

June 29, 2015

Project: LONDON PLACE
Location: London-Groveport Road and Summit Way, Grove City, Ohio

Design Narrative – Final Development Plan

The proposed **London Place** commercial development project is located at 2798 London-Groveport Road, Grove City, Ohio at the northwest corner of the intersection of Summit Way. The 8,400 total sq. ft. new restaurant/retail center will have exterior materials consisting of storefront, two different brick veneer colors and one EIFS color while the rear of the structure shall consist of structural masonry veneer. On-site parking will accommodate 67 total parking spaces (34 for restaurant and 33 for retail).

SHELL BUILDING CONSTRUCTION FOR
LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO

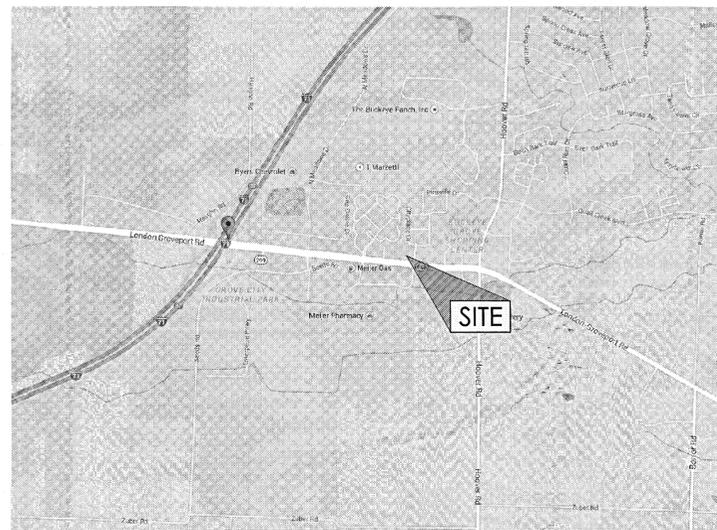
INTEGRA REALTY SERVICES, LLC
 c/o CBRE
 280 N. HIGH STREET
 SEVENTEENTH FLOOR
 COLUMBUS, OHIO 43215
 TEL: 614.224.5039

BEAN

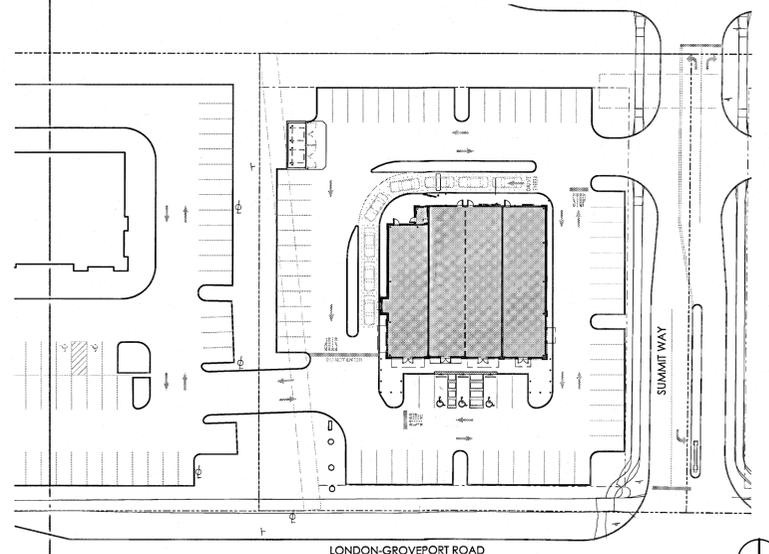
J. CARTER BEAN ARCHITECT
 4400 NORTH HIGH STREET, SUITE 401
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 J. CARTER BEAN ARCHITECT
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SITE MAP



KEY PLAN



INDEX OF DRAWINGS

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LANDSCAPE ARCHITECT
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 COLUMBUS, OHIO 43215
 TEL 614-487-1964

CIVIL ENGINEER
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MECHANICAL & ELECTRICAL ENGINEER
EM ENGINEERING GROUP
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 COLUMBUS, OHIO 43215
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 FAX 614-461-1305

LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO
 FOR
INTEGRA REALTY SERVICES, LLC

DRAWING STATUS	
STATUS	DATE
FINAL DEVELOPMENT	08/29/2015

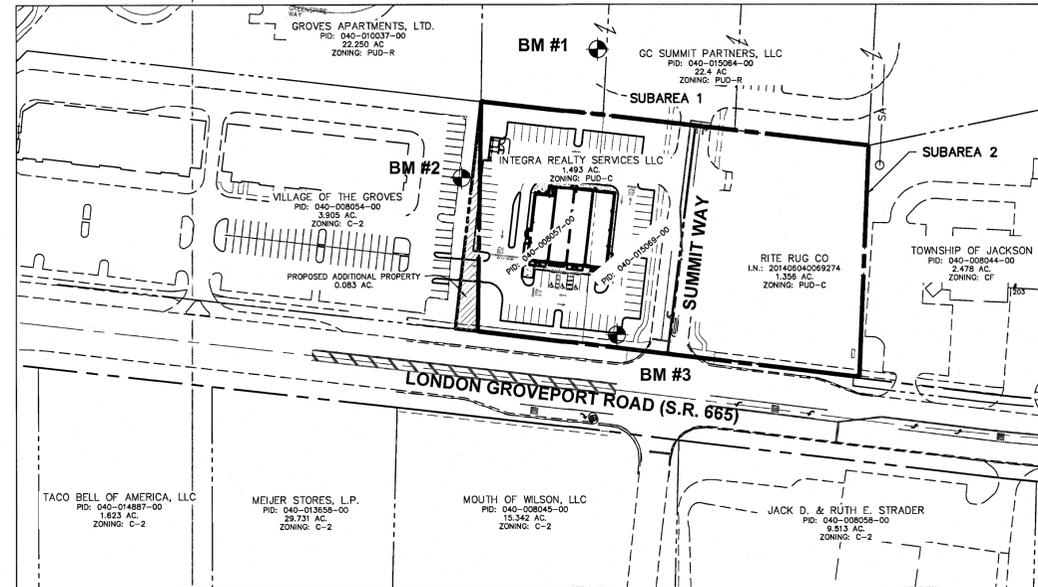
DRAWING TITLE
**PROJECT
 INFORMATION
 AND INDEX
 OF DRAWINGS**

DRAWING NUMBER
A-0.1

CITY OF GROVE CITY, OHIO LONDON PLACE 2780 LONDON GROVEPORT ROAD & SUMMIT WAY SITE DEVELOPMENT PLAN

GENERAL DEVELOPMENT STANDARDS

PROPOSED SUB AREA	SUB-AREA 2 PUD-C OUTPARCELS
AREA	2.85± AC. TOTAL 1.576 AC. FOR THIS APPLICATION
PERMITTED USES	USES PERMITTED C-1 AND C-2 AND UNDER (PSO) PROFESSIONAL SERVICES, (OLR) OFFICE LAB RESEARCH IN CHAPTER 1135.09
DENSITY	8,000 S.F./ACRE (MAX) (12,806 S.F. ALLOWED) 8,400 S.F. PROPOSED
MAXIMUM BUILDING HEIGHT	35' HEIGHT (MEASURED FROM GRADE TO THE MIDDLE POINT OF THE ROOF MASSING BETWEEN THE EAVES OF THE PEAK)
OFF STREET PARKING	PER GROVE CITY REQUIREMENTS FOR EACH USE SECTION 1135.12
PROPOSED STREET TYPE	PRIVATE, SHARED ACCESS. ALL PRIVATE DRIVES AND DRIVEWAYS WILL HAVE CURBS AND CURB CUTS THAT WILL BE CONSTRUCTED TO GROVE CITY STANDARDS. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF PRIVATE STREETS, SETBACK 5' MINIMUM FROM STREET, AND CONSTRUCTED TO GROVE CITY STANDARDS.
R.O.W. WIDTH	100' LONDON GROVEPORT RD. PRIVATE STREET: N/A
PAVEMENT WIDTH	SHARED ACCESS DRIVE 36' OR AS OTHERWISE APPROVED BY THE CITY ENGINEER. WILL CONFORM TO GROVE CITY STANDARDS REGARDING (2) WAY STREETS.
SET BACKS:	
PUBLIC ROAD	20' PARKING SETBACK (FROM PUBLIC R.O.W.) 15' PARKING SETBACK PROPOSED 30' BUILDING SETBACK (FROM PUBLIC R.O.W.)
PRIVATE STREET	15' PARKING SETBACK (FROM EDGE OF PAVEMENT) 20' BUILDING SETBACK (FROM EDGE OF PAVEMENT)
SIDE	10' BUILDING & PARKING SETBACK
REAR	30' BUILDING & PARKING SETBACK (ADJOINING SUB SUBAREA "1") 20' PARKING AND BUILDING SETBACK PROPOSED



INDEX MAP
SCALE: 1" = 100'

SITE DATA	
SITE AREA	1,576 ACRES (68,628 SQ.FT.) (BY SURVEY)
BUILDING AREA	8400 S.F.
BUILDING HEIGHT	24'-8"
CURRENTLY ZONED	PUD-C

PARKING DATA	
PARKING SPACES REQUIRED:	
20% S.F. RESTAURANT = 1,700 S.F. (1 PER 50)	34 SPACES REQ'D
79% S.F. RETAIL = 6,600 S.F. (1 PER 200)	33 SPACES REQ'D
1% S.F. MECH ROOM = 100 S.F.	67 SPACES REQ'D
TOTAL PARKING SPACES PROVIDED	67 SPACES
H/C PARKING SPACES REQUIRED	3 SPACES
H/C PARKING SPACES PROVIDED	3 SPACES

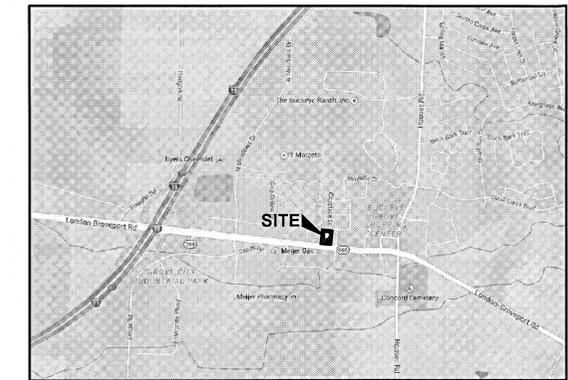
LOT COVERAGE	
BUILDING	8400 S.F. (11.9%)
PAVEMENT & WALK	45,057 S.F. (65.6%)
LANDSCAPING/OPENSAPCE	15,421 S.F. (22.5%)

BENCH MARKS

FRANKLIN COUNTY NAVD 1988 DATUM

SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION.

- SITE BM #1 - SOUTH ARROW BOLT ON FIRE HYDRANT, NORTH OF PROPERTY. CALLED OUT ON PLAN AS BM #1. WITH COORDINATES BELOW
- NORTHING = 670841.6726
EASTING = 1806152.3329
ELEVATION = 822.2000
- SITE BM #2 - "X" CUT SET IN SOUTH SIDE OF LIGHT POLE BASE. CALLED OUT ON PLAN AS BM #2. WITH COORDINATES BELOW.
- NORTHING = 670690.0173
EASTING = 1805991.4900
ELEVATION = 826.5200
- SITE BM #3 - "X" CUT SET IN NORTHEAST CORNER CONCRETE PAD IN SOUTH EAST CORNER OF SITE. CALLED OUT ON PLAN AS BM #3. WITH COORDINATES BELOW
- NORTHING = 670503.9520
EASTING = 1806175.0739
ELEVATION = 821.1400

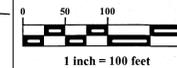


LOCATION MAP
NO SCALE

INDEX OF SHEETS

TITLE SHEET	1
SITE DIMENSION PLAN	2
UTILITY PLAN	3
SITE GRADING PLAN	4
SITE DETAILS	5

GRAPHIC SCALE



DEVELOPER

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WARREN, OHIO 44484
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EMAIL: TWARNER@ADVANCEDCIVILDESIGN.COM
PHONE: 614-428-7750

ARCHITECT

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CONTACT: J. CARTER BEAN
EMAIL: CARTER@BEANARCHITECTS.COM
TEL: 614.262.2326

REGISTERED ENGINEER _____ DATE _____

CITY OF GROVE CITY APPROVALS
"City of Grove City" signatures on this plan signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

