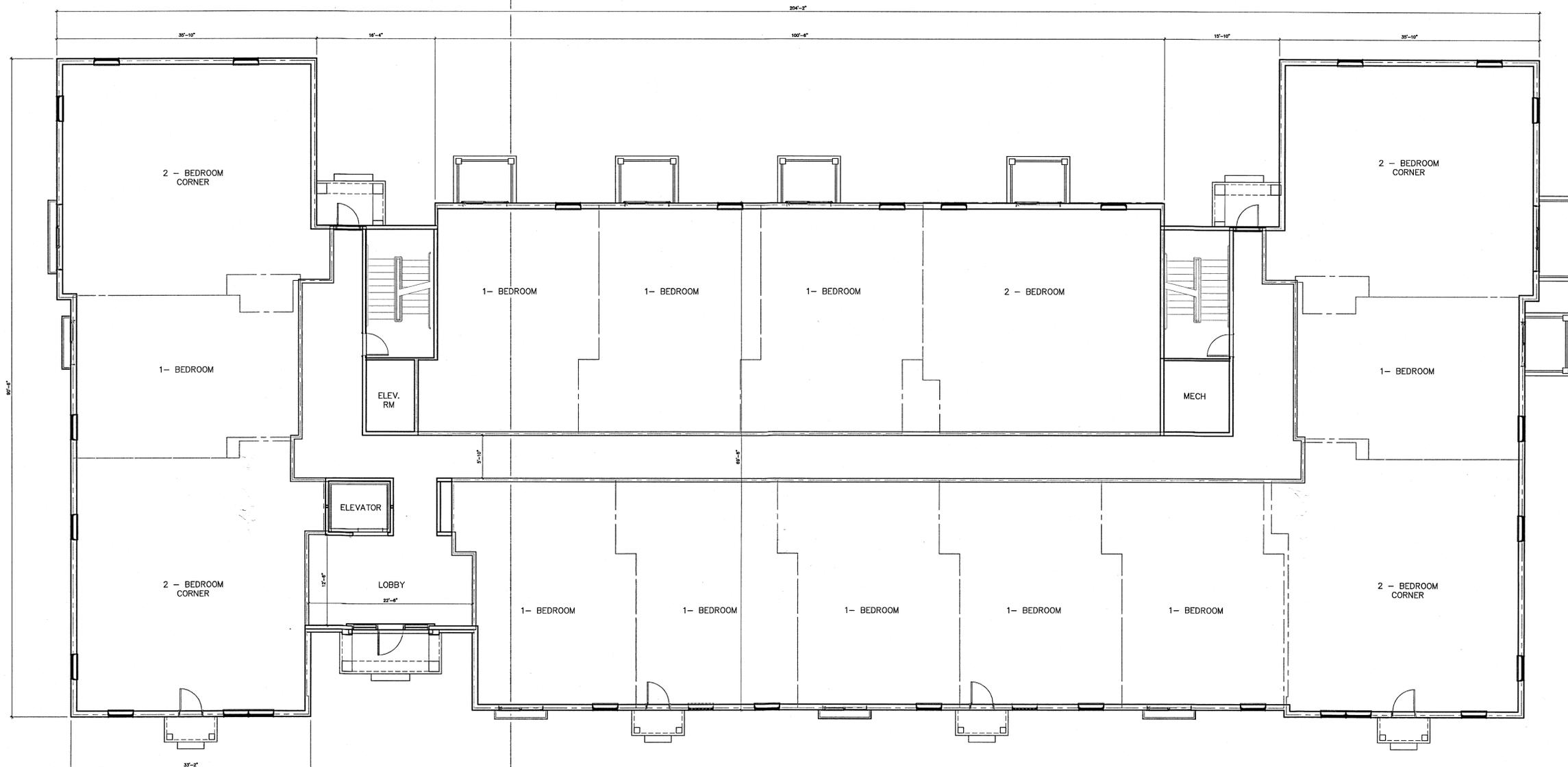
scale
 1/8" = 1'-0"



15,154 sf
12 apt's. on 1st floor
15 apartments floors 2 & 3

APARTMENT BUILDING TYPE A1 - ALTERNATE

scale
1/8" = 1'-0"



15,154 sf
15 apartments floors per floor

APARTMENT BUILDING TYPE A2

scale
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

CODE	MATERIAL / FINISH	COLOR /FINISH
1	BRICK "A" (LIGHT)	Stratford Tumbled(mod)
2	BRICK "B" (DARK)	Rustic Burgundy Tumbled(mod)
3	CAST STONE OR EIFS	Natural Stone Color #1102
4	ALUMINUM STOREFRONT	Anodized Bronze Finish
5	VINYL WINDOW/DOOR UNIT	Bronze Finish
6	LAP SIDING (premium vinyl)	to match Ben Moore "Carter Gray"
7	B&B SIDING (premium vinyl)	to match Ben Moore "Brick House Tan"
8	CAST STONE BASE	Natural Stone Color #1102
9	FABRIC AWNINGS	Navy blue
10	ALUMINUM RAILS & PICKETS	Bronze Finish
11	DIMENSIONAL SINGLES	Charcoal

RECEIVED
 JUN 24 2015
 GC PLANNING COMMISSION