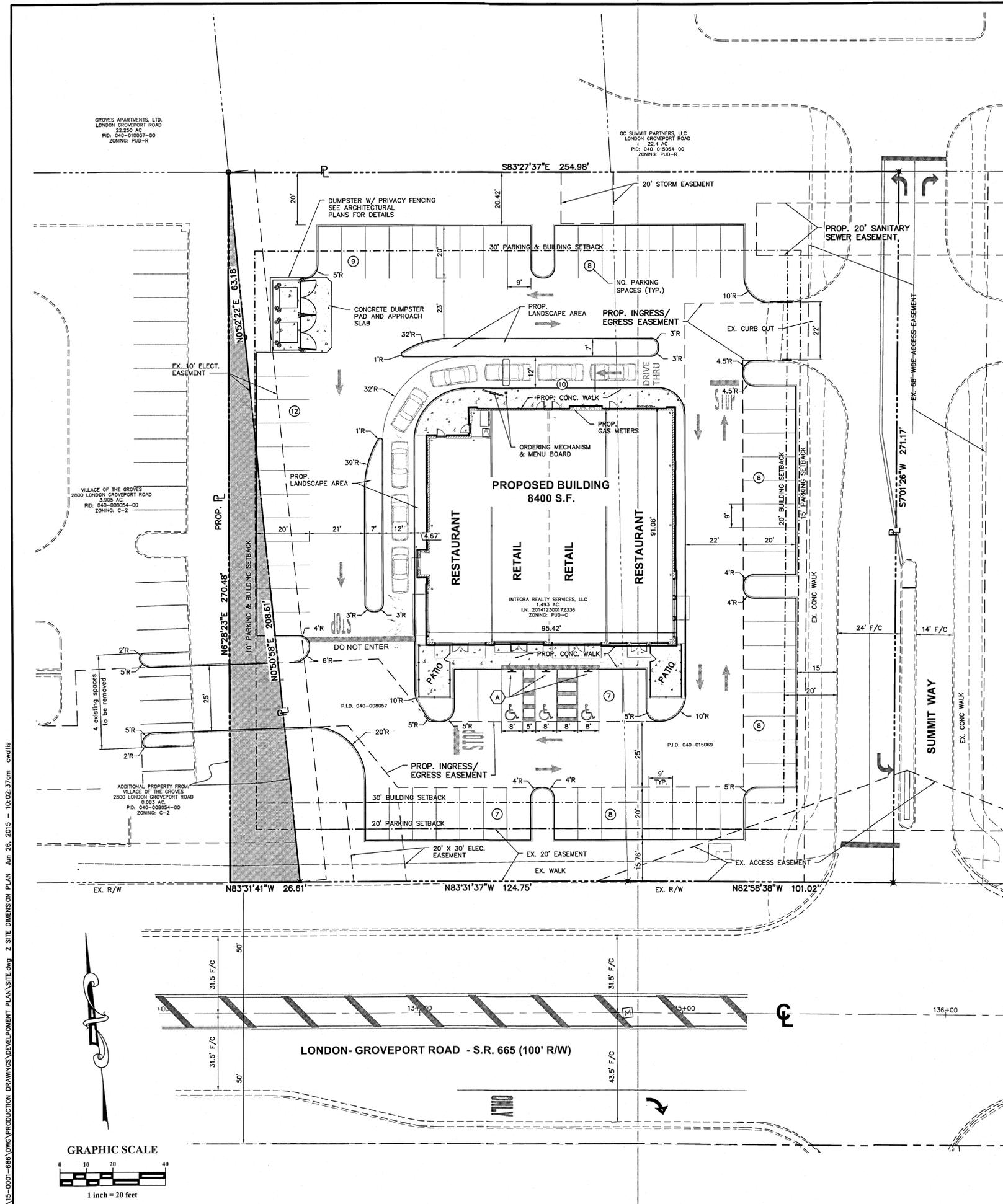
CITY ADMINISTRATOR, CITY OF GROVE CITY _____ DATE _____

SERVICE DIRECTOR, CITY OF GROVE CITY _____ DATE _____

REVIEWER FOR THE CITY OF GROVE CITY _____ DATE _____

JACKSON TOWNSHIP FIRE DEPARTMENT _____ DATE _____





DEVELOPMENT PLAN REQUIREMENTS

- A title block in the lower right hand corner containing:
 - Final Development Plan
 - Project Title and City Project No.
 - Name and address of Owner
 - Date
- Title block shown on all sheets with required information provided.
- Location Map.
 - LOCATION MAP PROVIDED IN THE UPPER RIGHT CORNER OF SHEET 1.
- North Arrow (up or to the left)
 - NORTH ARROW PROVIDED ON ALL SHEETS IN PROPER ORIENTATION.
- The property dimensions and boundary lines of the site, including total acreage and/or total square footage of site, and approximate distance to the nearest cross street.
 - THE PROPERTY BOUNDARY, TOTAL ACREAGE AND APPROXIMATE DISTANCES ARE SHOWN AND LABELED ON THIS SHEET.
- All existing or proposed building locations on or adjacent to the property, existing structures per the BOCA and Ohio Fire Code and access points on and adjacent to the property. (Chap 1511)
 - ALL EXISTING BUILDINGS, ACCESS POINTS AND PARKING AREAS ARE SHOWN ON THIS SHEET.
- All setbacks and building lines. (Chap. 1135.10)
 - BUILDING AND SETBACK LINES ARE SHOWN ON THIS SHEET.
- All existing public streets or private drives with street name, right-of-way and pavement width, median openings, and left turn lanes. (Chap. 901)
 - ALL EXISTING ROADWAYS, BOTH PUBLIC AND PRIVATE ARE SHOWN ON THIS SHEET. RIGHT-OF-WAY WIDTHS, LANE CONFIGURATION AND PAVEMENT WIDTHS ARE ALL LABELED.
- All railroad and utility right-of-ways, or easements, parks or other public/open spaces and corporation lines within or adjacent to the tract.
 - NO PARKS OR PUBLIC OPEN SPACES ARE TO BE DEDICATED AS A PART OF THIS DEVELOPMENT.
- Proposed areas of dedication, if necessary, including streets, alleys, easements, or reserves by deed covenant with the condition proposed to the tract (Chap. 1141.01a)
 - NOT APPLICABLE
- Points of ingress and egress to the property including design and spacing of driveways in accordance with Chapter 1105 of the Codified Ordinances.
 - ALL INGRESS AND EGRESS POINTS ON THE PROPERTY ARE SHOWN AND LABELED ON THIS SHEET.
- Existing ground configuration, drainage channels, wooded areas, watercourses, and other significant physical features. (Chap. 1136)
 - EXISTING GROUND CONTOURS ARE SHOWN ON SHEET 4. THERE ARE CURRENTLY NO WOODED AREAS OR WATERCOURSES ON THE PROPOSED SITE.
- Parking area including number and layout of spaces, aisle width, garbage pick-up location (including privacy fencing around dumpster area, with gates), per Ohio Fire Code and handicapped parking spaces. Calculations of the parking spaces required up. (Chap. 1136, 1511)
 - PROPOSED PARKING IS SHOWN AND LABELED ON THIS SHEET. AISLE WIDTHS AND NUMBER OF SPACES ARE CLEARLY LABELED.
 - PROPOSED DUMPSTER LOCATION AND SCREENING ARE SHOWN ON THIS SHEET WITH ADDITIONAL DETAILS ON ARCHITECTURAL PLANS.
 - PARKING SPACES REQUIRED AND PROVIDED ALONG WITH HANDICAP SPACE CALCULATIONS ARE SHOWN IN THE SITE DATA TABLE PROVIDED ON SHEET 1.
- Screening walls and location, type of screening wall, either living, masonry, or privacy fencing. (Chap. 1136.08)
 - SITE SCREENING IS SHOWN ON THE SITE LANDSCAPING PLAN.
- Indicate all areas to be landscaped, type of landscaping, and total square footage of landscaped areas in accordance with Chapter 1136 of the Codified Ordinances.
 - SEE SITE LANDSCAPING PLAN FOR DETAILS OF ALL PROPOSED LANDSCAPING FEATURES.
- Show all mechanical equipment to be located on exterior of buildings (HVAC, Exhaust Vents, Hoods, etc.) (Chap. 1341)
 - EXTERIOR MECHANICAL EQUIPMENT AND PROPOSED SCREENING IS SHOWN AS PART OF THE ARCHITECTURAL PLANS.
 - ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED BY RAISED PARAPET.
- Existing sewers, water mains, culverts and other underground facilities within the tract, adjacent to the tract, or that will be used in developing the tract, indicating pipe sizes, grades, and locations including fire hydrants existing and proposed. (Chap. 953, 939, 1101)
 - REFERENCE SHEET 4 FOR EXISTING STORM SEWER, WATERLINE AND SANITARY SEWER.
- All proposed water and sewer lines with sizes indicated and location of valves, fire hydrants, manholes, and other appurtenances or structures shown. (Chap. 953, 939, 1101)
 - PROPOSED WATER AND SEWER LINES ALONG WITH VALVES, HYDRANTS, MANHOLES AND OTHER APPURTENANCES ARE SHOWN ON SHEET 4.
- All proposed or existing water and sewer connections, meter locations, size of meters, with meter and/or detector check valve vaults indicated. (Chap. 1101, 1103, 1133, 1307)
 - ALL EXISTING AND PROPOSED CONNECTIONS AND METERS ARE SHOWN ON SHEET 4.
- Finished floor elevation of proposed or existing structures on the site referenced to sea level datum. (Chap. 1101, 1103, 1133, 1307)
 - PROPOSED FINISHED FLOOR ELEVATIONS ARE SHOWN ON SHEET 4. ALL ELEVATIONS SHOWN HEREON ARE BASED ON FRANKLIN COUNTY NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- Existing and proposed contours of the tract in intervals of one foot or less, referenced to sea level datum. (Chap 1101.05g)
 - EXISTING & PROPOSED CONTOURS ARE SHOWN AT ONE FOOT INTERVALS ON SHEET 4.
- Proposed or existing on and off site inlets, culverts or other drainage structures. (Chap. 1322, 1323)
 - ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES ARE SHOWN ON SHEET 4.
- Proposed signage for the entire site to include permitted square footage of all signs and permitted height and location of pole signs (However, separate application for signage must be approved and sign permit issued.) (Chap. 1101.08)
 - SIGNAGE SHALL BE IN ACCORDANCE WITH CHAPTER 1145 AND REVIEWED/APPROVED BY THE BUILDING DIVISION.
- Proposed area lighting showing detail of each fixture and height (on building and/or around parking area). (Chap. 1139.03)
 - PROPOSED LIGHT LOCATIONS AND FIXTURE DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- Zoning of the property as it now stands and the zoning proposed, if it is being requested to be changed. (Chap. 1101)
 - THE SITE IS CURRENTLY ZONED PUD-C
- Proposed use of the site or buildings. (Chap. 1101.08)
 - Multi-Tenant Retail.
- Storm water retention in accordance with section. (Chap. 1135.10)
 - ONSITE DETENTION WITH STORMWATER REQUIREMENTS.
- Size of the building (square footage). See Table 1135.10-I, 1135.12-II and 1135.14-III.
 - THE BUILDING SIZES ARE SHOWN ON THIS SHEET.

- Height of all structures including site lighting. (Chap. 1101)
 - THE BUILDING HEIGHT IS SHOWN ON THE ARCHITECTURAL ELEVATIONS PROVIDED. SITE LIGHTING DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- Number of living units, by number of bedrooms, if applicable. (Chap. 1135.10g(7))
 - THE ARE NO RESIDENTIAL LIVING UNITS PROPOSED FOR THIS DEVELOPMENT.
- A certificate by a registered land surveyor or engineer that the premises covered by the plan have been surveyed, that the plan is correct, and that the monuments shown on the plot will be set in accordance with Section 1101.051.
 - THE LOT LINES REFLECT THE LOT DIMENSIONS ON ALTA SURVEY AS PREPARED BY AN OHIO LICENSED SURVEYOR.
- Color rendering of building(s), complete with listing of all colors, including Pantone 1999-2000 Reference Numbers or if Pantone is not available, the manufacturer's reference/serial number with sample, and materials, with samples to be used. (c-39-00; passed 5/12/00)
 - COLOR RENDERINGS ARE INCLUDED.
- Compliance to National Flood Insurance Program Community Panels No. 390173-0001 through 4. Show 100-year flood plain. (Chap. 1329)
 - THE PROPOSED SITE LIES WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR & 500-YEAR FLOODPLAIN PER FEMA PANEL #39049C0404K, DATED JUNE 17, 2008.
- Site plan to be signed by an engineer or surveyor registered in the State of Ohio. (Chap. 1101.05)
 - REGISTERED ENGINEER AND SURVEYOR PROVIDED ON SHEET 1.
- Signature block.
 - SIGNATURE BLOCK PROVIDED ON SHEET 1 WITH REQUIRED MUNICIPAL SIGNATURE BLOCKS.
- Compliance with Historical Preservation Area requirements, if applicable, Chapter 1138 of the Codified Ordinances.
 - NOT APPLICABLE
- A narrative description of the project of at least one paragraph in length.
 - PROJECT NARRATIVE ATTACHED WITH SUBMITTAL.

FLOOD NOTE

By graphic plotting only this property is located in Zone "x" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 39049C0404K, with an effective date of June 17, 2008, in Franklin County, Ohio. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

NOTES:

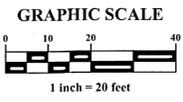
ALL PAVEMENT MARKINGS AND STRIPING SHALL BE WHITE.

ALL RADII ARE 5', UNLESS OTHERWISE NOTED.

A KNOX BOX SHALL BE PROVIDED AND LOCATED UPON THE BUILDING IN CONJUNCTION WITH THE JACKSON TOWNSHIP FIRE DEPARTMENT

DIMENSIONS PROVIDED ARE FROM FACE OF CURB TO FACE OF CURB WHEN DIMENSIONED FROM CURB.

Ⓜ HANDICAPPED PARKING SIGN W/ BOLLARD, SEE DETAIL SHEET 5



Z:\15-0001-688-VDMS\PRODUCTION DRAWINGS\DEVELOPMENT PLANS\SITE.dwg 2 SITE DIMENSION PLAN Jun 26, 2015 - 10:02:37am cwillis

PLAN PREPARED BY:
 422 Beecher Road
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755
ADVANCED CIVIL DESIGN
 ENGINEERS & ARCHITECTS

PLAN PREPARED FOR:
INTEGRA REALTY SERVICES, LLC
 9642 HAWKS LANDING NE
 WARREN, OHIO 44484

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN
 FOR
LONDON PLACE
SITE DIMENSION PLAN

Issue Date:

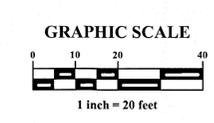
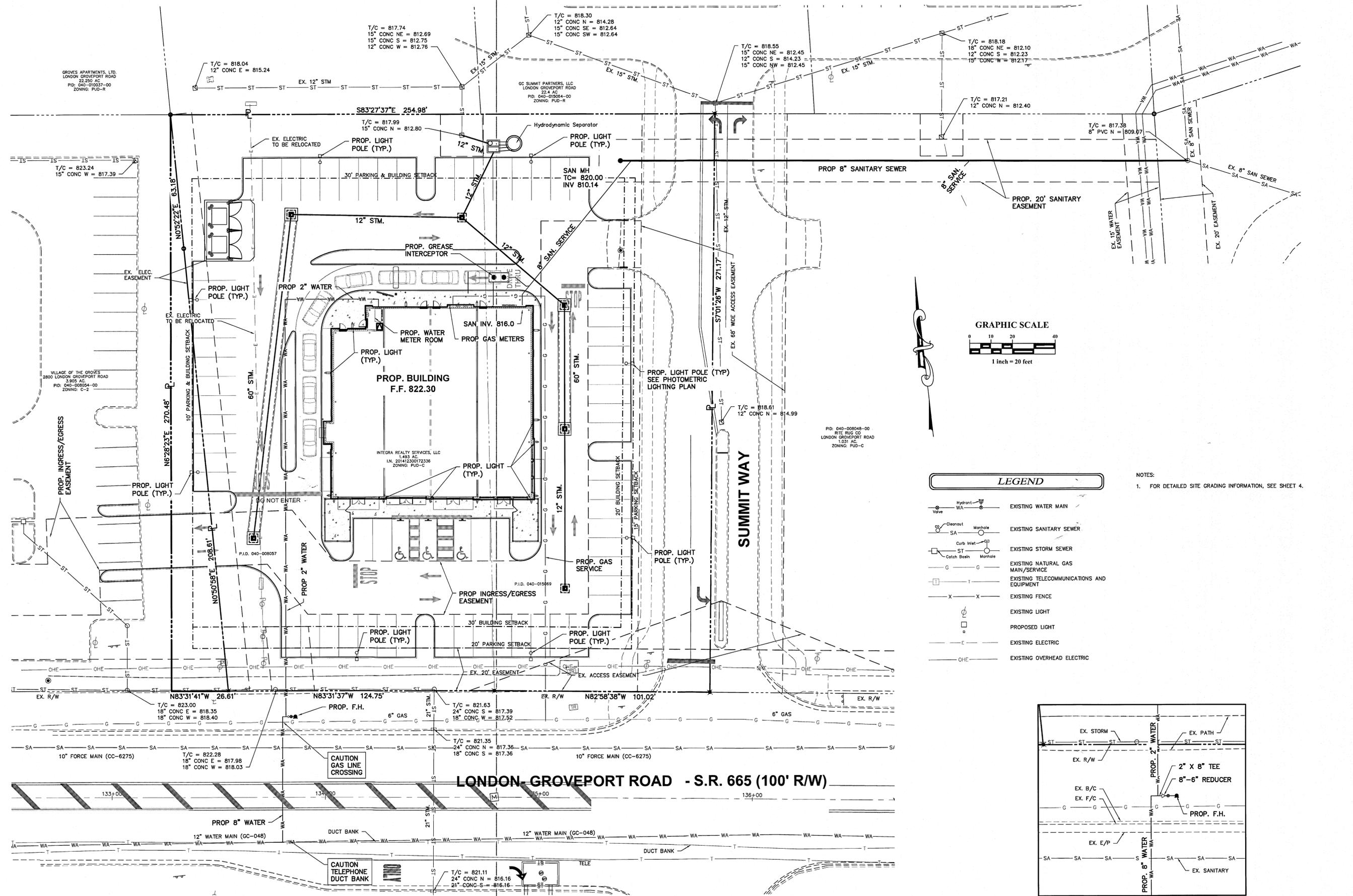
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Drawn By: CAW
 Checked By: TMW

Project Number:
 15-0001-688

Drawing Number:
2 / 5

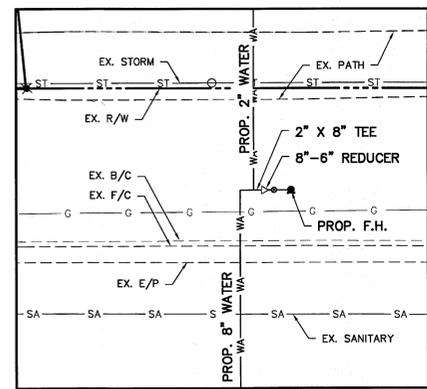
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LEGEND

	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING NATURAL GAS MAIN/SERVICE
	EXISTING TELECOMMUNICATIONS AND EQUIPMENT
	EXISTING FENCE
	EXISTING LIGHT
	PROPOSED LIGHT
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC

NOTES:
1. FOR DETAILED SITE GRADING INFORMATION, SEE SHEET 4.



PLAN PREPARED BY:
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Columbus, Ohio 43230
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ADVANCED CIVIL DESIGN
SERVING ENGINEERS & ARCHITECTS

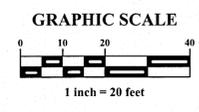
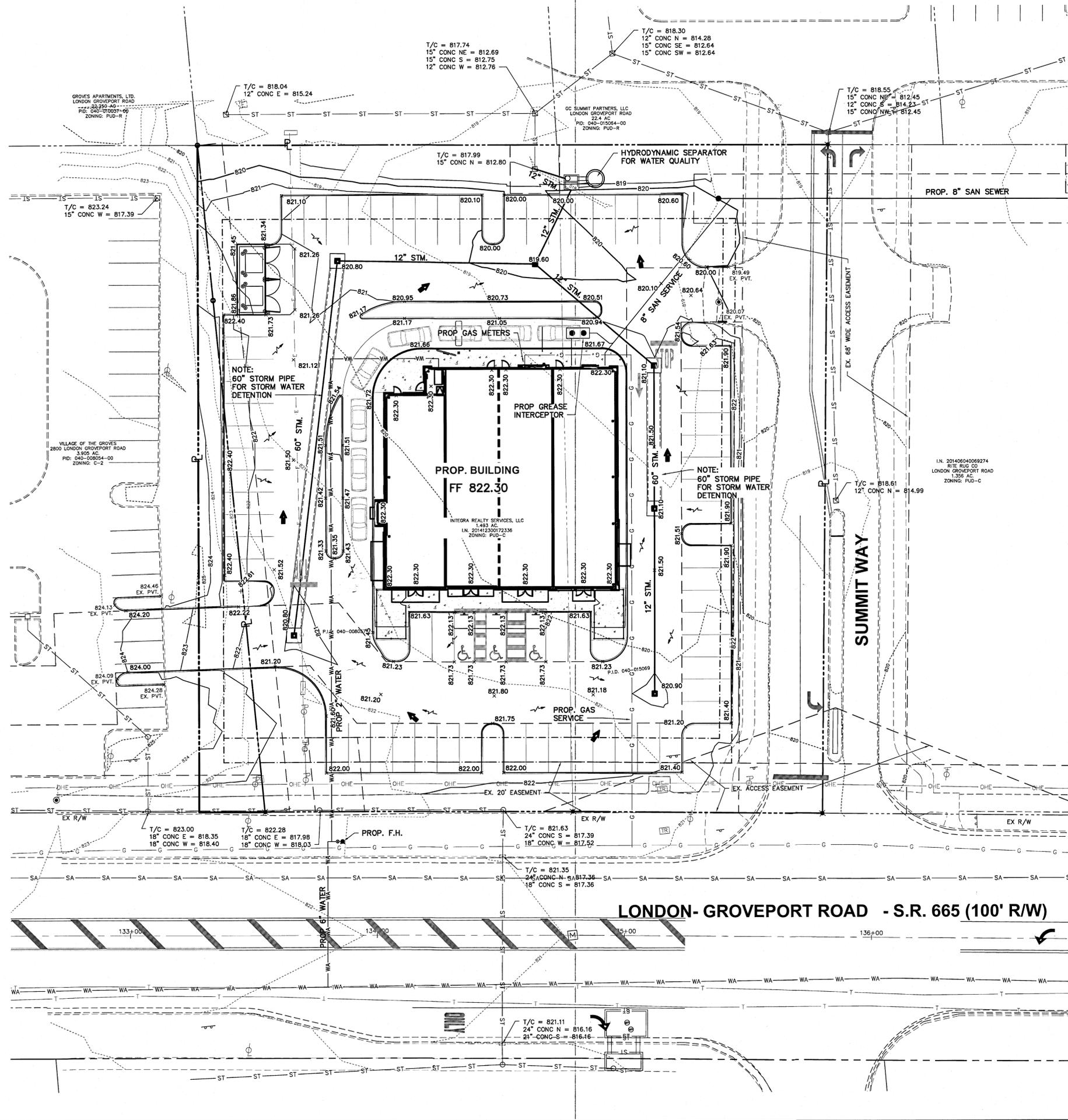
PLAN PREPARED FOR:
INTEGRA REALTY SERVICES, LLC
9642 HAWKS LANDING NE
WARREN, OHIO 44484

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
LONDON PLACE
UTILITY PLAN

Issue Dates:

Date: 06-29-2015
Scale: AS NOTED
Drawn By: CAW
Checked By: TMW
Project Number:
15-0001-686
Drawing Number:
3 / 5

Z:\15-0001-686\DWG\PRODUCTION DRAWINGS\DEVELOPMENT PLAN\GRADING.dwg 4 SITE GRADING PLAN Jun 26, 2015 - 10:03:30am cewallis



LEGEND	
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
x 776.40	SPOT ELEVATION
→	MINOR FLOW
→	MAJOR ROUTING PATH
Hydrant	EXISTING WATER MAIN
Cleanout	EXISTING SANITARY SEWER
Curb Inlet	EXISTING STORM SEWER
Catch Basin	EXISTING NATURAL GAS MAIN/SERVICE
G	EXISTING TELECOMMUNICATIONS AND EQUIPMENT



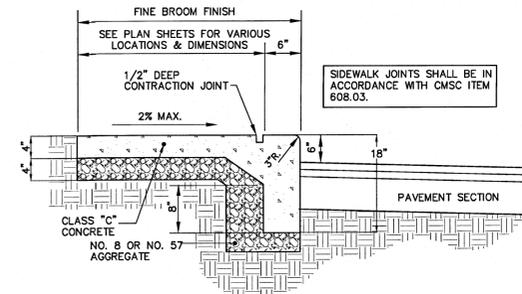
PLAN PREPARED BY:

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 Celina, Ohio 43230
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 fax 614.428.7755

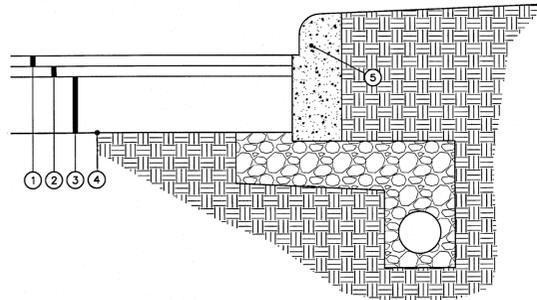
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CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
 FOR
LONDON PLACE
SITE GRADING PLAN

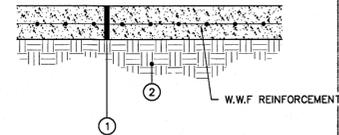
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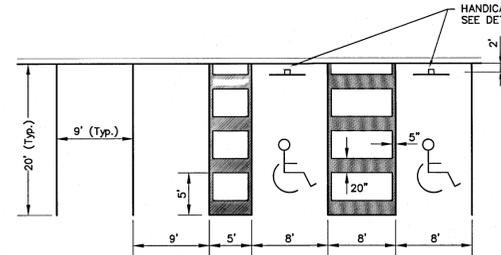
COMBINED CURB AND WALK
NO SCALE



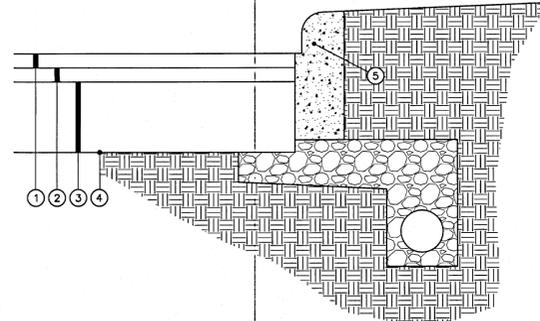
TYPICAL LIGHT DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)
NO SCALE



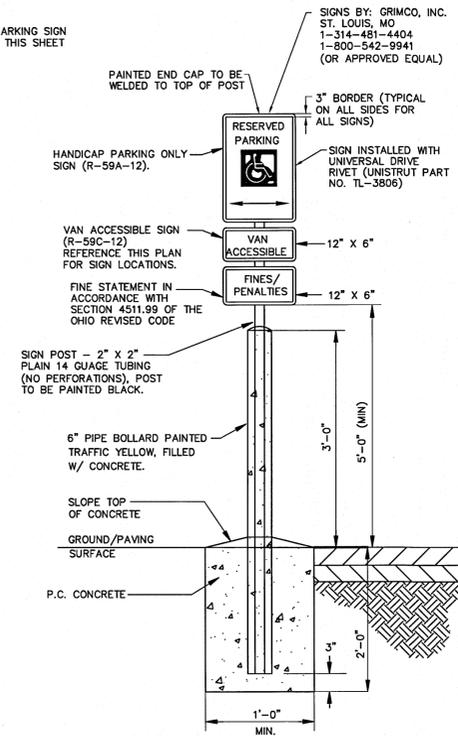
DUMPSTER PAD PAVEMENT SECTION
NO SCALE



TYPICAL HANDICAP PARKING DIMENSIONS AND PARKING BLOCK LOCATION DETAIL
NO SCALE

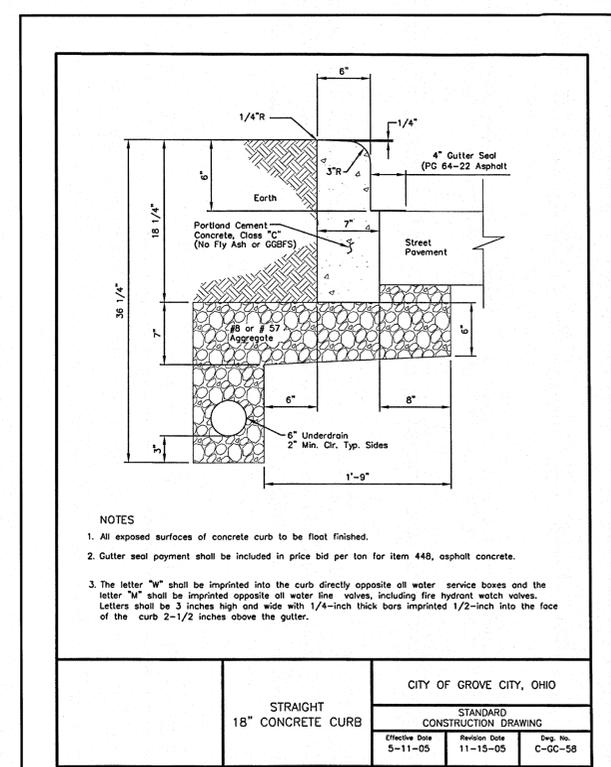


TYPICAL HEAVY DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)
NO SCALE



CITY OF GROVE CITY TRAFFIC CONTROL SIGNAGE DETAIL
NO SCALE

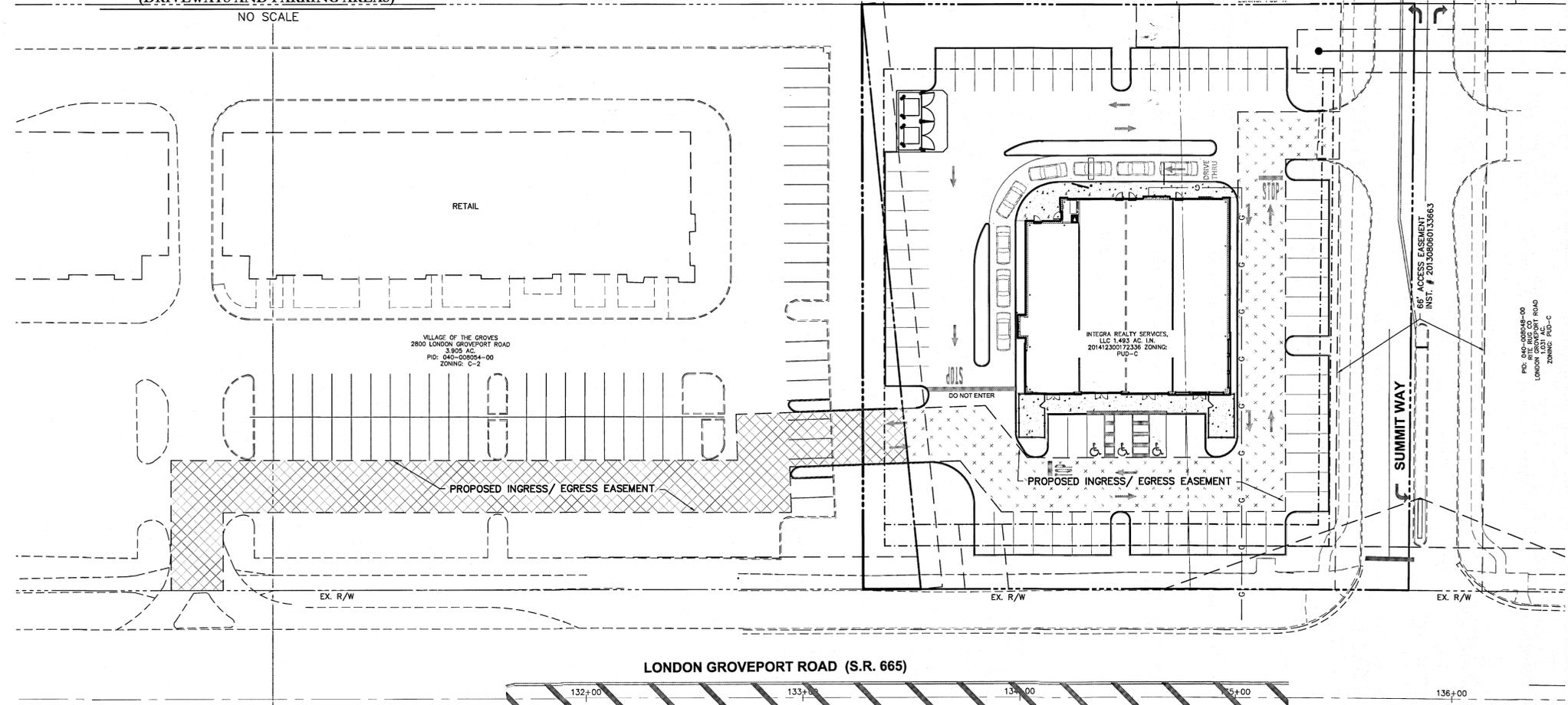
*THIS DETAIL SHALL BE FOLLOWED FOR ALL TRAFFIC CONTROL SIGNS ON SITE



NOTES

- All exposed surfaces of concrete curb to be float finished.
- Gutter seal payment shall be included in price bid per ton for item 448, asphalt concrete.
- The letter "W" shall be imprinted into the curb directly opposite all water service boxes and the letter "M" shall be imprinted opposite all water line valves, including fire hydrant watch valves. Letters shall be 3 inches high and wide with 1/4-inch thick bars imprinted 1/2-inch into the face of the curb 2-1/2 inches above the gutter.

STRAIGHT 18" CONCRETE CURB	CITY OF GROVE CITY, OHIO		
	STANDARD CONSTRUCTION DRAWING		
Effective Date 5-11-05	Revision Date 11-15-05	Drawn By C-GC-58	Checked By C-GC-58



LONDON GROVEPORT ROAD (S.R. 665)

INGRESS/ EGRESS EASEMENT EXHIBIT
SCALE: 1" = 30'

Z:\15-0001-688\DWG\PRODUCTION DRAWINGS\DEVELOPMENT PLAN\SITE DETAILS.dwg 5 SITE DETAILS Jun 26, 2015 - 10:04:01am cswells

PLAN PREPARED BY:
INTEGRA REALTY SERVICES, LLC
9642 HAWKS LANDING NE
WARREN, OHIO 44484

PLAN PREPARED FOR:
CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN FOR LONDON PLACE
SITE DETAILS

Issue Dates:

Date:	06-29-2015
Scale:	AS NOTED
Drawn By:	CAW
Checked By:	TMW
Project Number:	15-0001-688
Drawing Number:	5 / 5

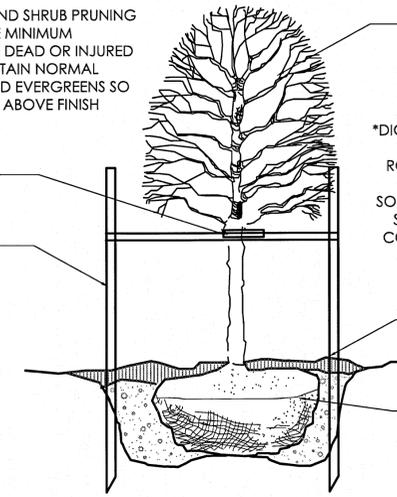
422 Beecher Road
Columbus, Ohio 43220
ph 614.428.7750
fax 614.428.7755

ADVANCED CIVIL DESIGN

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2"- 3" ABOVE FINISH GRADE

FLEXIBLE TREE WEBBING MATERIAL $\frac{3}{8}$ " WIDE- GREEN COLOR

2" X 2" X 8' WOOD STAKE, 2 PER TREE



DO NOT CUT MAIN LEADER

*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

MULCH COLLAR

REMOVE TOP 50% (12" MIN.) OF WIRE CAGE AND BURLAP AND ALL TWINE AND TRUNK WRAP

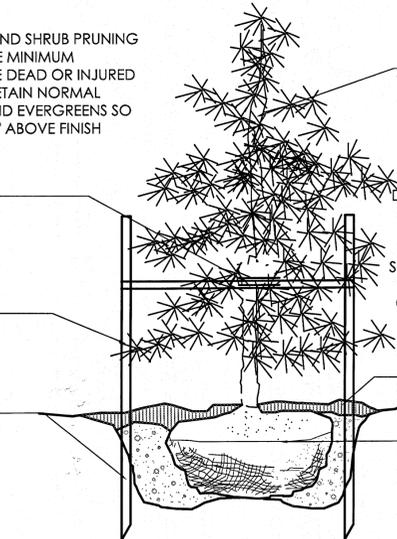
1 DECIDUOUS TREE
N.T.S.

01-1001

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2"- 3" ABOVE FINISH GRADE.

FLEXIBLE TREE WEBBING MATERIAL $\frac{3}{8}$ " WIDE- GREEN COLOR- TIE AT $\frac{1}{3}$ HGT OF TREE

2" X 2" X 8' WOOD STAKE, 3 PER TREE UP TO 7' HEIGHT



DO NOT CUT MAIN LEADER

*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

HARDWOOD BARK MULCH COLLAR

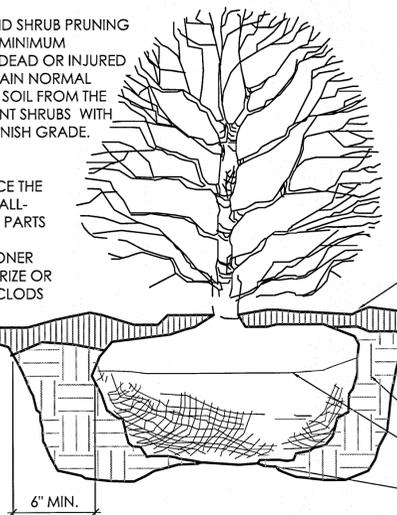
REMOVE TOP 50% (12" MIN.) OF WIRE CAGE AND BURLAP AND ALL TWINE AND TRUNK WRAP

2 EVERGREEN TREE UNDER 7' HGT.
N.T.S.

01-1100

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. REMOVE EXCESS SOIL FROM THE TOP OF ROOT MASS. PLANT SHRUBS WITH TOP OF ROOT MASS AT FINISH GRADE.

DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS



HARDWOOD BARK MULCH COLLAR

PLANTING MIXTURE

REMOVE TOP 1/3 OF BURLAP AND TWINE

SCARIFY 4" DEEP AND RECOMPACT

3 SHRUB PLANTING DETAIL
N.T.S.

01-1300

REVISIONS	

LANDSCAPE
DETAILS

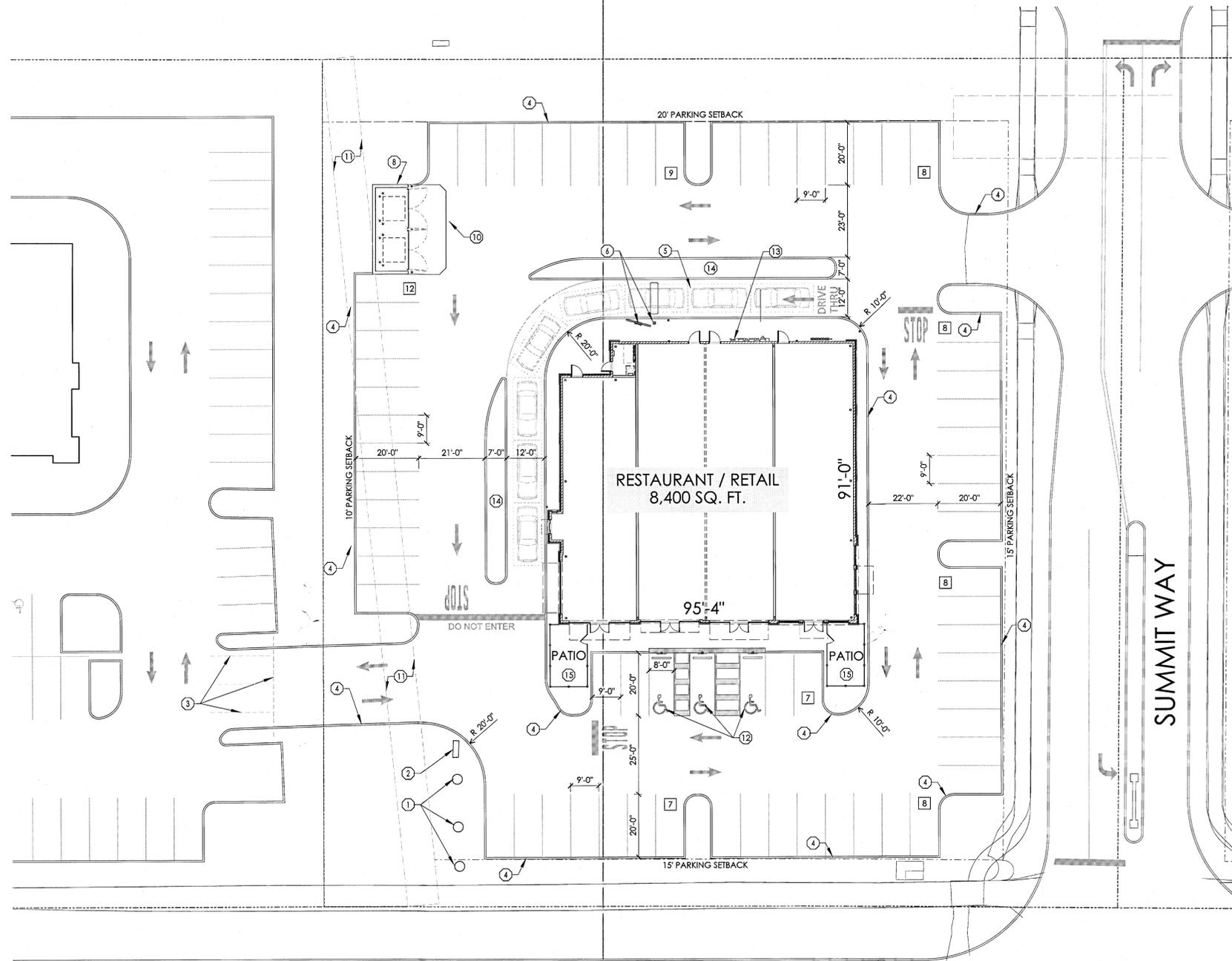
LONDON PLACE
PREPARED FOR
ADVANCED CIVIL DESIGN
422 BEECHER ROAD
GAHANNA, OH 43230

Paris Planning & Design
LANDSCAPE ARCHITECTURE

243 N. 5th Street
P (614) 487-1964
Suite 401
Columbus, OH 43215
www.parisplanninganddesign.com

DATE	6/29/15
PROJECT	15007
SHEET	

D-1



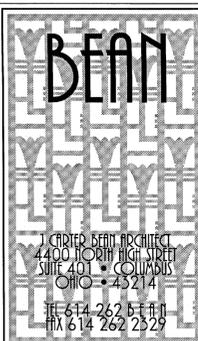
A PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

SITE INFORMATION			
SITE/BUILDING			
SITE AREA:	1.58 ACRES	BUILDING HEIGHT:	24'-8" H.
BUILDING AREA:	8,400 S.F.	BUILDING USE:	RESTAURANT / RETAIL
PARKING & CIRCULATION			
PARKING REQUIRED:			
8,400 SQ. FT. BUILDING SHELL		67 SPACES PROVIDED	
1% MECH. ROOM = 100 SQ. FT.		--	
20% RESTAURANT = 1,700 SQ. FT. (1 PER 50)		34 SPACES REQ'D.	
79% RETAIL = 6,600 SQ. FT. (1 PER 200)		33 SPACES REQ'D.	
		67 SPACES PROVIDED	
HANDICAP PARKING REQUIRED:		3 SPACES	
HANDICAP PARKING PROVIDED:		3 SPACES	

CODED NOTES	
①	EXISTING UTILITY POLE.
②	EXISTING ELECTRICAL CABINET.
③	FOUR PARKING SPACES TO BE ELIMINATED AND NEW CURB CUT TO BE INSTALLED.
④	PROPOSED CURBING / EXTENT OF PARKING FIELD.
⑤	6" REINFORCED CONCRETE DRIVE AISLE.
⑥	MENU BOARD AND SPEAKER TO BE INSTALLED ON BRICK BASES THAT MATCH THE PRIMARY STRUCTURE.
⑦	PROPOSED ENTRANCE DOORS.
⑧	PROPOSED MASONRY DUMPSTER ENCLOSURE. SEE SD-1.2.
⑨	PROPOSED SERVICE DOOR.
⑩	CONCRETE DUMPSTER PAD.
⑪	EXISTING UTILITY EASEMENT.
⑫	HANDICAPPED PARKING SPACE(S).
⑬	PROPOSED GAS METERS.
⑭	LANDSCAPED ISLAND.
⑮	PROPOSED OUTDOOR PATIO. SEE SD-1.2.

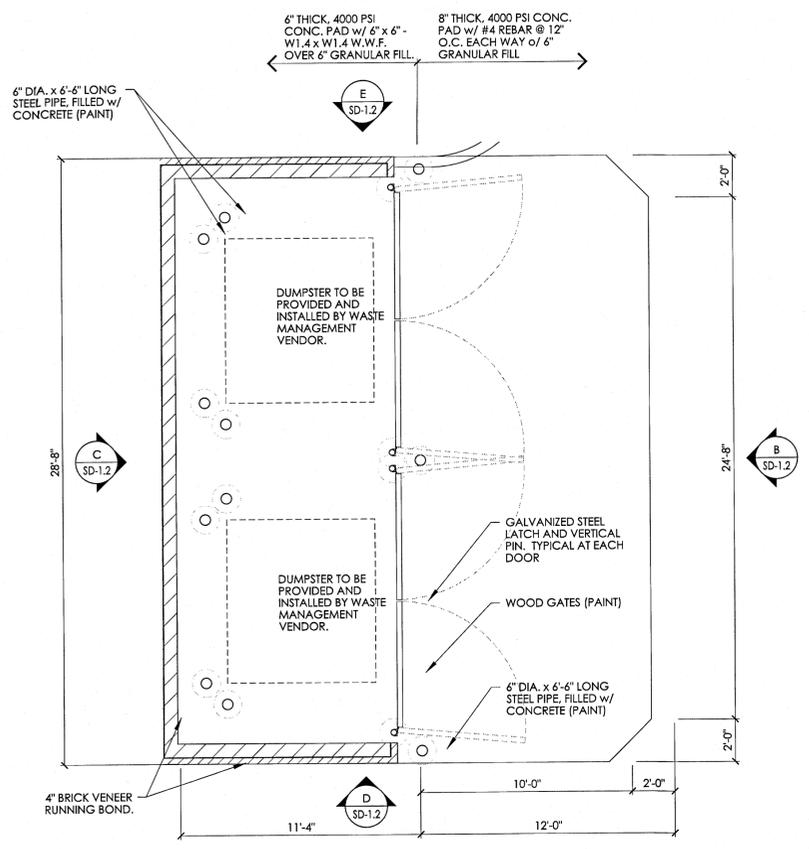
VICINITY MAP

DRAWING STATUS	
STATUS	DATE
FINAL DEVELOPMENT	06.23.2015
DRAWING TITLE	
PROPOSED SITE PLAN	
DRAWING NUMBER	
SD-1.1	
BEAN #00000.00	

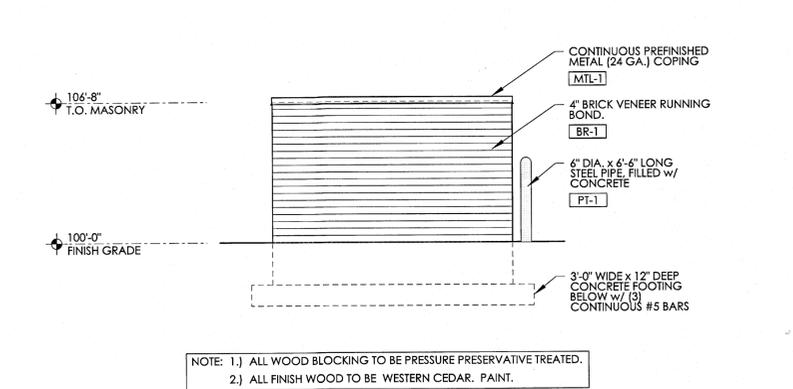


LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO
 FOR
 INTEGRA REALTY SERVICES, LLC

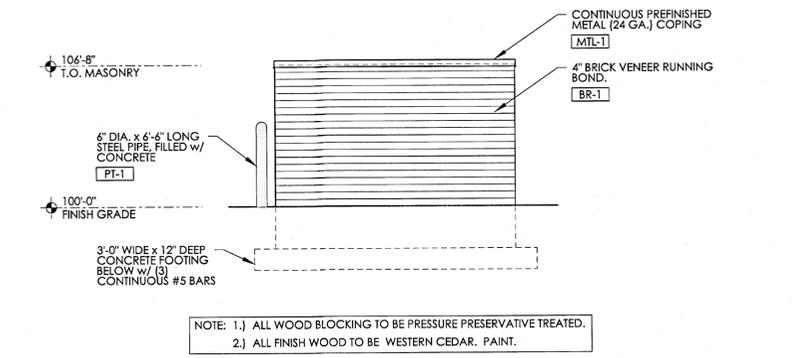
DRAWING STATUS	
STATUS	DATE
FINAL DEVELOPMENT	06.23.2015
DRAWING TITLE	
PROPOSED SITE PLAN	
DRAWING NUMBER	
SD-1.1	
BEAN #00000.00	



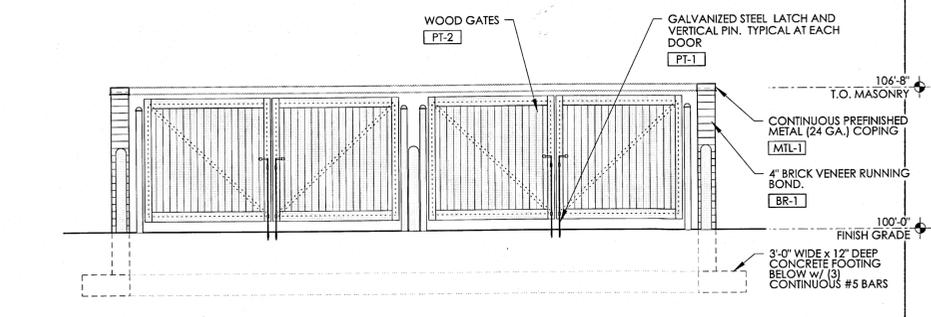
A WASTE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



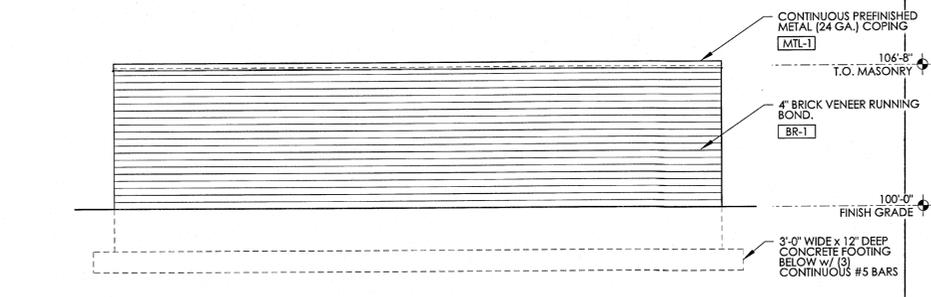
D WASTE ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



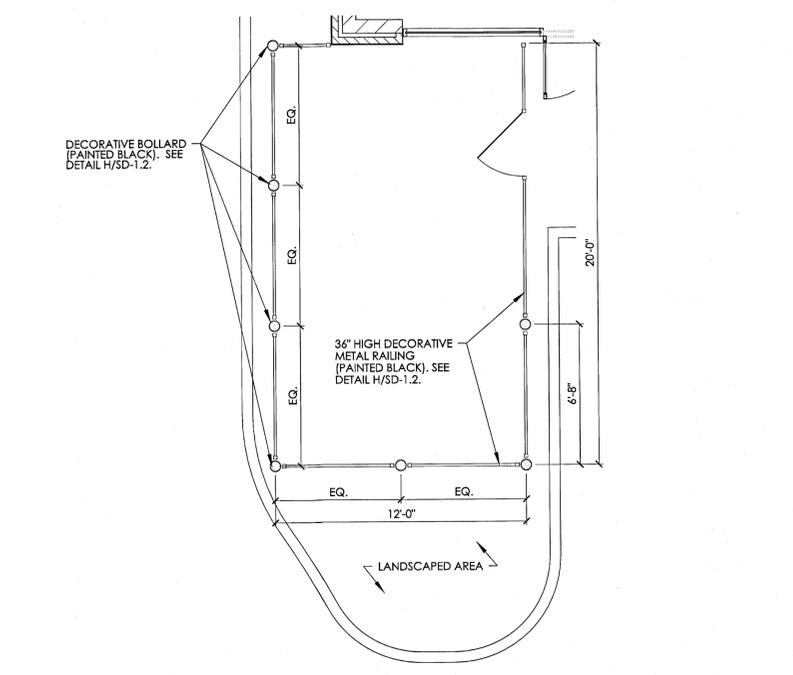
E WASTE ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



B WASTE ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

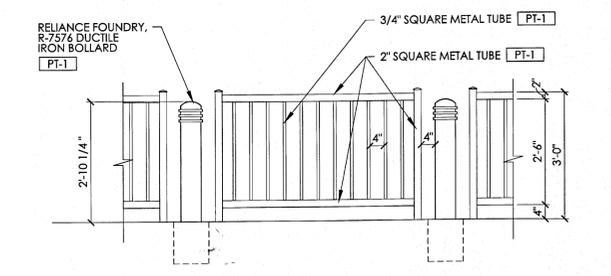


C WASTE ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

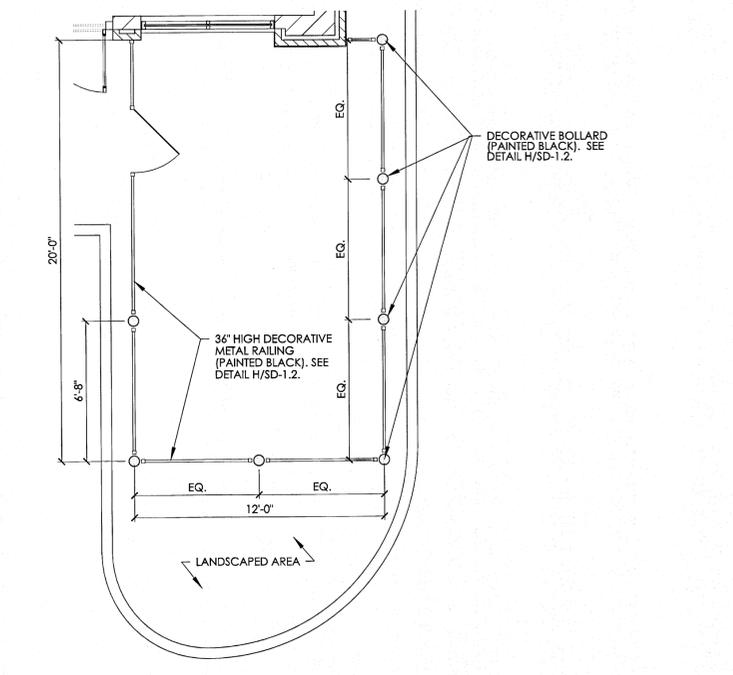


F OUTDOOR PATIO PLAN
SCALE: 1/4" = 1'-0"

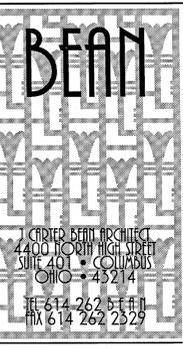
EXTERIOR MATERIAL FINISH KEY			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
AWNING			
[AWN-1]	SUNBRELLA	COLOR: BLACK	PREFINISHED ALUMINUM FRAME TO BE BLACK
EXTERIOR INSULATION FINISH SYSTEM			
[EIPS-1]	STO CORP	PRAIRIE CLAY	FINISH - SANDPEBBLE FINE
PAINT			
[PT-1]	BENJAMIN MOORE	#2120-20 "BLACK IRON"	METAL CANOPIES
[PT-2]	BENJAMIN MOORE	#2112-20 "BROWN SUGAR"	BOLLARDS, GAS PIPING, ELECTRICAL CABINETS
PREFINISHED ALUMINUM STOREFRONT			
[SF-1]	TUBELITE INC. (OR EQUAL)	COLOR - "BLACK" FINISH - ANODIZED	THERMAL FRAMING w/ 1" INSUL. GLAZING
PREFINISHED METAL			
[MTL-1]	DMI	COLOR - "BROWN"	PREFINISHED FASCIA EDGE FLASHING, COPINGS, SCUPPER BOXES & DOWNSPOUTS
[MTL-2]	DMI	COLOR - "STONE"	PREFINISHED COPING
MODULAR BRICK VENEER			
[BR-1]	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "CONTINENTAL"	MORTAR: LAFARGE COLOR: "PUTTY" TYPE 'S'
[BR-2]	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "PATRIOT"	MORTAR: LAFARGE COLOR: "PUTTY" TYPE 'S'
STRUCTURAL MASONRY VENEER			
[SMU-1]	CALSTAR PRODUCTS	FIELD COLOR: "DOVE GRAY" FINISH: STANDARD	MORTAR: LAFARGE COLOR: "PUTTY" TYPE 'S'
[SMU-2]	CALSTAR PRODUCTS	ACCENT & BASE COLOR: "DARK GRAY" FINISH: SPLIT-FACED	MORTAR: LAFARGE COLOR: "PUTTY" TYPE 'S'



H RAILING DETAIL
SCALE: 1/2" = 1'-0"



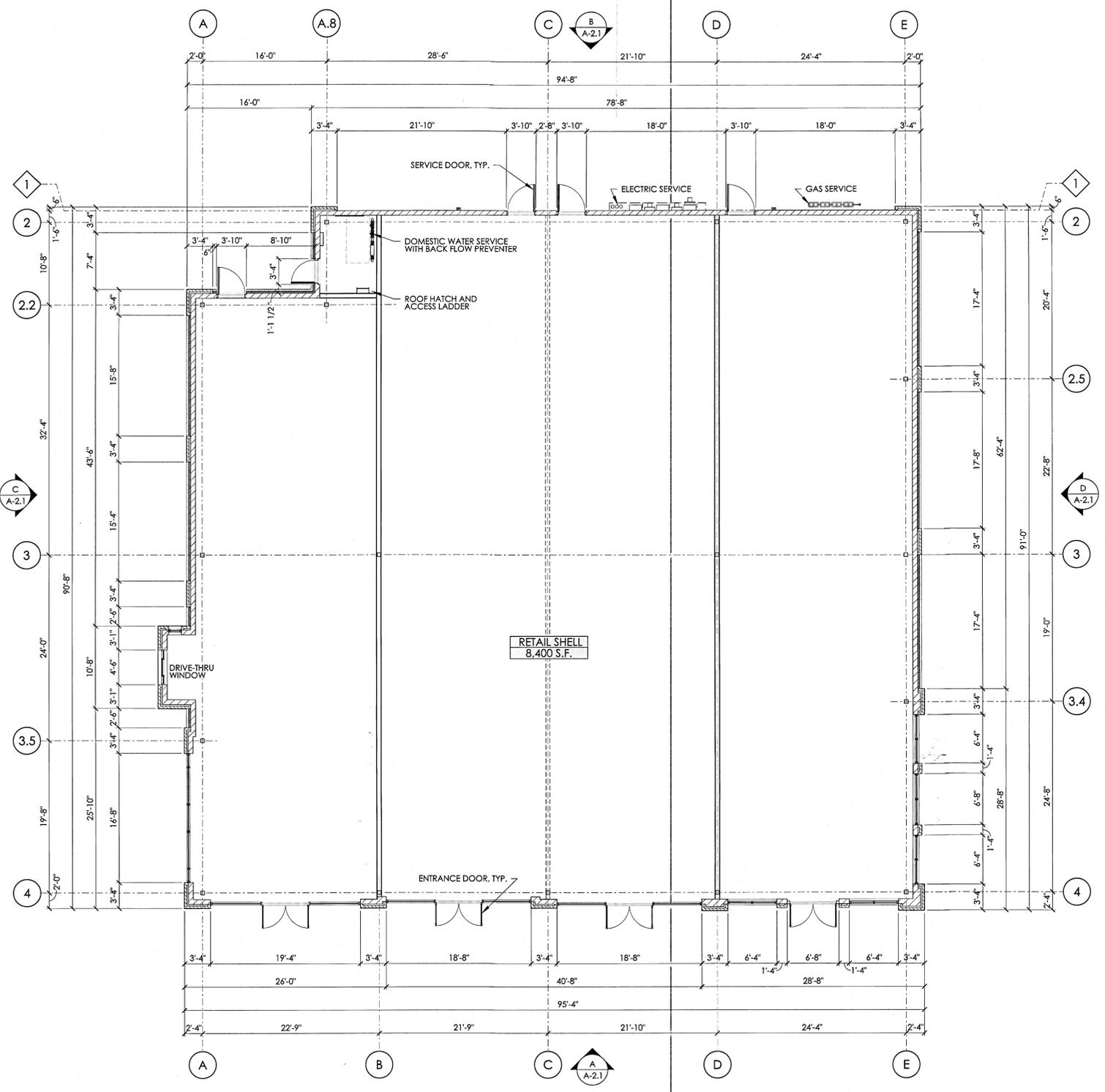
G OUTDOOR PATIO PLAN
SCALE: 1/4" = 1'-0"



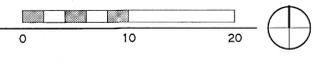
LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO
 FOR INTEGRA REALTY SERVICES, LLC

DRAWING STATUS	
STATUS	DATE
FINAL DEVELOPMENT	06.29.2015
DRAWING TITLE	
DUMPSTER ENCLOSURE	
DRAWING NUMBER	
SD-1.2	
BEAN #00000.00	

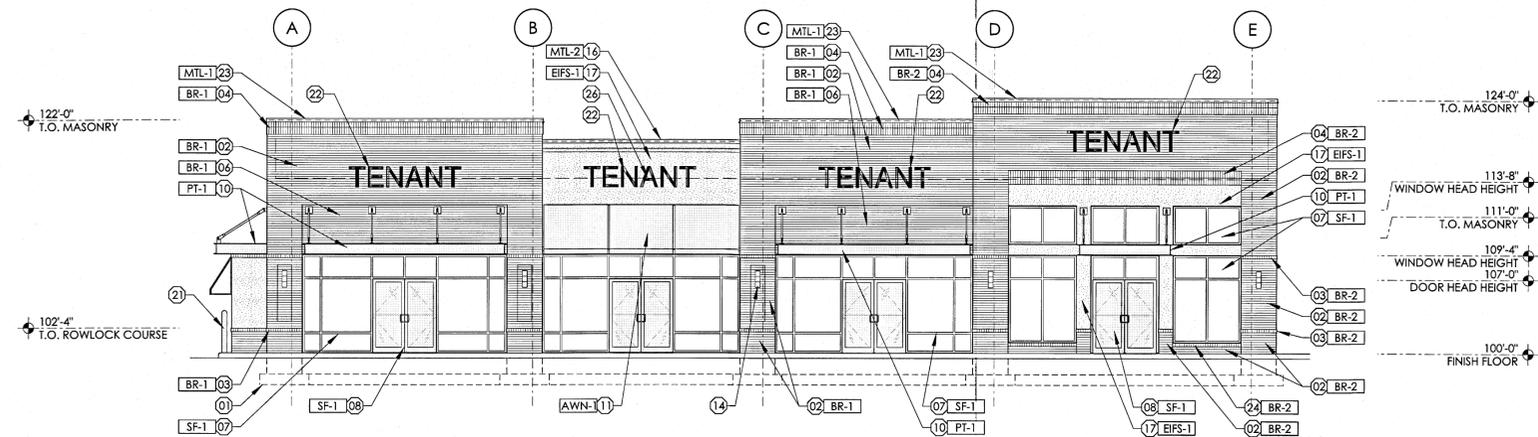
LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO
 FOR
INTEGRA REALTY SERVICES, LLC



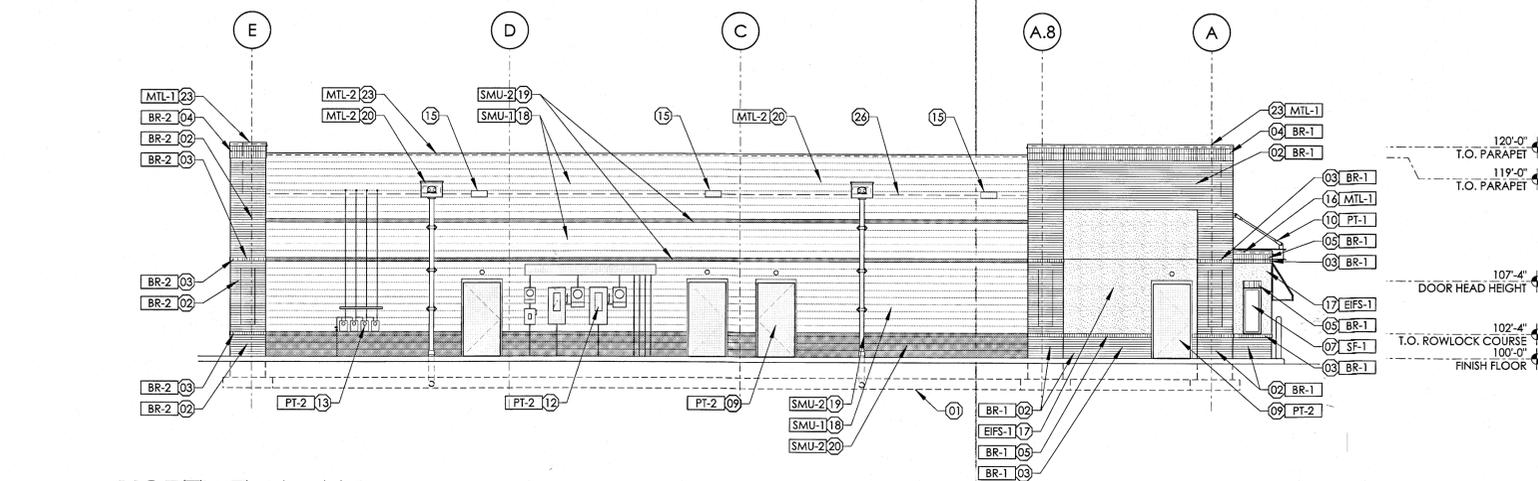
(A) FLOOR PLAN
 SCALE: 1/8" = 1'-0"



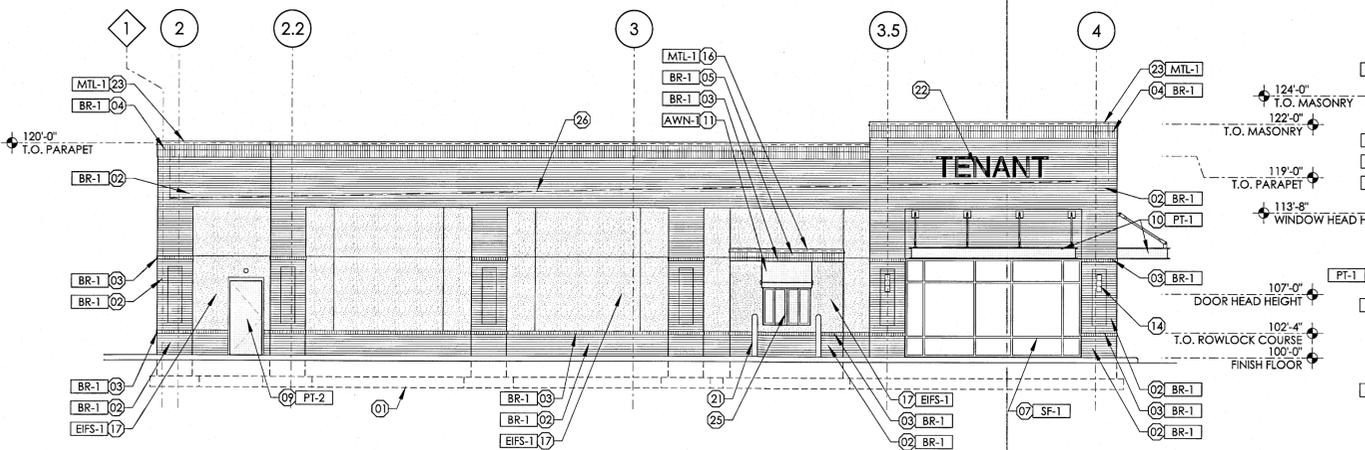
DRAWING STATUS	
STATUS	DATE
FINAL DEVELOPMENT	06.23.2015
DRAWING TITLE	
FLOOR PLAN	
DRAWING NUMBER	
A-1.1	
BEAN #00000.00	



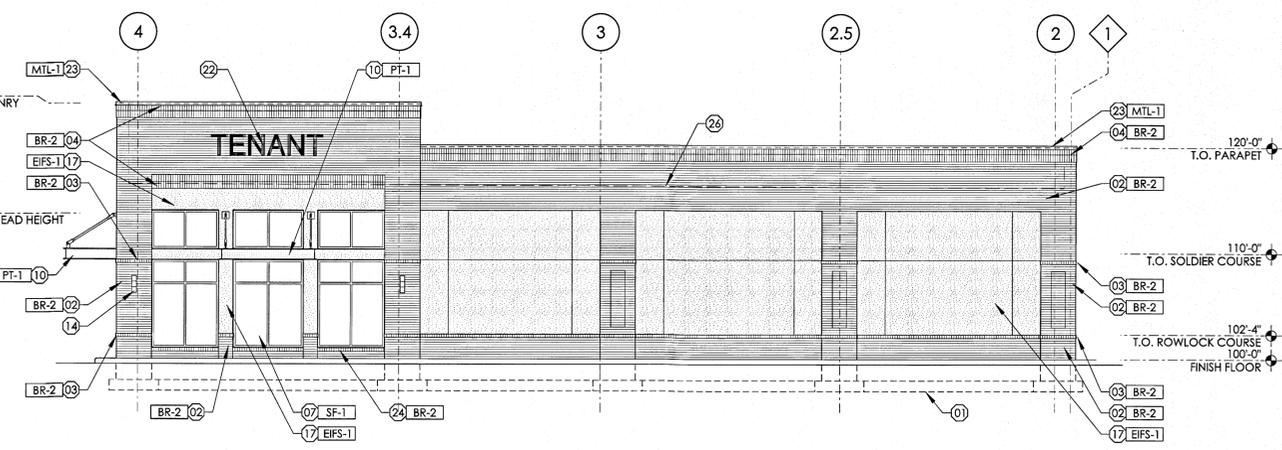
A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



B NORTH ELEVATION
SCALE: 1/8" = 1'-0"



C WEST ELEVATION
SCALE: 1/8" = 1'-0"



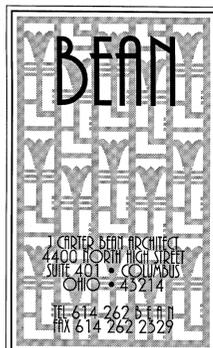
D EAST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION CODED NOTES

- 01 LINE OF C.I.P. CONCRETE FOOTING (SEE STRUCTURAL DRAWINGS).
- 02 4" BRICK VENEER RUNNING BOND.
- 03 BRICK ROWLOCK COURSE ACCENT (PULL 1/2").
- 04 DOUBLE BRICK SOLDIER COURSE (PULL 1/2").
- 05 BRICK SOLDIER COURSE ACCENT (PULL 1/2").
- 06 RECESSED BRICK PANEL (PUSH 1/2").
- 07 PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ GLAZING AS SCHEDULED.
- 08 PREFINISHED ALUMINUM WIDE-STYLE ENTRANCE DOOR w/ GLAZING AS SCHEDULED.
- 09 INSULATED HOLLOW METAL SERVICE DOOR AND FRAME (PAINT).
- 10 PAINT-GRIP GALVANIZED STRUCTURAL STEEL CANOPY AND TURN-BUCKLE CANOPY SUPPORT (PAINT, SEE STRUCTURAL DRAWINGS).
- 11 CANVAS AWNING w/ PREFINISHED ALUMINUM FRAME (BLACK).
- 12 ELECTRIC SERVICE WIREWAY AND METER SETS (PAINT TO MATCH SURROUNDING MASONRY, SEE ELECTRICAL DRAWINGS).
- 13 GAS SERVICE AND METER SETS (PAINT TO MATCH SURROUNDING MASONRY, SEE PLUMBING DRAWINGS).
- 14 DECORATIVE LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- 15 WALPAK LIGHT FIXTURE.
- 16 CONTINUOUS PREFINISHED METAL (24 GA.) EDGE FLASHING.
- 17 EXTERIOR INSULATION FINISH SYSTEM (EIFS).
- 18 STRUCTURAL MASONRY VENEER, RUNNING BOND - 8" H UNITS.
- 19 STRUCTURAL MASONRY VENEER, RUNNING BOND - 4" H UNITS.
- 20 PREFINISHED ALUMINUM (22 GA.) THRU-WALL SCUPPER & CONDUCTOR HEAD (SCUPPER OPENING THROUGH PARAPET TO BE 8" x 12" w/ 4"x6" PREFINISHED ALUMINUM (24 GA.) RECTANGULAR DOWNSPOUT (TIE INTO UNDERGROUND STORM SYSTEM; SEE CIVIL DRAWINGS).
- 21 6" CONCRETE FILLED STEEL BOLLARD.
- 22 BUILDING IDENTIFICATION SIGNAGE, ONE SQ. FT. OF BUILDING MOUNTED SIGNAGE PER LINEAR FOOT OF FRONTAGE, INSTALLED BY TENANT (N.I.C., SEE ELECTRICAL DRAWINGS).
- 23 CONTINUOUS PREFINISHED METAL (24 GA.) COPING.
- 24 BRICK ROWLOCK COURSE WINDOW SILL (PULL 1" SLOPE FOR POSITIVE DRAINAGE).
- 25 PREFINISHED ALUMINUM DRIVE-THRU SERVICE WINDOW w/ 1/4" TEMPERED GLASS UNITS WITH STAINLESS STEEL SHELF.
- 26 LINE OF ROOF BEYOND.

EXTERIOR MATERIAL FINISH KEY

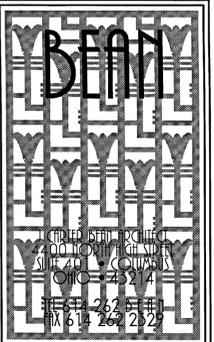
MARK	MANUFACTURER	DESCRIPTION	REMARKS
AWNING			
AWN-1	SUNBRELLA	COLOR: BLACK	PREFINISHED ALUMINUM FRAME TO BE BLACK
EXTERIOR INSULATION FINISH SYSTEM			
EIFS-1	STO CORP	PRAIRIE CLAY	FINISH - SANDPEBBLE FINE
PAINT			
PT-1	BENJAMIN MOORE	#2120-20 "BLACK IRON"	METAL CANOPIES
PT-2	BENJAMIN MOORE	#2112-20 "BROWN SUGAR"	BOLLARDS, GAS PIPING, ELECTRICAL CABINETS
PREFINISHED ALUMINUM STOREFRONT			
SF-1	TUBELITE INC. (OR EQUAL)	COLOR - "BLACK" FINISH - ANODIZED	THERMAL FRAMING w/ 1" INSUL. GLAZING
PREFINISHED METAL			
MTL-1	DMI	COLOR - "BROWN"	PREFINISHED FASCIA EDGE FLASHING, COPINGS, SCUPPER BOXES & DOWNSPOUTS
MTL-2	DMI	COLOR - "STONE"	PREFINISHED COPING
MODULAR BRICK VENEER			
BR-1	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "CONTINENTAL"	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'
BR-2	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "PATRIOT"	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'
STRUCTURAL MASONRY VENEER			
SMU-1	CALSTAR PRODUCTS	FIELD COLOR: "DOVE GRAY" FINISH: STANDARD	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'
SMU-2	CALSTAR PRODUCTS	ACCENT & BASE COLOR: "DARK GRAY" FINISH: SPILT-FACED	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'



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WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO
 FOR
INTEGRA REALTY SERVICES, LLC

DRAWING STATUS		DATE
STATUS		08.29.2015
FINAL DEVELOPMENT		
DRAWING TITLE		
EXTERIOR ELEVATIONS		
DRAWING NUMBER		
A-2.1		
BEAN #00000.00		



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LONDON PLACE
 LONDON-GROVEPORT ROAD & SUMMIT WAY
 GROVE CITY, OHIO

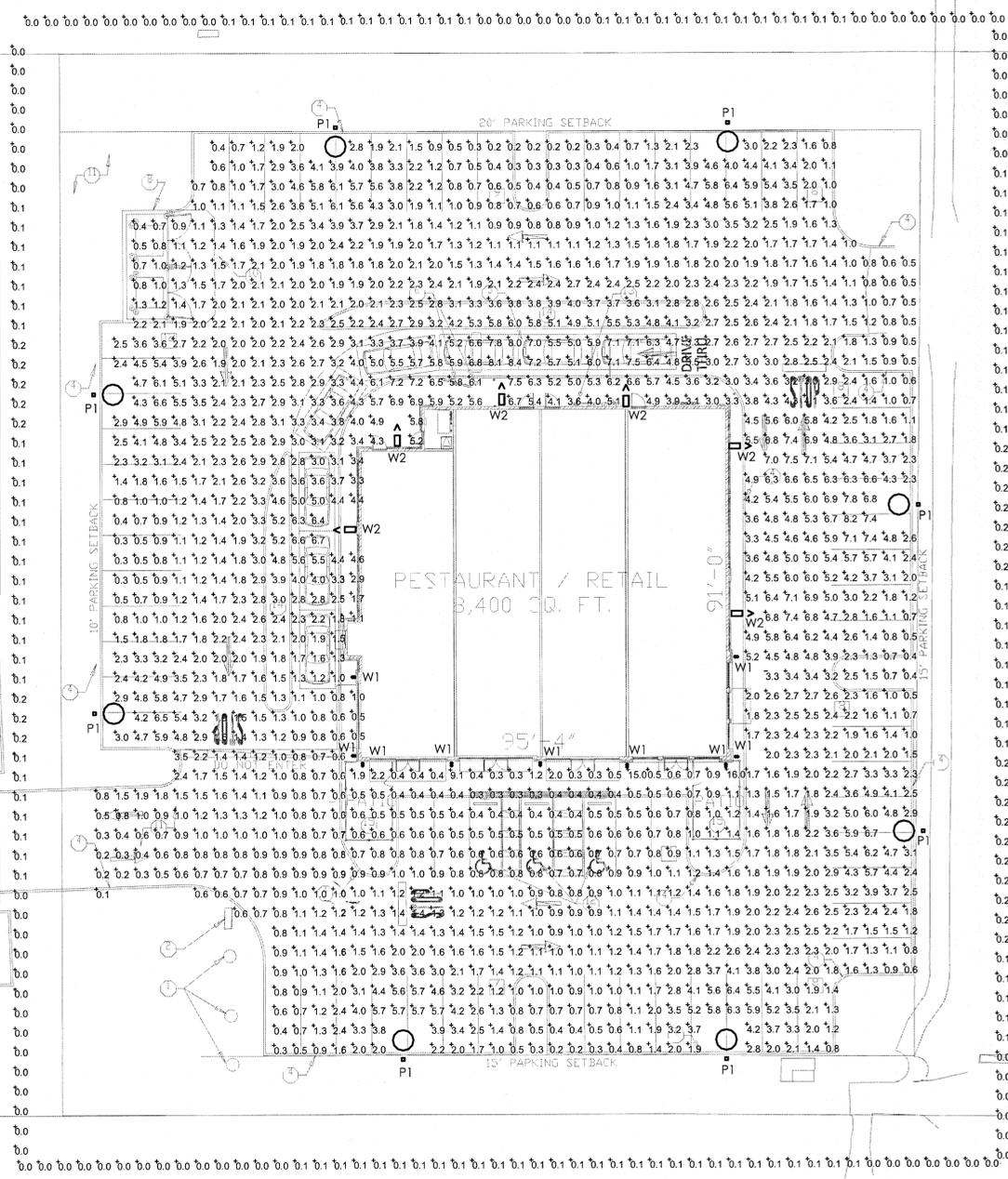
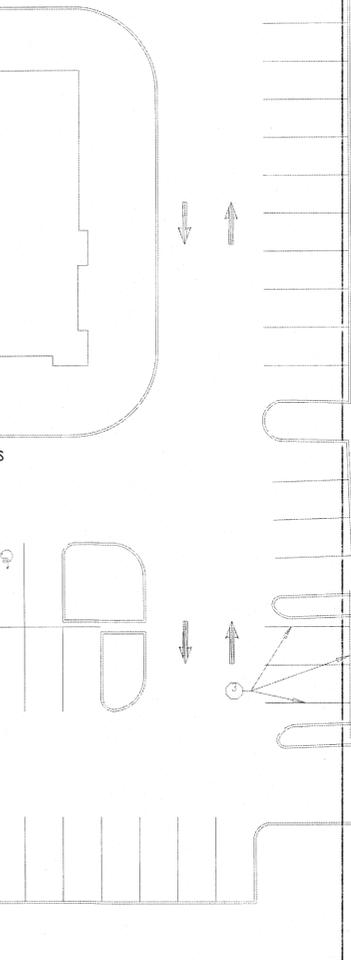
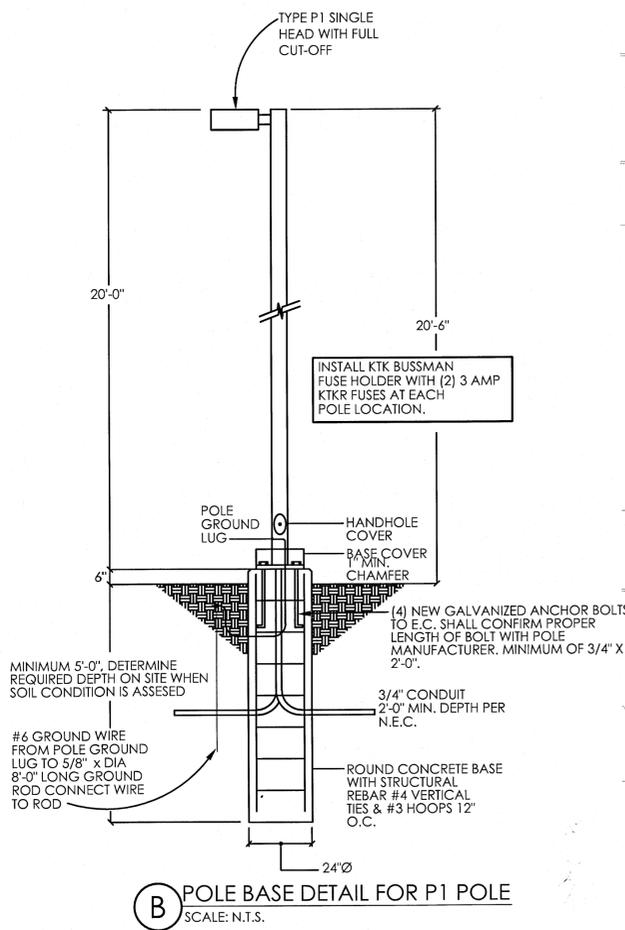
FOR
INTEGRA REALTY SERVICES, LLC

DRAWING STATUS: DEVELOPMENT PLAN, DATE: 05.27.2015

DRAWING TITLE: **SITE PHOTOMETRIC LIGHTING PLAN**

DRAWING NUMBER: **SL-1.0**

BEAN #00000.00

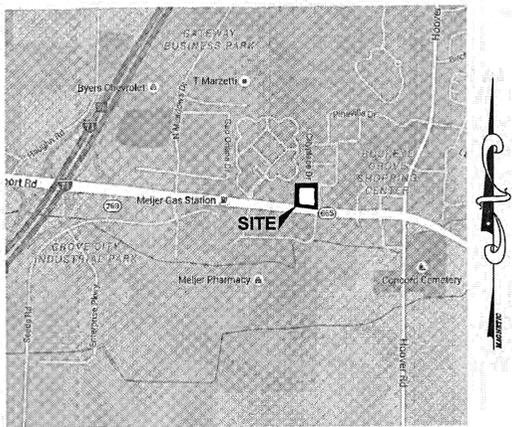


LONDON-GROVEPORT ROAD

A SITE PHOTOMETRIC PLAN
 SCALE: 1"=20'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	P1	6	KIM LIGHTING	CC214E35-120L4K-NFO	CURVILINEAR LED SPUN ALUMINUM HOUSING AND DIE-CAST ALUMINUM LENS FRAME. FLAT GLASS LENS. LED EMITTER DECK INCLUDES SPUN ALUMINUM DECK, LED MODULES, HEATSINKS, AND PRISMS. NEIGHBOR FRIENDLY OPTIC.	120 219B DIODES, 4200K	1	cc214E35-120L4K-nfo.ies	8115.526	1	125.1
∧	W1	10	COOPER LIGHTING - LUMIERE	10LED4021	MACHINED CYLINDRICAL METAL HOUSING. 1 LED MODULE. CLEAR FLAT GLASS LENS IN MACHINED CYLINDRICAL BROWN PAINTED METAL LENS FRAME WITH UNFINISHED INTERIOR SURFACE BETWEEN LENS AND LED MODULE.	ONE LED MODULE, TLM-R16B-A3542B-4000. LED MODULE AIMED AT THE HORIZON.	1	904-2-10LED4021.ies	-1	1	8.29
∧	W2	5	Limonis Lighting	ALXW LED 1 30A350/51K SR4	LED WALLPACK WITH TYPE 4 DISTRIBUTION	ONE 113.1-WATT LED, AIMED DOWN POS.	1	ALXW_LED_1_30A350_51_K_SR4.ies	6892.2	1	113.1

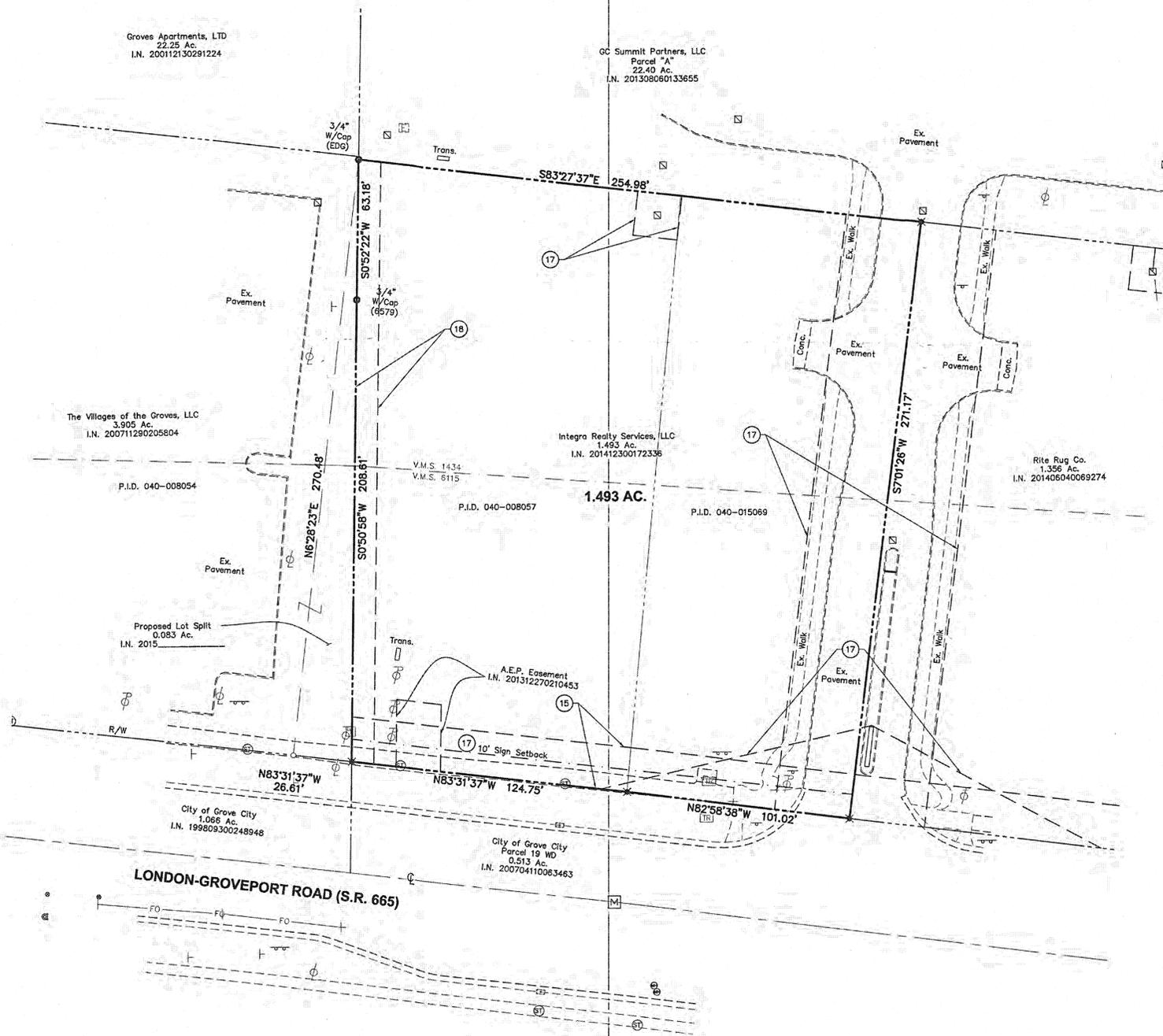
Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
10' Foot Property Line	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A	0.5:1
240' Zone #3	+	2.4 fc	16.0 fc	0.1 fc	160:0.1	24:0.1	0.2:1



VICINITY MAP
SCALE: NTS

ALTA / ACSM LAND TITLE SURVEY London-Groveport Road (State Route 665) 1.493 AC.

Jackson Township, Franklin County, Ohio
Virginia Military Surveys 1434 and 6115



LEGAL DESCRIPTIONS

Situated in the State of Ohio, County of Franklin, City of Grove City, in Virginia Military Surveys No. 1434 and 6115, being part of Parcels II and III conveyed to The Buckeye Ranch Foundation, Inc. of record in Instrument Number 200611290238122, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at a found 1" solid iron pin in the centerline of London-Groveport Road, (State Route #665) sold monument shown as P.I. Station 1344+78.64 on right of way plans "London-Groveport Road (S.R. 665)" dated October, 2006, sheet 2 of 20;

Thence, along the centerline of said London-Groveport Road, North 83° 31' 37" West, 119.51 feet to a point at the southwest corner of the 0.513 acre tract conveyed to the City of Grove City (Instrument Number 200704110083463; Parcel 19WD) and southeast corner of the 1.066 acre tract conveyed to the City of Grove City (Instrument Number 199809300248948);

Thence, North 00° 45' 45" East, 50.25 feet to a set MAG nail at the northeast corner of said 1.066 acre tract, northwest corner of said 0.513 acre tract, southeast corner of the 3.905 acre tract conveyed to The Villages of the Groves, LLC (Instrument Number 200711290205804) and the TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

Thence, continuing along the west line of said Parcel III and east line of said 3.905 acre tract, North 00° 50' 58" East, 208.61 feet to a set iron pipe;

Thence, continuing along said line North 00° 52' 22" East, 63.18 feet to a found 1" iron pipe at the northeast corner of said 3.905 acre tract, and the southeast corner of the 22.50 acre tract conveyed to The Groves Apartments (Instrument Number 200112130291224);

Thence, across said Parcels III and II, South 83° 27' 37" East, 254.98 feet to a set iron pipe;

Thence, continuing across said Parcel II, South 07° 01' 22" West, 271.17 feet to a set MAG nail in the northerly right-of-way of said London-Groveport Road (north line of said 0.513 acre tract);

Thence, along said right-of-way, North 82° 58' 38" West, 101.02 feet to a set MAG nail;

Thence, continuing along said line, North 83° 31' 37" West, 124.75 feet to the place of beginning CONTAINING 1.493 ACRES (65,034 square feet), subject however, to all legal highways, easements, leases and restrictions of record. Of the above described 1.493 acre tract, 0.905 acres is part of parcel 040-008057 and 0.588 acres is part of parcel 040-008049.

The foregoing description is based on a field survey made by Myers Surveying Company, Inc. in December 2012. Iron pipes set are 30" x 1" (O.D.) with an orange plastic cap inscribed "MYERS P.S. 6579". Bearings are based on the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 1344+78.64, as shown of sheet 2 of 20, right-of-way plans, "London-Groveport Road (S.R. 665)", dated October 2006, prepared by Evans, Mechwart, Hambleton & Tilton, Inc., on file in the City of Grove City Engineer's Office.

MISCELLANEOUS NOTES

Dimensions on this plot are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.

There is no observable evidence of this site being used as a solid waste dump, pump or any kind of sanitary land fill.

Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

The land described hereon is all of the land as described in Schedule A of the title commitment as issued by Hummel Title Agency, Inc., Commitment No. HTA-9557, Effective date December 1, 2014 at 7:00 A.M.

STATEMENT OF ENCROACHMENTS

None Visible

FLOOD NOTE

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 39049C0404K, with an effective date of June 17, 2008, in Franklin County, Ohio. No field surveying was performed to determine this zone.

NOTES CORRESPONDING TO SCHEDULE B - SECTION II OF COMMITMENT No. HTA-9557

- 10 Easement to Columbus Railway Power and Light Company of record in Deed Volume 1051, page 481 is for a pole line running along the north side of London-Groveport Road and south side of site, width not given.
- 15 General Easement Deed to the City of Grove City of record in Instrument No. 200704110083464, does apply to subject site as shown hereon.
- 17 Access Easement and Maintenance Agreement of record in Instrument No. 201308060133663 does apply to subject site, easement shown hereon.
- 18 Utility Easement of record in Instrument No. 201309250163488 does apply to subject site as shown hereon.

LEGEND

- Iron Pin Found
- Iron Pin Set
- Iron Pipe Found
- ⊗ Iron Pipe Set
- ✕ PK/Mag Nail Found
- ⊗ PK/Mag Nail Set
- ▲ RR Spike Found
- △ RR Spike Set
- ⊠ Monument Box
- ⊕ Benchmark
- Stm/San Manhole (see label)
- ⊠ Electric Transformer
- Sanitary Cleanout
- ⊕ Electric Manhole
- ⊠ Square Catch Basin
- ⊕ Comm Manhole
- Round Catch Basin
- ⊠ Tel Pedestal
- ⊠ Curb Inlet
- ⊕ Pole Elec
- ⊠ Curb Manhole Inlet
- ⊕ Pole Elec Tel
- ⊕ Fire Hydrant
- ⊕ Pole Tel Light
- ⊕ Water Valve
- ⊕ Pole Tel
- ⊕ Water Manhole
- ⊕ Pole Tel Light
- ⊕ Sprinkler Box
- ⊕ Pole Light
- ⊕ Sprinkler Head
- ⊕ Pole Signal
- ⊠ Underground Line Marker
- ⊕ Traffic Box
- ⊕ Gas Valve
- ⊕ Guy Pole
- ⊕ Gas Meter
- ⊕ Guy Wire
- ⊕ Bollard
- ⊕ Ground Light
- ⊕ Soil Boring
- ⊕ Air Conditioner
- ⊕ Deciduous Tree
- ⊕ Cable Pedestal
- ⊕ Pine Tree
- ⊕ Unknown Manhole
- ⊕ Shrub
- ⊕ Access Lld

ALTA / ACSM CERTIFICATION

To: Integra Realty Services, LLC, an Ohio limited liability company, Heartland Bank, its successors and/or assigns as their interests may appear, First American Title Insurance Company and Hummel Title Agency, Inc.

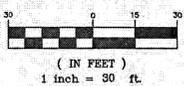
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 11a and 15 of Table A thereof. The field work was completed on January 28, 2015.

ADVANCED CIVIL DESIGN, INC.

Douglas R. Hook 5/26/15
Registered Surveyor Date:



GRAPHIC SCALE



Jackson Township, Franklin County, Ohio
Virginia Military Surveys 1434 and 6115

ALTA/ACSM Land Title Survey

PLAN PREPARED BY: BOK
CHECKED BY:

422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7790
fax 614.428.7755

ENGINEERS SURVEYORS

SCALE: 1" = 30'
DATE: May 26, 2015

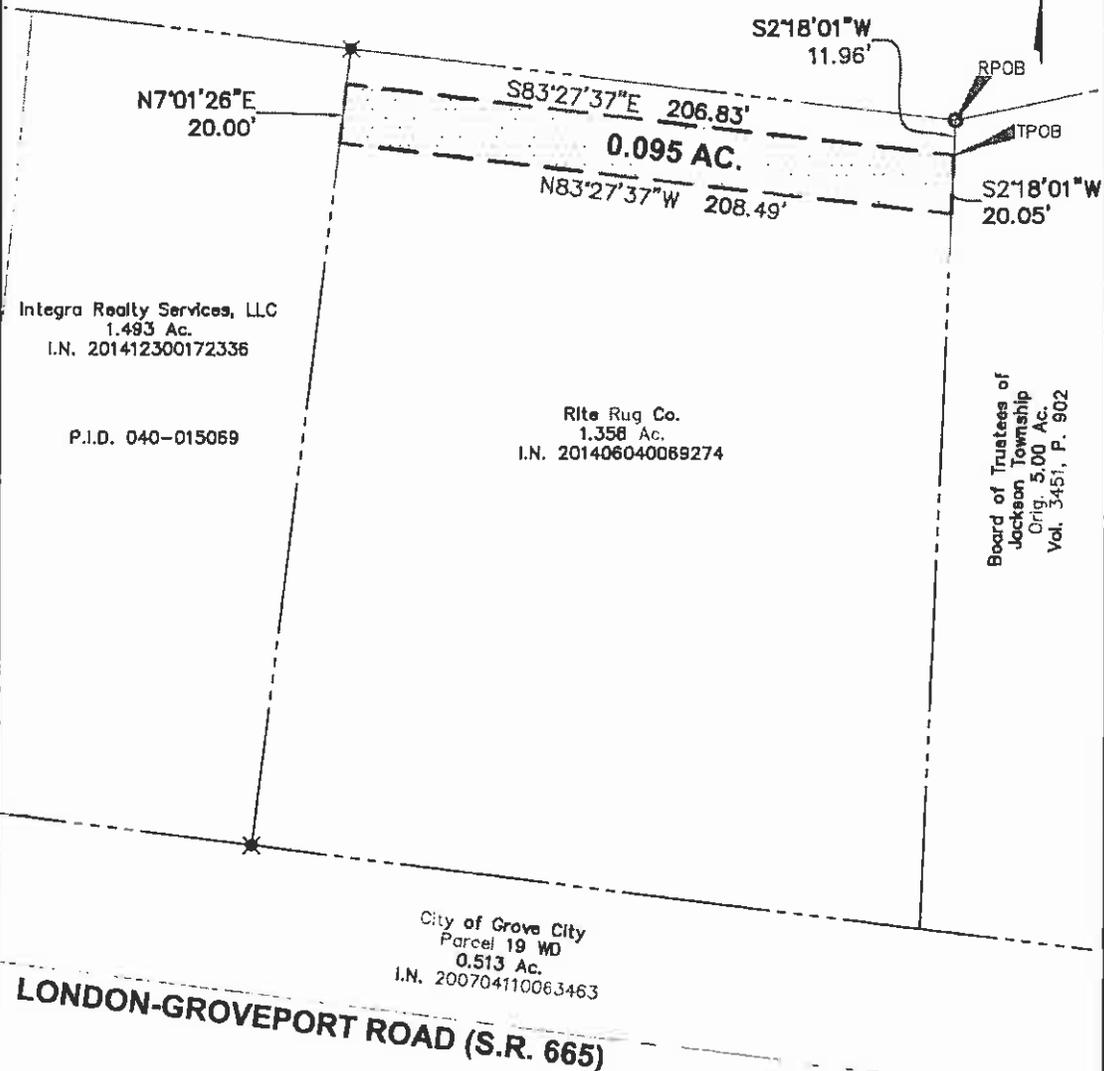
SHEET 1 / 1
JOB NO.: 15-0001-686

0.095 Acre Sanitary Sewer Easement Exhibit

Grove City, Franklin County, Ohio
Virginia Military Surveys 1434

- Iron Pipe Found
- ✕ PK Nail Found

GC Summit Partners, LLC
Parcel "A"
22.40 Ac.
I.N. 201308060133655



Integra Realty Services, LLC
1.493 Ac.
I.N. 201412300172336

P.I.D. 040-015069

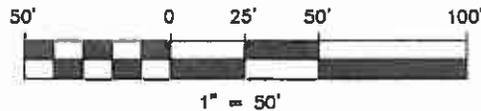
Rite Rug Co.
1.358 Ac.
I.N. 201406040069274

Board of Trustees of
Jackson Township
Orig. 5.00 Ac.
Vol. 3451, P. 902

City of Grove City
Parcel 19 WD
0.513 Ac.
I.N. 200704110063463

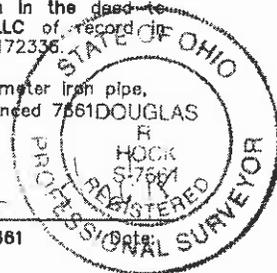
LONDON-GROVEPORT ROAD (S.R. 665)

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.



Iron pins set are 3/4" diameter iron pipe, 30" long and capped Advanced 7561

Douglas R. Hock, P.S. 7861



DRAWN BY: BCK	JOB NO.: 15-0001-686
DATE: 5/26/2015	CHECKED BY: DRB

ADVANCED
CIVIL DESIGN

422 Beecher Road
Cohanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

ENGINEERS SURVEYORS

Z:\15-0001-686\DRAWING\PRODUCTION\DRAWINGS\SURVEY\0001-686.spl mscse exhibit.dwg Page 1 May 26, 2015 - 4:31:21pm bkarshner

**Sanitary Sewer Easement Description – 0.095 acre
North of London-Groveport Road (S.R. 665)
West of Hoover Road**

-1-

Situated in the State of Ohio, County of Franklin, Township of Jackson, part of Virginia Military Survey No. 1434 and being 0.095 acres out of that 1.356 acre tract of land conveyed to Rite Rug Co. of record in Instrument No. 201406040069274, and described as follows:

Beginning for reference at an iron pipe found at the northeast corner of said 1.356 acre tract, said corner also being the northwest corner of that Original 5.00 acre tract of land as conveyed to the Board of Trustees of Jackson Township of record in Volume 3451, Page 902 and being an angle point in the southerly line of that 22.40 acre tract of land described as Parcel "A" in the deed to GC Summit Partners, LLC of record in Instrument No. 201308060133655;

Thence with the easterly line of said 1.356 acre tract and the westerly line of said Original 5.00 acre tract, **S 02° 18' 01" W, 11.96 feet to the True Point of Beginning;**

Thence continuing along said common line **S 02° 18' 01" W, 20.05 feet** to a point;

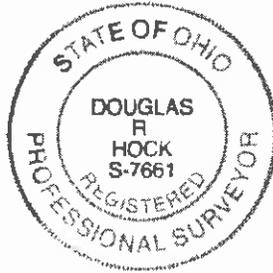
Thence across said 1.356 acre tract, **N 83° 27' 37" W, 208.49 feet** to a point in the westerly line of said 1.356 acre tract and in the easterly line of that 1.493 acre tract of land as conveyed to Integra Realty Services, LLC of record in Instrument No. 201412300172336;

Thence with the westerly line of said 1.356 acre tract and the easterly line of said 1.493 acre tract, **N 07° 01' 26" E, 20.00 feet** to a point;

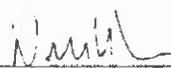
Thence across said 1.356 acre tract, **S 83° 27' 37" E, 206.83 feet** to the **True Point of Beginning**. Containing **0.095 acres** of land, more or less. Subject to all legal restrictions, easements and rights-of-way. The above description was written by Advanced Civil Design on May 15, 2015 from existing records and a field survey performed in January 2015. A drawing of the above description has been prepared and is a part hereof.

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

All references used in this description can be found at the Recorder's Office, Franklin County, Ohio.



ADVANCED CIVIL DESIGN, INC.

 5/26/15

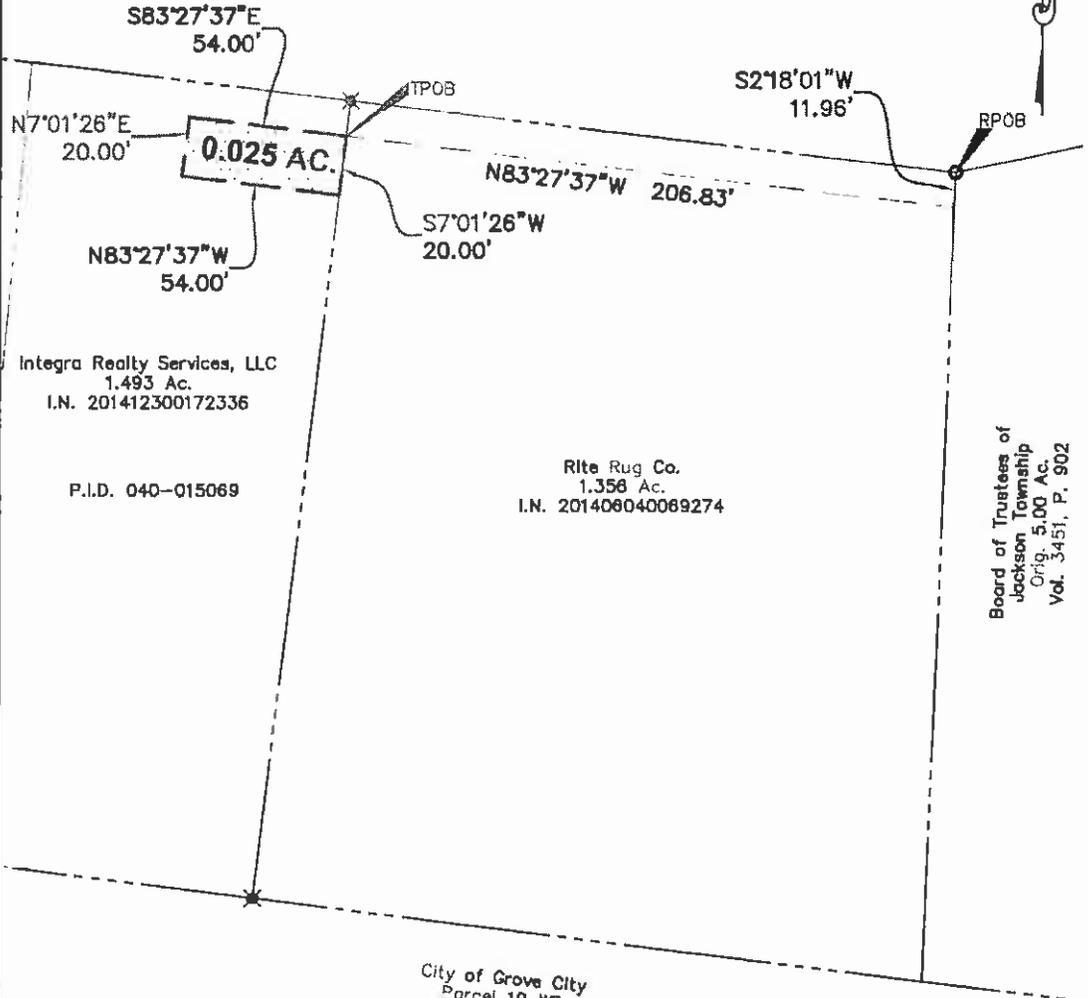
Douglas R. Hock, P.S. 7661 Date:

0.025 Acre Sanitary Sewer Easement Exhibit

Grove City, Franklin County, Ohio
Virginia Military Surveys 1434

- Iron Pipe Found
- ✕ PK Nail Found

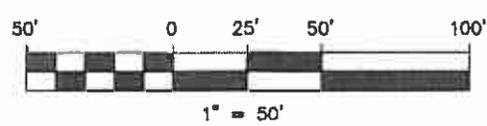
GC Summit Partners, LLC
Parcel "A"
22.40 Ac.
I.N. 201308060133655



City of Grove City
Parcel 19 WD
0.513 Ac.
I.N. 200704110063463

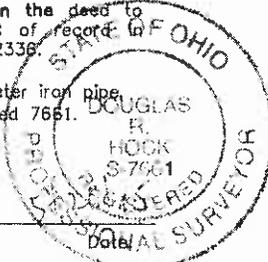
LONDON-GROVEPORT ROAD (S.R. 665)

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record Instrument No. 201412300172336.



Iron plns set are 3/4" diameter iron pipe, 30" long and capped Advanced 7661.

Douglas R. Hock
Douglas R. Hock, P.S. 7661



DRAWN BY: BCK	JOB NO.: 15-0001-686
DATE: 5/26/2015	CHECKED BY: DRB

ADVANCED
CIVIL DESIGN

ENGINEERS SURVEYORS

422 Beecher Road
Cohanna, Ohio 43230
ph 614.428.7760
fax 614.428.7755

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**Sanitary Sewer Easement Description – 0.025 acre
North of London-Groveport Road (S.R. 665)
West of Hoover Road**

-1-

Situated in the State of Ohio, County of Franklin, Township of Jackson, part of Virginia Military Survey No. 1434 and being 0.025 acres out of that 1.493 acre tract of land conveyed to Integra Realty Services, LLC of record in Instrument No. 201412300172336, and described as follows:

Beginning for reference at an iron pipe found at the northeast corner of that 1.356 acre tract as conveyed to Rte Rug Co. of record in Instrument No. 201406040069274, said corner also being the northwest corner of that Original 5.00 acre tract of land as conveyed to the Board of Trustees of Jackson Township of record in Volume 3451, Page 902 and being an angle point in the southerly line of that 22.40 acre tract of land described as Parcel "A" in the deed to GC Summit Partners, LLC of record in Instrument No. 201308060133655;

Thence with the easterly line of said 1.356 acre tract and the westerly line of said Original 5.00 acre tract, **S 02° 18' 01" W, 11.96 feet** to a point;

Thence across said 1.356 acre tract, **N 83° 27' 37" W, 206.83 feet** to a point in the westerly line of said 1.356 acre tract and in the easterly line of said 1.493 acre tract, the *True Point of Beginning*;

Thence with the common line of said 1.493 acre tract and said 1.356 acre tract, **S 07° 01' 26" W, 20.00 feet** to a point;

Thence across said 1.493 acre tract the following three (3) courses and distances:

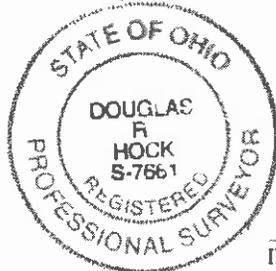
N 83° 27' 37" W, 54.00 feet to a point;

N 07° 01' 26" E, 20.00 feet to a point;

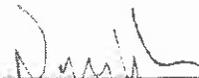
S 83° 27' 37" E, 54.00 feet to the *True Point of Beginning*. Containing **0.025 acres** of land, more or less. Subject to all legal restrictions, easements and rights-of-way. The above description was written by Advanced Civil Design on May 15, 2015 from existing records and a field survey performed in January 2015. A drawing of the above description has been prepared and is a part hereof.

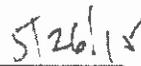
Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

All references used in this description can be found at the Recorder's Office, Franklin County, Ohio.



ADVANCED CIVIL DESIGN, INC.

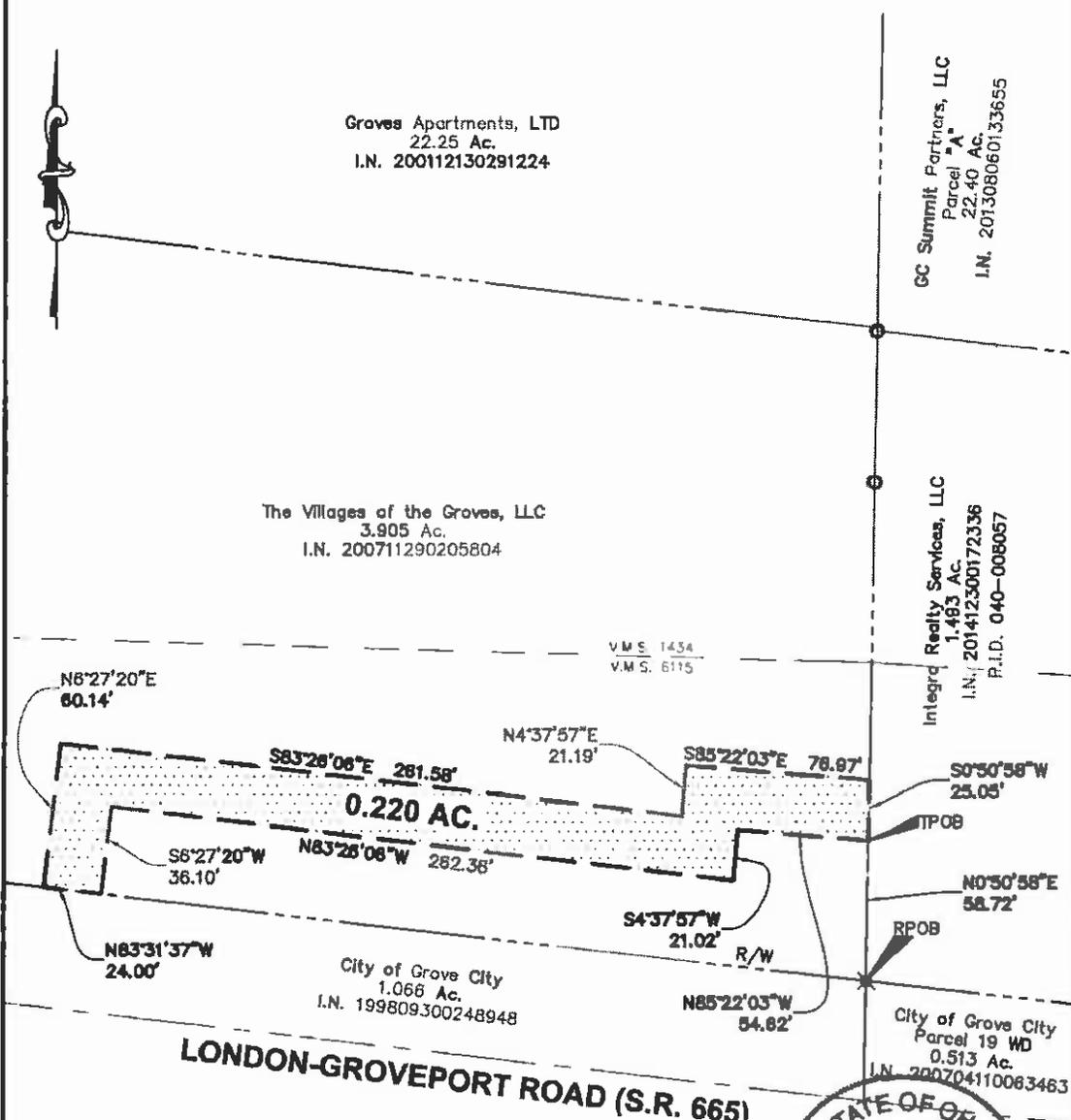

Douglas R. Hoek, P.S. 7661


Date:

0.220 Acre Access Easement Exhibit

Grove City, Franklin County, Ohio
Virginia Military Survey 6115

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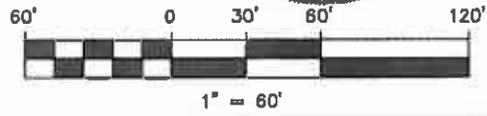
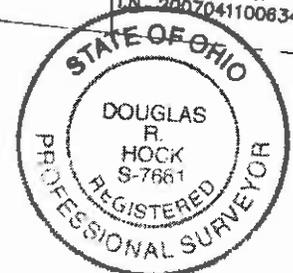


- Iron Pipe Found
- ⊠ PK Nail Found

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

Iron pins set are 3/4" diameter iron pipe, 30" long and capped Advanced 7861.

Douglas R. Hock 5/26/15
 Douglas R. Hock, P.S. 7861 Date:



DRAWN BY: BCK	JOB NO.: 15-0001-686
DATE: 5/22/2015	CHECKED BY: DRB



422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7760
fax 614.428.7755

**Access Easement Description – 0.220 acre
North of London-Groveport Road (S.R. 665)
West of Hoover Road**

-1-

Situated in the State of Ohio, County of Franklin, Township of Jackson, part of Virginia Military Survey No. 6115 and being 0.220 acres out of that 3.905 acre tract of land conveyed to The Villages of the Groves, LLC of record in Instrument No. 200711290205804, and described as follows:

Beginning for reference at a P.K. Nail found at the southeast corner of said 3.905 acre tract, said corner also being the southwest corner of that 1.493 acre tract of land conveyed to Integra Realty Services, LLC of record in Instrument No. 201412300172336, the northwest corner of that 0.513 acre tract of land described as Parcel 19WD and conveyed to the City of Grove City of record in Instrument No. 200704110063463, the northeast corner of that 1.066 acre tract of land as conveyed to the City of Grove City of record in Instrument No. 199809300248948 and in the northerly right-of-way line of London-Groveport Road (State Route 665);

Thence with the easterly line of said 3.905 acre tract and the westerly line of said 1.493 acre tract, **N 00° 50' 58" E, 58.72 feet to the True Point of Beginning;**

Thence across said 3.905 acre tract the following four (4) courses and distances:

N 85° 22' 03" W, 54.62 feet;

S 04° 37' 57" W, 21.02 feet;

N 83° 26' 06" W, 262.36 feet;

S 06° 27' 20" W, 36.10 feet to a point in the southerly line of said 3.905 acre tract, the northerly line of said 1.066 acre tract and in said northerly right-of-way line;

Thence with the southerly line of said 3.905 acre tract, the northerly line of said 1.066 acre tract and along said northerly right-of-way line, **N 83° 31' 37" W, 24.00 feet;**

Thence across said 3.905 acre tract the following four (4) courses and distances:

N 06° 27' 20" E, 60.14 feet;

S 83° 26' 06" E, 261.58 feet;

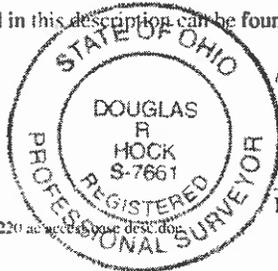
N 04° 37' 57" E, 21.19 feet;

S 85° 22' 03" E, 76.97 feet to the easterly line of said 3.905 acre tract and the westerly line of said 1.493 acre tract;

Thence continuing with the easterly line of said 3.905 acre tract and the westerly line of said 1.493 acre tract, **S 00° 50' 58" W, 25.05 feet** to the **True Point of Beginning**. Containing **0.220 acres** of land, more or less. Subject to all legal restrictions, easements and rights-of-way. The above description was written by Advanced Civil Design on May 26, 2015 from existing records and a field survey performed in January 2015. A drawing of the above description has been prepared and is a part hereof.

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

All references used in this description can be found at the Recorder's Office, Franklin County, Ohio.



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock, P.S. 7661

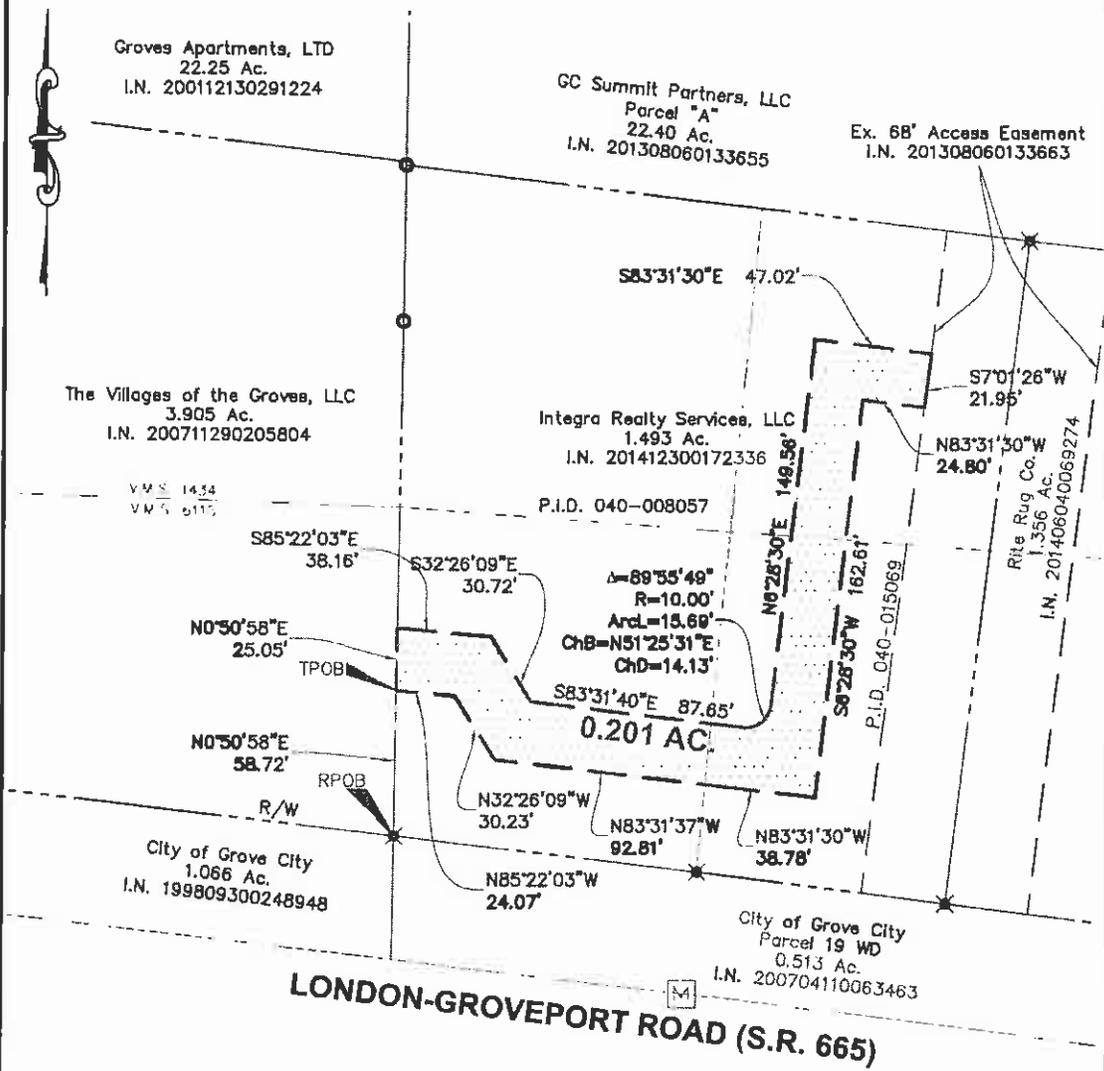
Date

5/26/15

0.201 Acre Access Easement Exhibit

Grove City, Franklin County, Ohio
Virginia Military Surveys 1434 & 6115

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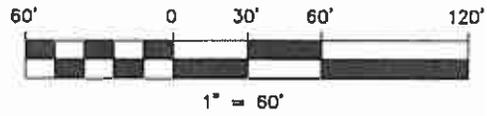
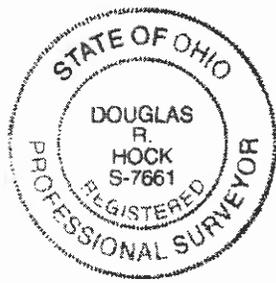


- Iron Pipe Found
- ✕ PK Nail Found

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

Iron pins set are 3/4" diameter iron pipe, 30" long and capped Advanced 7661.

Douglas R. Hock
 Douglas R. Hock, P.S. 7661 Date: 6/23/15



DRAWN BY: BCK	JOB NO.: 15-0001-686
DATE: 6/23/2015	CHECKED BY: DRB

ADVANCED
CIVIL DESIGN

ENGINEERS SURVEYORS

422 Beecher Road
 Gahanna, Ohio 43230
 ph 614.428.7780
 fax 614.428.7755

**Access Easement Description – 0.201 acre
North of London-Groveport Road (S.R. 665)
West of Hoover Road**

-1-

Situated in the State of Ohio, County of Franklin, Township of Jackson, part of Virginia Military Survey No. 1434 and Virginia Military Survey No. 6115 and being 0.201 acres out of that 1.493 acre tract of land conveyed to Integra Realty Services, LLC of record in Instrument No. 201412300172336, and described as follows:

Beginning for reference at a P.K. Nail found at the southwest corner of said 1.493 acre tract, the southeast corner of that 3.905 acre tract conveyed to The Village of the Groves, LLC of record in Instrument No. 200711290205804, the northwest corner of that 0.513 acre tract of land described as Parcel 19WD and conveyed to the City of Grove City of record in Instrument No. 200704110063463, the northeast corner of that 1.066 acre tract of land as conveyed to the City of Grove City of record in Instrument No. 199809300248948 and in the northerly right-of-way line of London-Groveport Road (State Route 665);

Thence with the westerly line of said 1.493 acre tract and the easterly line of said 3.905 acre tract, N 00° 50' 58" E, 58.72 feet to the *True Point of Beginning*;

Thence with the common line of said 1.493 acre tract and said 3.905 acre tract, N 00° 50' 58" E, 25.05 feet to a point;

Thence across said 1.493 acre tract the following thirteen (13) courses and distances:

S 85° 22' 03" E, 38.16 feet to a point;

S 32° 26' 09" E, 30.72 feet to a point;

S 83° 31' 40" E, 87.65 feet to a point of curvature;

with a curve to the left having a central angle of 89° 55' 49" and a radius of 10.00 feet, an arc length of 15.69 feet and a chord bearing and distances of N 51° 25' 31" E, 14.13 feet to a point of tangency;

N 06° 28' 30" E, 149.56 feet to a point;

S 83° 31' 30" E, 47.02 feet to a point;

S 07° 01' 26" W, 21.95 feet to a point;

N 83° 31' 30" W, 24.80 feet to a point;

S 06° 28' 30" W, 162.61 feet to a point;

N 83° 31' 30" W, 38.78 feet to a point;

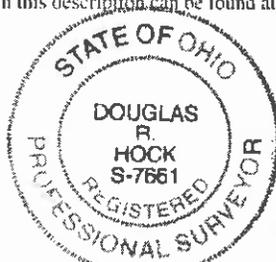
N 83° 31' 37" W, 92.81 feet to a point;

N 32° 26' 09" W, 30.23 feet to a point;

N 85° 22' 03" W, 24.07 feet to the *True Point of Beginning*. Containing 0.201 acres of land, more or less. Subject to all legal restrictions, easements and rights-of-way. The above description was written by Advanced Civil Design on June 23, 2015 from existing records and a field survey performed in January 2015. A drawing of the above description has been prepared and is a part hereof

Bearings are based on the Ohio State Plane Coordinate System NAD83 NSRS 2007. A bearing of N 83° 31' 37" W was established by GPS for the right-of-way of London-Groveport Road (S.R. 665), said right-of-way also being the southerly line of Parcel No. 040-008057 of the 1.493 acre tract as recorded in in the deed to Integra Realty Services LLC of record in Instrument No. 201412300172336.

All references used in this description can be found at the Recorder's Office, Franklin County, Ohio.



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock, P.S. 7661

Date:

Douglas R. Hock
6/23/15

Rezoning Exhibit

Jackson Township, Franklin County, Ohio
Virginia Military Surveys 1434 and 6115

Groves Apartments, LTD
22.25 Ac.
I.N. 200112130291224

GC Summit Partners, LLC
Parcel "A"
22.40 Ac.
I.N. 201308060133655

The Villages of the Groves, LLC
3.905 Ac.
I.N. 200711290205804

N6°28'23"E 270.5'±

P/L

S83°27'37"E 255.0'±

1.575± AC.

Integra Realty Services, LLC
1.493 Ac.
I.N. 201412300172336

VMS 1434
VM 6115

P.I.D. 040-008057

P.I.D. 040-015069

S7°01'26"W 271.2'±

Rite Rug Co.
1.356 Ac.
I.N. 201406040069274

R/W

City of Grove City
1.066 Ac.
I.N. 199809300248948

N83°31'37"W 151.4'±

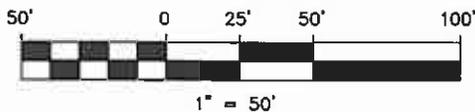
City of Grove City
Parcel 19 WD
0.513 Ac.
I.N. 200704110063463

N82°58'38"W 101.0'±

POB

LONDON-GROVEPORT ROAD (S.R. 665)

This drawing is based on existing
Franklin County records.



DRAWN BY: BCK	JOB NO.: 15-0001-686
DATE: 4/24/2015	CHECKED BY: DRB


ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7753

Zoning Description ~ 1.575± Acres
North side of London-Groveport Road (S.R. 665)
West of Hoover Road

Situated in the State of Ohio, County of Franklin, Township of Jackson, part of Virginia Military Survey No. 1434 and Virginia Survey No. 6115 and being 1.575± acres of land, said 1.575 acres being all of that 1.493 acre tract as conveyed to Integra Realty Services, LLC of record in Instrument No. 201412300172336 and part of that 3.905 acre tract of land conveyed to The Villages of the Groves, LLC of record in Instrument No. 200711290205804 and described as follows:

Beginning at the southeast corner of said 1.493 acre tract, the southwest corner of that 1.356 acre tract of land as conveyed to Rite Rug Co. of record in Instrument No. 201406040069274, in the northerly line of that 0.513 acre tract of land described as Parcel 19 WD of record in Instrument No. 200704110063463 and in the northerly right-of-way line of London-Groveport Road (S.R. 665);

Thence **N 82° 58' 38" W**, along the southerly line of said 1.493 acre tract, **101.0+/- feet** to an angle point thereof;

Thence **N 83° 31' 37" W**, along the southerly line of said 1.493 acre tract and partially along the southerly line of said 3.905 acre tract, **151.4+/- feet**;

Thence **N 06° 28' 23" E**, across said 3.905 acre tract, **270.5+/- feet** to the northeast corner of said 3.905 acre tract and northwest corner of said 1.493 acre tract;

Thence **S 83° 27' 37" E**, along the northerly line of said 1.493 acre tract, **255.0+/- feet** to the northeast corner of said 1.493 acre tract

Thence **S 07° 01' 26" W**, along the easterly line of said 1.493 acre tract, **271.2+/- feet** to the ***Point of Beginning***. Containing **1.575± acres**, more or less.

The above description was prepared by Advanced Civil Design, Inc. on April 24th of 2015 and is based on existing records. A drawing of the above description is attached hereto and made part thereof.

All references used in this description can be found at the Recorder's Office, Franklin County, Ohio.

This description is not to be used for the transfer of land.

ADVANCED CIVIL DESIGN, INC.

STORMWATER MANAGEMENT SUMMARY

Date: April 23, 2015
Project: London Place – 2789 London Groveport Road
Re: Preliminary Engineering Stormwater Management Summary

Site Summary:

The proposed London Place commercial development project is located at 2798 London Groveport Road Grove City, OH at the northwest corner of the intersection of Summit Way. This 1.576 acre property is comprised by the combination of two vacant lots and a portion of additional vacant area on the western edge along the London Groveport Road frontage. Approximately 1.24 acres of parking lot and building area are proposed for the new restaurant/retail use. Management of the increased runoff volumes produced by this expansion will be accommodated by use of parking lot ponding and underground pipe storage due to the lack of area to create open ponds and/or basins. Peak flow control of runoff from the London Place development will follow the guidance of the City of Grove City codified ordinances and the Ohio EPA's General Construction Permit.

Stormwater Management Summary:

Proposed runoff quantity and quality control will be provided for the project in accordance with the City of Grove City stormwater regulations and design requirements and in accordance with the Ohio EPA's General Construction Permit. The ultimate outlet for this site is an existing 15" storm system located within an easement on the northern edge of this project. The final allowable release rate for this project will be evaluated to ensure the proposed site runoff rate does not affect the existing downstream system capacity.

Runoff quantity control is currently planned to be handled by storing excess runoff in oversized underground 60" pipe sections that will also be used as part of the storm sewer conveyance system. The release rate of the required detention volume will be accomplished by installing restrictor plates (orifice plates) on the outlet side of the downstream manholes. In addition to the underground volume, parking lot ponding will also be used to help accommodate the overall required storage volume.

Runoff quality control will be achieved by a mechanical hydrodynamic separator installed in an offline configuration on the final outlet pipe. Runoff quality control will occur downstream of the quantity control devices ensuring that all runoff is properly treated before leaving the site. The mechanical device will be sized to treat the required water quantity volume developed in the final engineering efforts.

EXTERIOR MATERIAL FINISH KEY			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
AWNING			
AWN-1	SUNBRELLA	COLOR: BLACK	PREFINISHED ALUMINUM FRAME TO BE BLACK
EXTERIOR INSULATION FINISH SYSTEM			
EIFS-1	STO CORP	PRAIRIE CLAY	FINISH - SANDPEBBLE FINE
PAINT			
PT-1	BENJAMIN MOORE	#2120-20 "BLACK IRON"	METAL CANOPIES
PT-2	BENJAMIN MOORE	#2112-20 "BROWN SUGAR"	BOLLARDS, GAS PIPING, ELECTRICAL CABINETS
PREFINISHED ALUMINUM STOREFRONT			
SF-1	TUBELITE INC. (OR EQUAL)	COLOR - 'BLACK' FINISH - ANODIZED	THERMAL FRAMING w/ 1" INSUL. GLAZING
PREFINISHED METAL			
MTL-1	DMI	COLOR - "BROWN"	PREFINISHED FASCIA EDGE FLASHING, COPINGS, SCUPPER BOXES & DOWNSPOUTS
MTL-2	DMI	COLOR - "STONE"	PREFINISHED COPING
MODULAR BRICK VENEER			
BR-1	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "CONTINENTAL"	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'
BR-2	ENDICOTT CLAY PRODUCTS	JEFFERSON SERIES "PATRIOT"	MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'
STRUCTURAL MASONRY VENEER			
SMU-1	CALSTAR PRODUCTS	FIELD COLOR: "DOVE GRAY" FINISH: STANDARD	MORTAR- LAFARGE COLOR: "PUTTY", TYPE 'S'
SMU-2	CALSTAR PRODUCTS	ACCENT & BASE COLOR: "DARK GRAY" FINISH: SPLIT-FACED	MORTAR- LAFARGE COLOR: "PUTTY", TYPE 'S'



LONDON PLACE

LONDON-GROVEPORT ROAD & SUMMIT WAY
GROVE CITY, OHIO

FOR

INTEGRA REALTY SERVICES, LLC

Project
Number:

Date: 06.29.2015

Modifies
Drawing:

Drawing
Number: