



Engineers, Surveyors, Planners, Scientists

February 9, 2012

Mr. Kyle Rauch, AICP
Planning & Development Officer
The City of Grove City
4035 Broadway
Grove City, OH 43123

Subject: The Pinnacle Club Condos, Phase 1, 2, & 3
Response Letter

Dear Mr. Rauch,

In response to the comments regarding the Pinnacle Club Condos, Phases 1, 2, & 3, the appropriate modifications have been made to the Development Plan and Engineering Plan. The following remarks clarify comments raised in your February 2nd review letter.

Development Department (Kyle Rauch, 614-277-3010)

1. The Landscape Plan is being prepared and provided by Ciminello's, Inc.
2. The internal private drive terminates at the existing parking lot. The two parking spaces shall have striping. This is to provide emergency and/or gated access.
3. The label for the building area has been modified to remove "potential ancillary uses for clubhouse".
4. The entry feature sign and associated details will be included with the Landscape Plan being prepared and provided by Ciminello's, Inc.
5. The street trees to be removed as part of this development will be shown on the Landscape Plan.
6. Proposed setbacks have been shown and labeled on the plans as requested.
7. The Developer is aware that any improvements including landscaping and paver patios located within the existing easement area behind units 1-8 are subject to risk if the utility requires repair. It is understood the City is not held accountable for cost of repair of landscaping and/or paver patios if damaged within the easement area.
8. Please see the Landscape Plan prepared and provided by Ciminello's, Inc.

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9. The driveway curb cut for units 2 and 3 has been reduced to 22' wide as requested. The plan details have been modified accordingly.
10. A list of the standard construction drawings is located on the title sheet of the Engineering Plans.
11. The existing trail is to be removed. The plans have been modified for clarification.
12. Upon Development Plan approval the lots will be split and combined as shown on the enclosed survey exhibits.
13. Units 1-12 shall have the same materials as the clubhouse. Units D1-D6 shall have materials compatible to the clubhouse. Please see enclosed material specification list.

Building Division (Christy Zempter, 614-277-3086)

14. The plans for the detached garages have been included with the submittal for your reference as requested.
15. The elevation plans of the detached garages have been included with the submittal for your reference as requested.
16. Each unit will have a standard coach light located near the garages. Mailbox locations will be coordinated with the post office.
17. The location and specification for the coach lights will be included as part of the architectural plans for building permit.

Urban Forestry (Jodee Lowe, 614-277-1103)

18. The Landscape Plan is being prepared and provided by Ciminello's, Inc.

Jackson Township Fire Department (Lt. Bill Dolby, 614-945-5041)

19. The fire line has been increased to an 8" line as requested. The plans have been modified accordingly.
20. Please see the Landscape/Signage Plan prepared and provided by Ciminello's, Inc. for the location of the "No Parking Fire Lane" signs.

Engineering

21. The Engineering Plans are enclosed with this submission for review and approval.

Should you have any questions or require additional information, please do not hesitate to contact me directly at (614) 775-4385.

Sincerely,

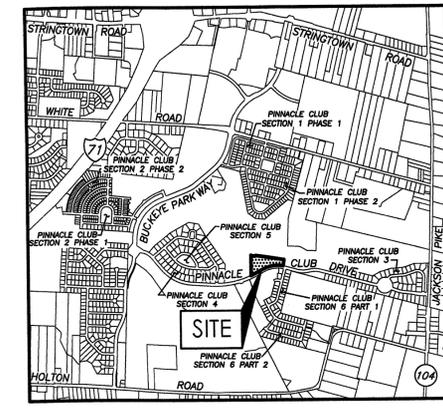


Christopher J. Mann, PE
Associate/Senior Project Manager

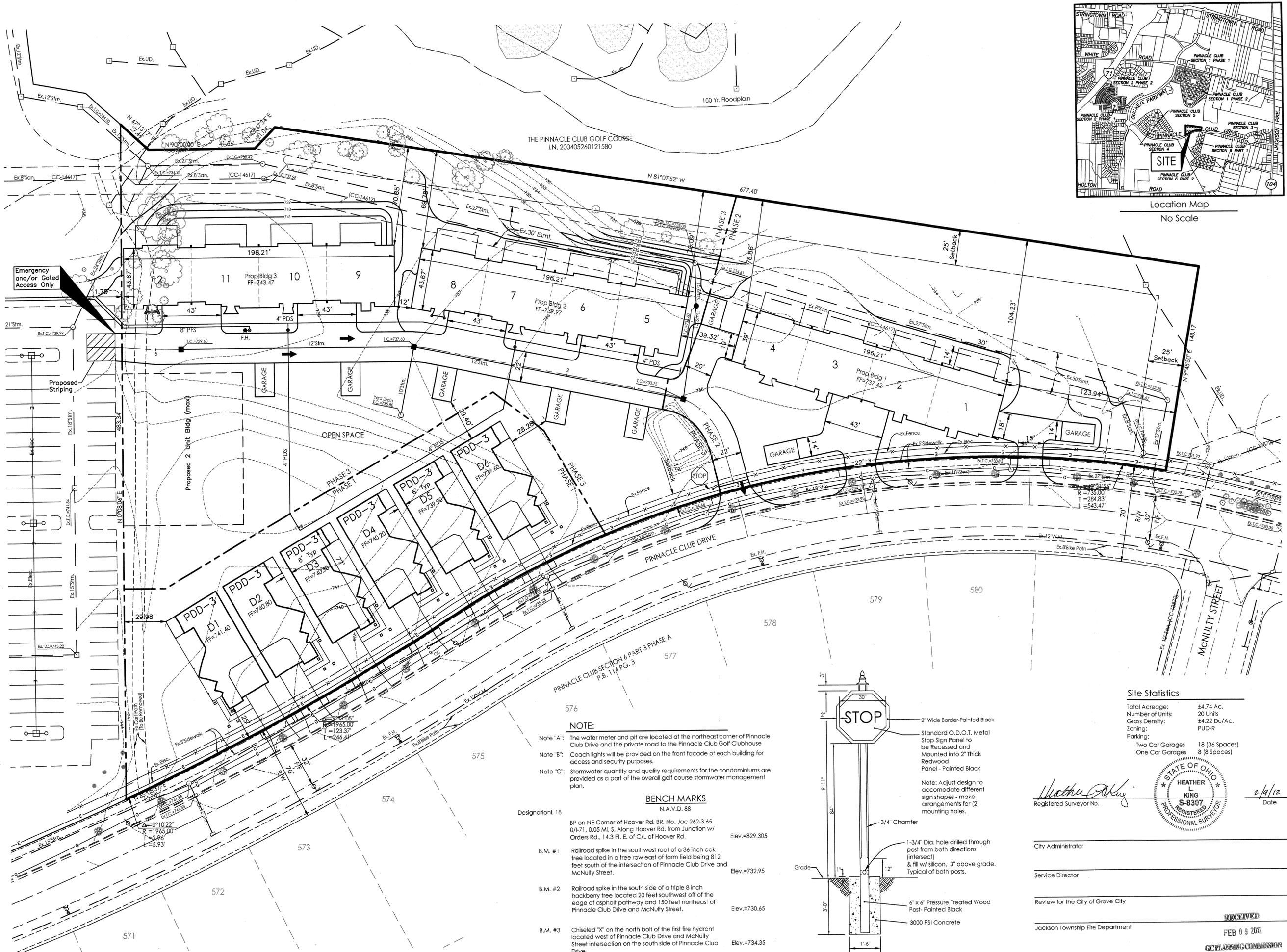
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THE PINNACLE CLUB CONDOS PHASE 1, 2 & 3

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO



Location Map
No Scale



DEVELOPMENT PLAN

SITE PLAN

PREPARED FOR:
Pinnacle Condo, LLC
C/O Pinnacle Development Co
of Grove City
1500 Pinnacle Club Drive
Grove City, Ohio 43123
614-539-0722

PREPARED BY:

Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Fax: 614.775.3448
emht.com

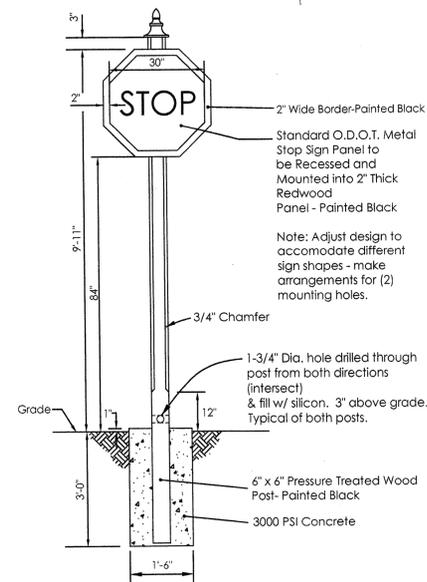
Site Statistics

Total Acreage:	±4.74 Ac.
Number of Units:	20 Units
Gross Density:	±4.22 Du/Ac.
Zoning:	PUD-R
Parking:	Two Car Garages 18 (36 Spaces) One Car Garages 8 (8 Spaces)

Heather L. King
Registered Surveyor No. _____
Date: 2/9/12



City Administrator _____
Service Director _____
Review for the City of Grove City _____
Jackson Township Fire Department _____
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NOTE:
Note "A": The water meter and pit are located at the northeast corner of Pinnacle Club Drive and the private road to the Pinnacle Club Golf Clubhouse
Note "B": Coach lights will be provided on the front facade of each building for access and security purposes.
Note "C": Stormwater quantity and quality requirements for the condominiums are provided as a part of the overall golf course stormwater management plan.

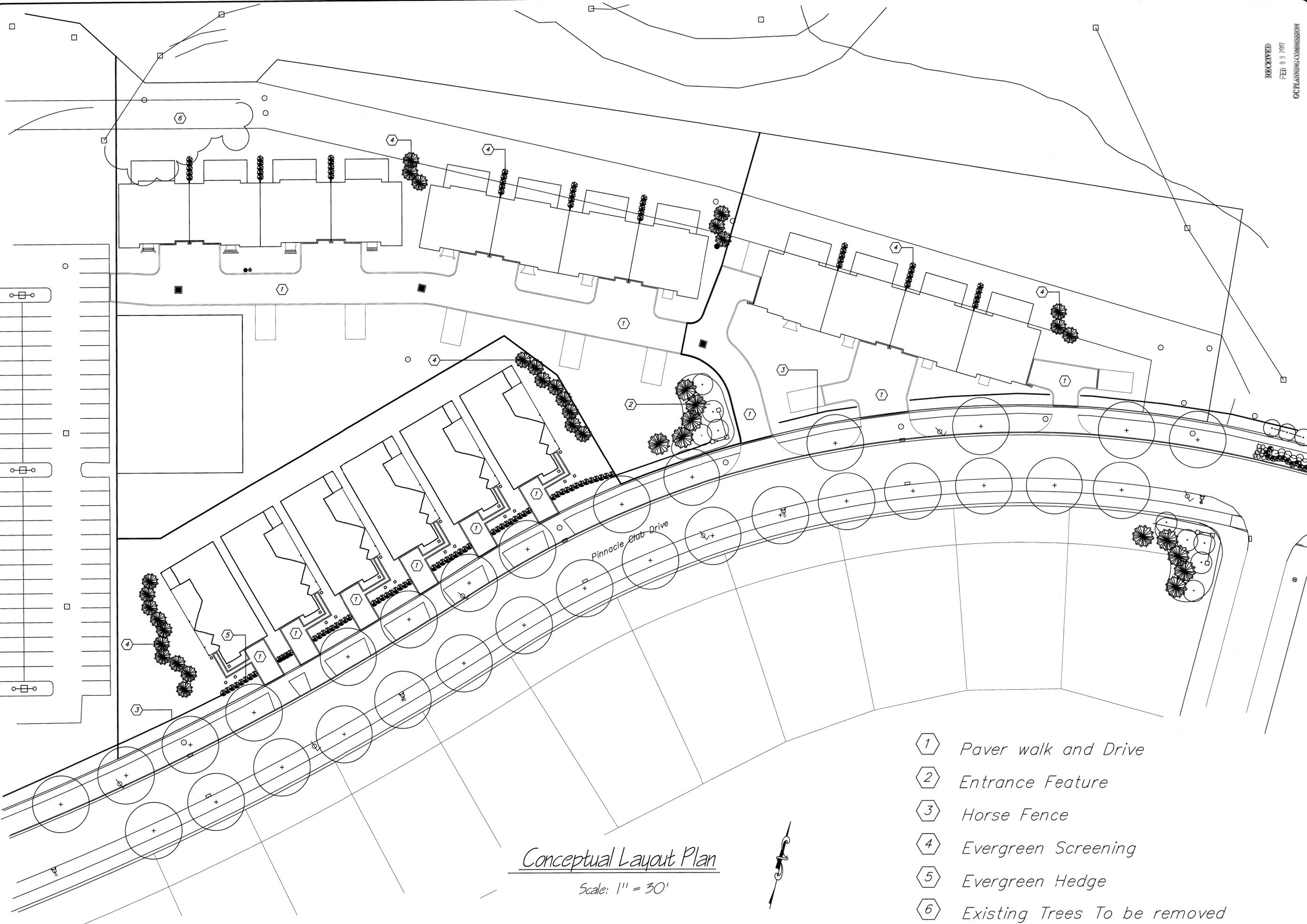
- BENCH MARKS**
N.A.V.D. 88
- Designation: L18
BP on NE Corner of Hoover Rd. BR. No. Jac 262-3.65 0/1-71, 0.05 Mi. S. Along Hoover Rd. from Junction w/ Orders Rd., 14.3 Ft. E. of C/L of Hoover Rd. Elev.=829.305
- B.M. #1 Railroad spike in the southwest root of a 36 inch oak tree located in a tree row east of farm field being 812 feet south of the intersection of Pinnacle Club Drive and McNulty Street. Elev.=732.95
- B.M. #2 Railroad spike in the south side of a triple 8 inch hackberry tree located 20 feet southwest off of the edge of asphalt pathway and 150 feet northeast of Pinnacle Club Drive and McNulty Street. Elev.=730.65
- B.M. #3 Chiseled "X" on the north bolt of the first fire hydrant located west of Pinnacle Club Drive and McNulty Street intersection on the south side of Pinnacle Club Drive. Elev.=734.35

DATE: February 9, 2012
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:

GRAPHIC SCALE:
0 15 30 60
1"=30'

NORTH SHEET 11
THE PINNACLE CLUB CONDOS PHASE 1, 2 & 3 2009-0445

C:\ACAD\BORDER.DWG 19940306 15595535 1.0000



Conceptual Layout Plan
Scale: 1" = 30'



- 1 Paver walk and Drive
- 2 Entrance Feature
- 3 Horse Fence
- 4 Evergreen Screening
- 5 Evergreen Hedge
- 6 Existing Trees To be removed

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567 Lazelle Road
Westerville, Ohio 43081
(614) 885-3779

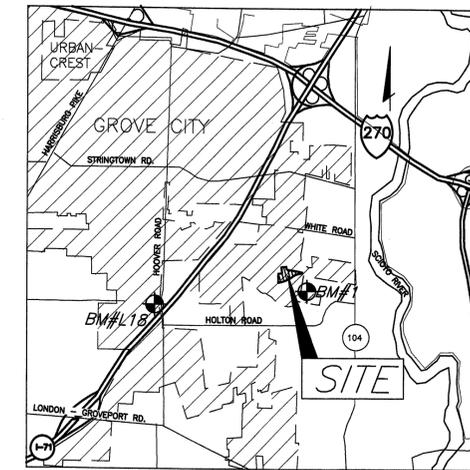
CIMINELLO'S INC.
Landscaping and Garden Center

Conceptual Layout Plan
Pinnacle Condo LLC
Pinnacle Golf Club
Grove City, Ohio 43123

Project	
Design	KMF
Drawn	KMF
Date	2/9/12
Revisions	
Sheet	

This drawing is the exclusive property of Ciminellos Inc. and shall not be reproduced or used without their written permission.

CITY OF GROVE CITY, OHIO DEVELOPMENT PLAN FOR **THE PINNACLE CLUB CONDOS** PHASE 1, 2 & 3 2012

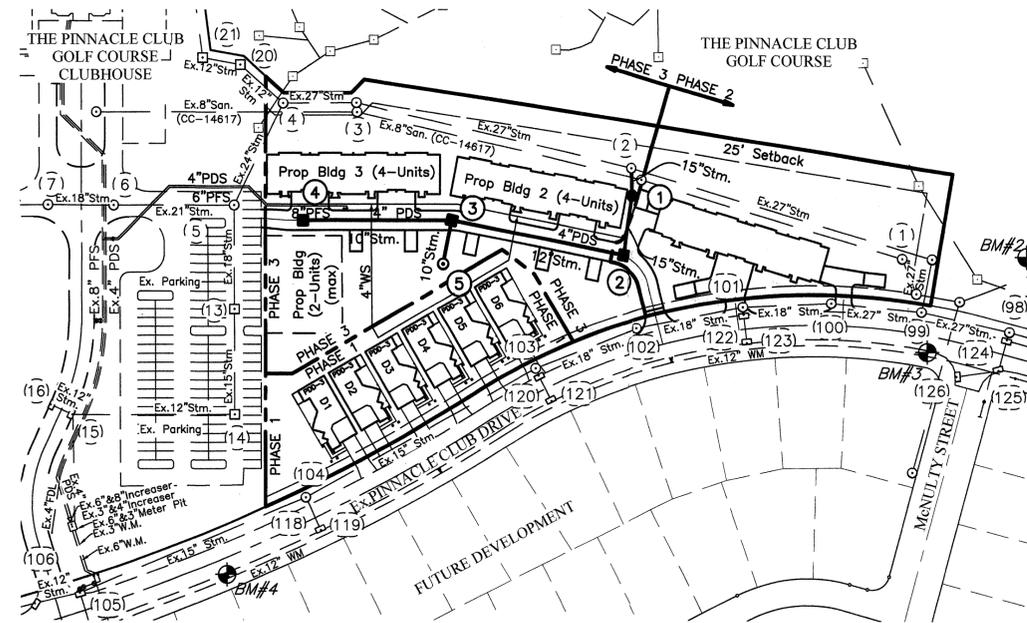


LOCATION MAP
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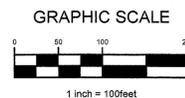
Job No.	2012-0133	Date	February, 2012
Sheet	1/7	Scale	As Noted
THE PINNACLE CLUB CONDOS FOR PHASE 1, 2 & 3 TITLE SHEET			
CITY OF GROVE CITY, OHIO DEVELOPMENT PLAN FOR THE PINNACLE CLUB CONDOS PHASE 1, 2 & 3 TITLE SHEET			
Pinnacle Condo, LLC C/O PINNACLE DEVELOPMENT COMPANY OF GROVE CITY			
REVISIONS			
MARK	DATE	DESCRIPTION	

INDEX OF SHEETS

TITLE SHEET	1
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GRADING PLAN & SEDIMENT & EROSION CONTROL PLAN	5
STORM SEWER PROFILES, SEDIMENT & EROSION CONTROL DETAILS	6
INTERSECTION DETAILS	7



INDEX MAP
Scale: 1" = 100'



DEVELOPER/OWNER

Pinnacle Condo, LLC
c/o Pinnacle Development Co.
of Grove City
1500 Pinnacle Club Drive
Grove City, Ohio 43123
614-538-0722



PREPARED BY:



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road • Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

Christopher J. Mann
Registered Engineer No. 66927



2-9-12
Date

City of Grove City signatures on this plan below signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

APPROVED:

_____ Mayor, City of Grove City, Ohio	_____ Date
_____ City Administrator, City of Grove City, Ohio	_____ Date
_____ Director of Public Safety, City of Grove City, Ohio	_____ Date
_____ Director of Public Service, City of Grove City, Ohio	_____ Date
_____ Fire Chief, Jackson Township, Fire Department	_____ Date
_____ Reviewed By Engineer for City of Grove City, Ohio By Hockaden and Associates, Inc.	_____ Date

The Standard Construction Drawings listed on these plans shall be considered a part thereof.

CITY OF GROVE CITY	City of Columbus
C-GC-1 C-GC-41A	AA-S133
C-GC-4 C-GC-46A	
C-GC-9 C-GC-70A	
C-GC-18 C-GC-71A	
C-GC-19 C-GC-74	
C-GC-20 C-GC-75A	
C-GC-26 C-GC-77	
C-GC-31 C-GC-90	
C-GC-32 C-GC-93	
C-GC-37	
C-GC-38	

BENCH MARKS
N.A.V.D. 88

- Designation L 18 BP on NE Corner of Hoover Rd. BR. No. Jac 262-3.65 0/1-71, 0.05 Mi. S. Along Hoover Rd. from Junction w/ Orders Rd., 14.3 Ft. E. of Elev.=829.305 C/L of Hoover Rd.
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- B.M. #4 Chiseled "X" on the north bolt of the first fire hydrant located east of Pinnacle Club Drive and Fairway Drive intersection on the south side of Pinnacle Club Drive. Elev.=745.89

NOTE:
The floodway/floodplain delineation shown is based upon existing Flood Insurance Rate Map #39049C0408K, effective date June 17, 2008.

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GENERAL NOTES

1. SPECIFICATIONS: The portions of City of Grove City requirements together with the latest revision of Ohio Department of Transportation (ODOT) and the City of Columbus, Construction and Material Specifications (CMSC) as modified herein relating to technical aspects to the improvement shall govern this improvement. In case of any conflict among these identified technical specifications, the greater requirement shall take precedence (as determined by the sole discretion of the Engineer) unless directed otherwise by the Engineer.

General provisions of City of Grove City requirements, the latest revision of ODOT and City of Columbus CMSC as modified herein shall not apply. This exclusion includes but is not necessarily limited to Division 100 of the ODOT and City of Columbus CMSC.

2. ELEVATION DATUM: Elevations shown on these plans are based on NAVD '88 Datum.

3. BENCHMARKS: The Contractor shall carefully preserve benchmarks, property corners, reference points, and stakes. Any benchmark, property corner, or survey marker damaged or disturbed by the Contractor shall be reset by an Ohio Registered Surveyor at the Contractor's expense.

4. SAFETY REQUIREMENTS: The Contractor and any and all Subcontractor shall be solely responsible for complying with all federal, state, and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees) and property. It is also solely the responsibility of the Contractor and Subcontractor to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work.

5. CONFINED SPACE ENTRY: The Contractor shall be solely responsible for following the OSHA requirements for "Confined Space Entry" (CSE), Title #29 of the Federal Regulations Code, Part 1910.146, while performing work inside any manholes or other confined space requiring a permit. Copy of all CSE permits shall be given to the City upon project completion.

6. PERMITS: The Contractor shall obtain all necessary permits and licenses needed for construction of this project.

7. NOTIFICATION: The Contractor shall notify the Director of Public Service well in advance of the anticipated start of construction, holidays and weekends excluded. Work shall not commence until a pre-construction conference is held with the City. Contact the Service Director at 614-277-1100.

9. INSPECTION: The City of Grove City will provide all construction inspection for this project. The Developer shall prior to any construction operation, deposit with the City the total estimated costs for inspection.

11. UTILITIES: The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the Owner of the underground utility as required by Section 153.64 OR Section 3781.27 of the Ohio Revised Code. The City of Grove City and the Engineer assume no responsibility for the accuracy of locations or depths of underground facilities shown on the approved construction drawings. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the utility owner and the City.

The Contractor shall notify the Ohio Utilities Protection Service (OUPS) at (1-800-362-2764) at least 48 HOURS, and NO MORE THAN 10 DAYS PRIOR TO excavating, with such time periods not including weekends or holidays. Contractor shall similarly contact all utility owners who are not subscribers to OUPS.

The following utilities are located within the work limits of this project and the owners do not subscribe to a registered underground utility protection service.

Table with 3 columns: UTILITY, OWNER, TELEPHONE. Lists Sanitary, Water, and Storm Facilities with their respective owners and phone numbers.

The City of Grove City is not a member of the Ohio Utilities Protection Service. Before you excavate, fax the City of Grove City Service Department, (614) 277-1112 with your marking request.

The following additional utilities are known or can be expected to be located within the limits of this project.

Table with 3 columns: UTILITY, OWNER, TELEPHONE. Lists Telephone, Electric, Gas, and Cable facilities with their respective owners and phone numbers.

The Contractor is responsible for investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on the plans or not. The Contractor shall proceed with the work and protect all underground utilities in a manner at least as cautious and protective of safety and underground utilities as those methods identified in Sections 3781.25 through 3781.30 of the Ohio Revised Code.

All private utility relocation (gas, electric, phone, etc.) will be the responsibility of the utility owners. The Contractor is responsible for coordinating the relocation and/or protection of any utilities as required by the plan with the owner of the affected utility.

12. 13. 14.

15. SITE VISIT: The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions and the potential effects upon the scope of work. Any performance of additional site subsurface investigations (test holes) shall be coordinated in advance with the owner as warranted. Excavated material shall be replaced in a controlled manner to minimize impact on field earthwork.

16. 17. SUBSURFACE INVESTIGATIONS: Subsurface investigations were not made by the Engineer. It is the responsibility of the Contractor to make his own investigations of subsurface conditions prior to submitting his proposal. Prior to any subsurface investigations or on-site examination of the project all bidders shall obtain approval of the Owner.

18. 19. EASEMENTS: Approval of this plan is contingent on all easements required for the construction of the work being secured and submitted to the City of Grove City for recording prior to commencement of the work, and no work which requires an easement will be allowed to proceed until this has been done.

20. WORK LIMITS: The Contractor is responsible for containing all performed work and all equipment, materials, vehicles, etc., used to carry out the work within the rights-of-way of the streets, roadways and permanent utility easements, as shown on these plans. The Contractor is responsible for cost of restoration for any area outside of the right-of-way or permanent easement to former condition and to the satisfaction of the Property Owner.

21. CONTRACT WORK PERFORMED BY THE CITY: In the event that it becomes necessary for the City to perform work of an immediate nature (such as the placement of barricades or replacement of signs or other warning or protective devices) required of the Contractor by this contract because of failure or refusal of the Contractor to perform such work, the Contractor shall reimburse the City at the Rate of 2.5 times the actual cost of labor.

22. CONVENIENCE FACILITIES: The Contractor shall furnish and maintain sanitary convenience facilities for the workmen and inspectors for the duration of the work. Cost shall be included in the price bid for the various items.

23. 24.

25. NON-RUBBER Tired VEHICLES: No non-rubber tired vehicles shall be moved on City Streets. Exceptions may be granted by the City of Grove City where short distances and special circumstances are involved. Granting of exceptions must be in writing, and any damage must be repaired by the Contractor to the satisfaction of the City of Grove City.

26. 27. PROTECTION OF STREET TREES: The City of Grove City has been designated as a "Tree City USA" for its outstanding street tree resources. The Contractor's cooperation is required to prevent damage to existing trees. Any damages to limbs, bark, roots, etc. shall cause City to retain \$1,000 per occurrence for a period not to exceed two years.

28. PRUNING: Branches or growth which interferes with the free construction of the project may be removed from trees/bushes that are to be saved by the use of pruning tools with prior approval from the Engineer. All pruning tools used and methods employed shall meet the approval of the Engineer. The branches will be removed with a good clean cut made flush with the parent trunk or if having a good healthy lateral branch, the cut shall be a good clean slanting cut close to and beyond the healthy branch. All pruning cuts shall be painted with an accepted pruning preservation. The cost of all work and expenses connected with tree pruning shall be included in the price bid for CMSC Item 201, Clearing and Grubbing. No extra payment shall be made.

Trees damaged or destroyed that were not designated for removal or approved by the Engineer for removal shall be replaced at the Contractor's expense.

29. STANDARD TOPSOIL, SEEDING, FERTILIZER, AND MULCHING: Each of the various items includes Topsoil, Seeding, Fertilizer, and Mulching. This is not a separate Pay Item, but shall be included in the price bid for all concrete sidewalks, curb ramps, curb and gutter, roof drains, underdrains, and retaining wall installation. All topsoil shall be of the highest quality and free of all stones, trash and other deleterious materials greater than 3/4". Organic content shall be tested by an approved lab and certified to be between 10-20% by weight, and all topsoil shall be saturated with water and allowed to settle prior to seeding. Settled areas shall be refilled and saturated again prior to seeding. The grades shall match all existing landscape and new concrete work. The Contractor shall scarify the soil surface to open the soil prior to seeding. All Seeding, Fertilizer, and Mulch shall be placed within 5 working days of placing topsoil. The seeding and fertilizer mixes shall be as specified in the book of this book and shall be installed per the manufacturer's recommendations. The starter-fertilizer mix shall contain a minimum of 3% Siduron, to prevent weed establishment. No weeds or undesirable grasses will be accepted in the final inspection. If the initial seeding is not 95% established by September 15th, the Contractor shall Re-Seed, Fertilize, and Mulch the bare areas prior to October 1st.

30. DEWATERING: The Contractor is solely responsible to the Ohio Department of Natural Resources (O.D.N.R.) for registry, maintenance, and abandonment of any withdrawal devices used in the construction of this project.

Installation of any well, well point, pit or other device used for the purpose of lowering the groundwater level to facilitate construction of this project shall be properly abandoned in the provisions of Section 3745-10 of the Ohio Administrative Code or as directed by the Director or his representatives. The Contractor shall be required to complete and file a Well Log and a Drilling Report Form with O.D.N.R., Division of Water, within 30 days of the completion of installation of any well, well point, pit or other device used for the purpose of removing groundwater from an aquifer, in accordance with Sections 1521.01 and 1521.05 of the Ohio Revised Code. In addition, any such facility that has a capacity to withdraw waters of the State in an amount greater than 100,000 gallons per day from all sources shall be registered by the Contractor with the Chief of the O.D.N.R., Division of Water, within three months of the completion of the facility in accordance with Section 1521.16 of the Ohio Revised Code. Copies of the necessary paperwork can be obtained at O.D.N.R., Division of Water, Fountain Square, Columbus, OH, 43224-1387 614-265-6717.

The Contractor shall furnish and operate suitable pumping equipment of such capacity, adequate to dewater the trench, should water be encountered. The trench shall be sufficiently dewatered so that the placement of bedding and the laying and joining of pipe is made on firm, dry ground. If dewatering cannot produce acceptable subgrade, and only as directed by the Engineer, unsuitable materials shall be removed and replaced by CMSC Item 905, stone foundation.

The Contractor shall convey all trench water to a natural drainage channel or storm sewer without damage to property. The Contractor shall be responsible to place and maintain necessary sediment control measures to filter the dewatering discharge. Cost for the above shall be included in the bid price for the storm sewer improvements.

The cost of any dewatering operations required for the construction of the sanitary sewer shall be included in the price bid for the various sewer items.

31. REPLACEMENT OF DRAIN TILES AND STORM SEWERS: All drain tile and storm sewers damaged, disturbed or removed as a result of the Contractor's operations shall be replaced with the same quality pipe or better, maintaining the same gradient as existing. Replaced drain tile shall be laid on compacted bedding equal in density to surrounding stratum. Replacement shall be done at the time of the backfill operation. Cost of this work to be included in the price bid for the various items.

32. MAINTAIN DRAINAGE: The flow in all sewers, drains, and watercourses encountered shall be maintained by the Contractor at his own expense, and whenever such watercourses and drains are disturbed or destroyed during the prosecution of the work they shall be restored by the Contractor at his own cost and expense, unless specific provision is made in the Contract Documents for the measure of and payment for such cost specific items, to a condition satisfactory to the Engineer.

33. INLET PROTECTION: The Contractor is responsible to keep all storm sewer inlets protected from excessive amounts of sediments using adequate filtering devices as approved by the Division of Sewerage and Drainage.

34. EROSION & SEDIMENTATION CONTROL: The Contractor shall provide sediment control at all points where storm water runoff leaves the project including waterways, overland sheet flow, and storm sewers. Cost for erosion and sedimentation control shall be included in the price bid for CMSC Item 207.

Accepted methods of providing erosion/sediment control include but are not limited to: hay or straw bales, silt filter fabric, and temporary ground cover.

Sediment and Erosion Control shall be provided per the requirements of the City of Grove City Erosion & Sediment Erosion Control Regulation the Standards and Specifications of the "Rainwater and Land Development" manual of the ODNR.

Land disturbing activities must comply with all provisions of the Division of Sewerage and Drainage Erosion and Sedimentation Control Regulation. All land disturbing activities shall be subject to inspection and site investigation by the City of Grove City and/or the Ohio EPA. Failure to comply with these regulations is subject to legal enforcement action.

The Contractor is responsible to notify the City of Grove City 48 hours prior to the commencement of initial site land disturbance on any site of two or more acres. This includes site clearing, grubbing and any earth moving. Primary erosion and sediment control practices are mandated by regulations to be in place from the beginning of the construction activity. Please contact the Storm water Management Office by phone at 614-645-6700 or fax at 614-645-1840. Details of this requirement may be found in the Erosion and Sediment Pollution Control Regulation (adopted June 1, 1994). Failure to comply may result in enforcement action as detailed in the Columbus City Codes, Section 1145.05. See sheet 9 for erosion and sediment control.

35. SOIL STOCKPILES: The Contractor shall be responsible for keeping all soil stockpiles, including trench excavation stockpiles, protected from erosion. The areas surrounding the stockpiles are to be protected from sediment with the use of perimeter control devices such as earth or straw bale devices or silt fences. These perimeter control devices shall be maintained for the duration of the project. Cost to be included in the price bid for CMSC Item 207.

36. DISPOSAL OF EXCESS EXCAVATION: The Contractor shall dispose of all excess excavation at such location on the project site as approved by the Engineer. For disposal outside the limits of the project the Contractor shall provide a copy of the signed, written agreement between the Contractor and the off-site Landowner before such disposal occurs. This written agreement shall clearly state the purpose of the agreement and indicate the landowner's permission for such use.

37. CONSTRUCTION DEBRIS: The Contractor shall be responsible for the immediate cleanup of any debris, mud or dirt tracked or spilled on city and/or public streets or private drives whether inside or outside the project area. The Contractor is responsible for the cost of any services contracted and/or completed by the City of Grove City in the clean up of any tracking or spillage anytime during project construction.

38. CLEAN UP: All debris, rubble, unusable materials, and items not salvaged by the Owner shall become the property of the Contractor and shall be removed from the site by the Contractor and disposed of properly. The Contractor shall restore disturbed areas to their original condition and elevation. Any dirt, sediment or mud deposited on City streets on or off the project site shall immediately be cleaned by the Contractor. The Engineer may require the Contractor to perform weekly street cleaning if excessive amounts of dirt and mud are left along the street. This may include removal by sweeping, power cleaning, or manual methods. The cost of this work shall be included in the various contract items, unless otherwise specified.

39. MAINTENANCE OF TRAFFIC NOTES: All temporary traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the Ohio Manual of Traffic Control Devices for Construction and Maintenance Operations (current edition), copies of which are available from the Ohio Dept. of Transportation, Bureau of Traffic, 1980 West Broad St., Columbus, OH 43223.

Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night. Cones are NOT approved for use at night.

All trenches within the road right-of-way shall be backfilled or securely plated during non-working hours.

Access to all properties within the project area shall be maintained at all times.

All permanent traffic controls not in conflict with the temporary traffic controls shall be maintained through this project by the Contractor. Permanent traffic controls may be temporarily relocated by the Engineer. The Contractor shall assume all liability for missing, damaged, and improperly placed signs.

Any work done by the City, including installation, relocations, removal and/or replacement of permanent traffic control devices as a result of work done by the Contractor or as a result of the negligence of the Contractor shall be at the expense of the Contractor.

40. CONCRETE PIPE AND STRUCTURE INSPECTION: All precast concrete products shall be inspected at the location of manufacture. Approved precast products shall be stamped or have such identification noting that solid products have been inspected by the City of Columbus and meet their specifications. Precast concrete products without proper identification of inspection will not be permitted for installation.

41. 42. TRENCH BACKFILL: All item numbers shown refer to City of Columbus Construction and Material Specifications (CMSC) item numbers.

Type A backfill shall be granular material, conforming to 703.01 no. 4 coarse aggregate or item 304, as directed by the Engineer compacted as stipulated in item 912.03. In all cases granular material shall be used around all manholes, structures and cleanouts.

Type B backfill shall be natural soil free from stones larger than two inches across their greatest dimension, topsoil, vegetation, debris, rubbish or frozen material, compacted to 95% of its maximum laboratory dry weight. Placed per section 901.17.

Type C backfill shall be natural soil free from stones larger than six inches across their greatest dimension, vegetation, debris, rubbish or frozen material, compacted to 90% of its maximum laboratory dry weight. When approved by the engineer, rocks no larger than one cubic foot may be deposited at least three feet above the top of the sewer.

Aggregate for bedding is no. 57 or no. 8, item 703. The excavated trench width twelve inches (12") above the conduit may be increased without extra compensation.

Trench dams shall be constructed on all sanitary sewers in accordance with item 901.11.

43. 44. WATER MAIN SEPARATION: The Contractor shall maintain eighteen (18") vertical and ten (10") horizontal separations between any existing water main and proposed sanitary sewer.

46. DEFLECTION TESTING: All plastic sewer lines shall be deflection tested after installation, in conformance with the requirements of CMSC Item 901.21.

47. GRADE CHECKS: The Contractor shall ensure there is a surveyor's level and rod on the exact spot for use in performing grade checks whenever sewer line structures or pipe are being installed. The Contractor shall make this equipment available for the use of and assist the City inspector in performing grade checks when requested by the inspector. The inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to a time convenient to the Contractor.

These checks will be performed to ensure the following: A. Proper placement of each structure. B. Proper installation of initial runs of pipe from a structure. C. Grade, after an overnight or longer shutdown. D. Grade, at any other time the inspector has reason to question grade of installation. E. A grade check performed by the City inspector in no way relieves the Contractor for the ultimate responsibility to ensure construction to the plan grade.

48. GRADE CHANGES: If it is determined that the elevation of the existing sewer or existing appurtenance to be connected, differs from the plan elevation or results in a change in the proposed sewer slope, the Engineer shall be notified before starting construction of any portion of the proposed sewer, which will be affected by the variance in the existing elevations.

If it is determined that the proposed sewer will intersect an existing sewer or underground utility if constructed as shown on the plan, the Engineer shall be notified before starting construction of any portion of the proposed sewer, which would be affected by the interference with an existing facility.

Grades and elevations shown on the plans shall not be revised under any circumstances without first obtaining written approval from the Engineer. Invert elevations shall not deviate from plan elevations by more than 0.05'. Failing to meet the above requirements is cause for rejection of the affected section of sewer.

49. STRUCTURE ADJUSTMENT: The Contractor shall field verify the top of casting elevation of all manholes. If precast structures are utilized the top 6" minimum shall be field placed either with grade rings or brick and mortar to allow for field adjustment.

50. 51. CITY WATER: The Contractor must obtain from the City of Columbus, Division of Water a fire hydrant permit prior to connection of their water supply lines to any fire hydrant. The Contractor shall provide all the necessary gate valves, back flow preventers, and flow meter for each hydrant location. All equipment, fittings, and valves shall be in accordance with Division of Water Standards. The Contractor shall pay for water at the current City Rates. Use of water from fire hydrants and associated fees are outlined in the City of Grove City Rule and Regulation #93.3. A copy of this regulation is available from the Division of Water, Permit Office, 614-645-7695.

52. INTERRUPTION OF WATER SERVICE: The Contractor shall give written notice to all affected property owners at least 24 hours, but not more than 72 hours prior to any temporary interruption of water service. Interruption of water service shall be held to a minimum and shall be approved by the City.

53. 54. WATER MAIN MATERIALS: All waterline materials and installations shall be in accordance with the current rules and regulations of the City of Columbus, Division of Water.

55. EXISTING VALVES: All existing valves shall be operated by City of Columbus, Division of Water, personnel only, as stated in Chapter 1113 of the Columbus City Code.

56. TESTING PROCEDURE: All water mains shall be hydrostatically tested in accordance with section 801.12. Cost of this work is to be included in the unit price bid for the respective pipe under CMSC Item 801.

Each valve section of water main shall be tested independently of one another unless otherwise approved by the Engineer. Pressure test shall be conducted with all watch valves open and hydrant foot valves closed.

Any testing performed against existing valves shall be at the Contractor's risk and in strict compliance with the requirements of the Engineer. If satisfactory results cannot be obtained against an existing valve, the new line shall be disconnected from the existing valve, plugged and retested. Disconnection from the existing water main, and any repairs necessary because of damage caused to the existing lines, valves and service connections shall be at the Contractor's expense.

57. HAND SWABBING: The Contractor shall hand swab all pipes and fittings that are not thoroughly disinfected. The amount of chlorine to be used during hand swabbing operations will be determined by the City.

58. 59. 60.

61. FOR ALL VALVES: If the top of the operating nut is more than 36 inches below finished grade, an extension stem shall be furnished to bring the top of the operating nut to within 24 inches of finished grade elevation. Cost to be included under CMSC Item 802.

62. 63. EXISTING PLUGS, CAPS, ETC.: Plugs and caps removed from existing water lines shall be delivered to the Water Services Center, 4035 Broadway, Grove City, Ohio, unless otherwise directed by the Engineer. No additional payment will be made for this delivery.

64. 65. 66. 67.

SPECIAL NOTES

Site utility contractor shall call Jackson Twp. Fire Dept. for inspection of private fire water system.

Site utility contractor shall call 614-645-6674 for inspection of water service from watermain through meters.

No water service construction shall begin prior to permits being issued by the Columbus Division of Water.

All 3" thru 16" water service pipe shall be Ductile Iron from watermain through meter setting including meter bypass.

Meter Settings As Per Columbus Division of Water Standard Detail Drawing L-6317 A, B, C, D & E Dated 4/1/01 Meter Pits shall be elevated for positive drainage unless otherwise approved.

The City of Columbus "C.M.S.C." 2002 Edition shall govern all water line work up to and including the meter and meter settings.

Backflow Prevention Assembly Installation, where needed, as per Columbus Division of Water Standard Drawing L-9002 A and B dated 4/1/01

All private fire hydrants shall conform to City of Columbus "C.C.M.S." Item 809.02.11.

SEPARATION: The separation of water mains and storm and sanitary sewers shall be in accordance with Ten State Standards 8.6.2 and 8.6.3. The proposed water line shall be located a minimum distance of twenty (20) feet away from any structure, overhang, or footer.

MINIMUM DEPTH: Water lines shall be laid with a minimum of four feet (4) from finished grade (curb) to top of water line.

PRESSURE: The normal working pressure in the waterline shall not be less than 35 psi. Individual booster pumps shall not be allowed for any individual services.

FIRE HYDRANT PAINTING: Public fire hydrants shall have two coats of Sherwin Williams Industrial Enamel Alkyd Coating Yellow B54 Y 37 or equivalent prior to the Fire Department's acceptance of the fire hydrants. The Jackson Township Fire Department shall approve equivalent.

(A) Public hydrants shall be painted completely with the referenced paint. (B) Private fire hydrants shall be painted as a public hydrant except that the crown (top) and caps to the hydrant discharge shall be painted reflective enamel white. (C) Private hydrants installed on a commercial fire loop that are pressurized by means of a fire pump shall be painted bright red enamel. (D) Private fire hydrants on a commercial fire loop not pressurized by a fire pump must be painted bright red enamel with reflective white enamel crown (top) and reflective white enamel discharge caps.

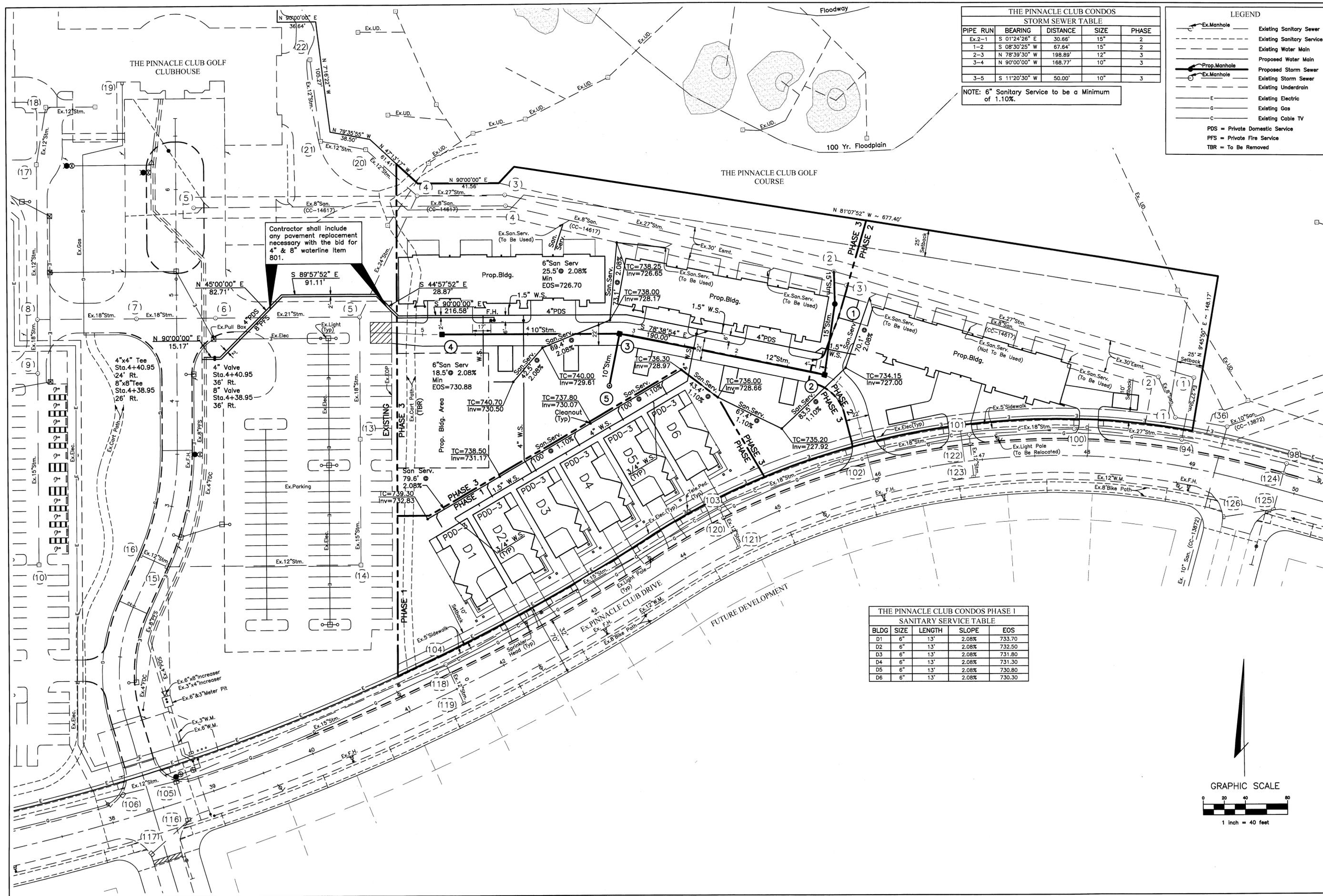
A Development Permit will be required before construction or development begins within any area of special flood hazard.

ESTIMATE OF QUANTITIES table with columns: TEM, PHASE 1, PHASE 2, PHASE 3, TOTAL, UNIT, DESCRIPTION. Lists quantities for STREET, SANITARY SEWER, PRIVATE WATER, and FIRE HYDRANT items.

Note: The contractor, in making his bid, should make his own determination of the earthwork quantities and discuss any differences with the engineer prior to bidding.

The quantities shown on this plan are the Engineers best determination of the work to be performed. The Contractor, in making his bid, should make his own determination of the quantities and discuss any differences with the Engineer prior to bidding.

Vertical sidebar containing project information: CITY OF GROVE CITY, OHIO DEVELOPMENT PLAN FOR THE PINNACLE CLUB CONDOS PHASE 1, 2 & 3 QUANTITIES & GENERAL NOTES. Includes Job No. 2012-01033, Date February, 2012, Sheet 2/7, and revision table.



THE PINNACLE CLUB CONDOS
STORM SEWER TABLE

PIPE RUN	BEARING	DISTANCE	SIZE	PHASE
Ex. 2-1	S 01°24'26" E	30.66'	15"	2
1-2	S 08°30'25" W	67.64'	15"	2
2-3	N 78°39'30" W	198.89'	12"	3
3-4	N 90°00'00" W	168.77'	10"	3
3-5	S 11°20'30" W	50.00'	10"	3

NOTE: 6" Sanitary Service to be a Minimum of 1.10%.

LEGEND

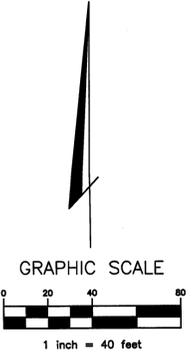
- Ex. Manhole
- Existing Sanitary Sewer
- Existing Sanitary Service
- Existing Water Main
- Proposed Water Main
- Proposed Storm Sewer
- Existing Storm Sewer
- Existing Underdrain
- Existing Electric
- Existing Gas
- Existing Cable TV

PDS = Private Domestic Service
PFS = Private Fire Service
TBR = To Be Removed

Contractor shall include any pavement replacement necessary with the bid for 4" & 8" waterline item 801.

THE PINNACLE CLUB CONDOS PHASE I
SANITARY SERVICE TABLE

BLDG	SIZE	LENGTH	SLOPE	EOS
D1	6"	13'	2.08%	733.70
D2	6"	13'	2.08%	732.50
D3	6"	13'	2.08%	731.80
D4	6"	13'	2.08%	731.30
D5	6"	13'	2.08%	730.80
D6	6"	13'	2.08%	730.30



Job No. 2012-0133
Date February, 2012
Scale 1" = 40'

CITY OF GROVE CITY, OHIO
DEVELOPMENT PLAN
FOR
**THE PINNACLE CLUB CONDOS
PHASE 1, 2 & 3**
UTILITY PLAN

PINNACLE CONDO, LLC
C/O PINNACLE DEVELOPMENT COMPANY
OF GROVE CITY

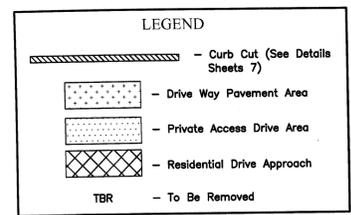
REVISIONS

MARK	DATE	DESCRIPTION

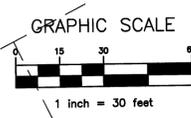
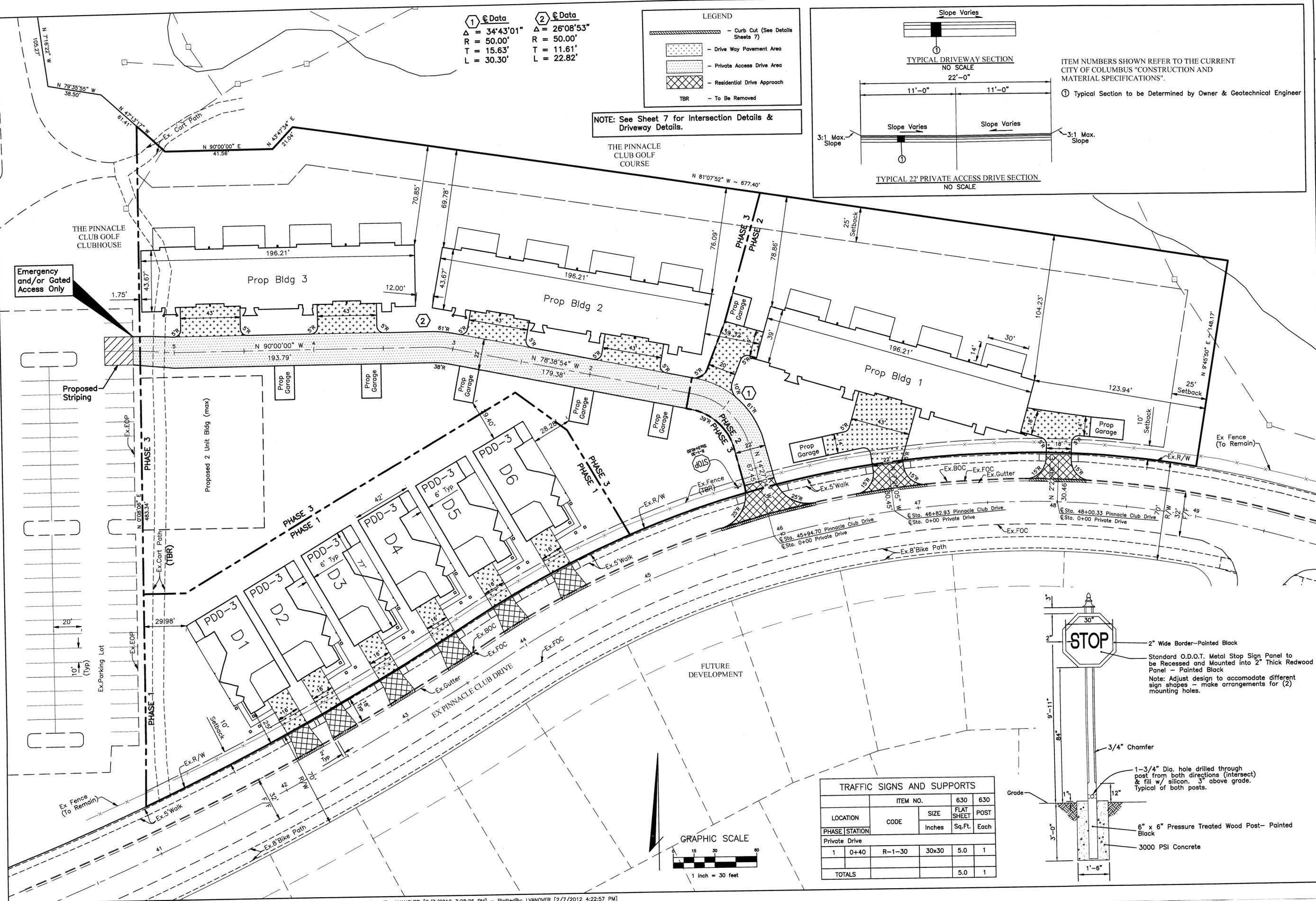
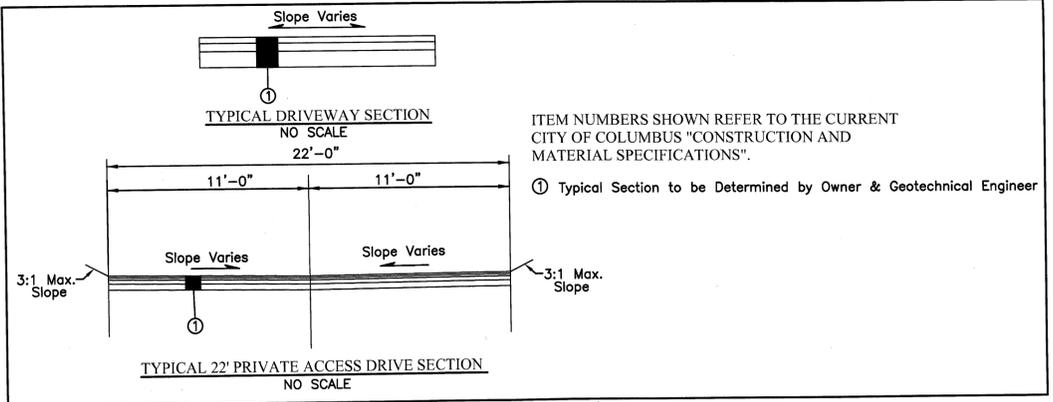
Sheet 3/7

① C Data
 $\Delta = 34'43.01"$
 $R = 50.00'$
 $T = 15.63'$
 $L = 30.30'$

② C Data
 $\Delta = 26'08.53"$
 $R = 50.00'$
 $T = 11.61'$
 $L = 22.82'$

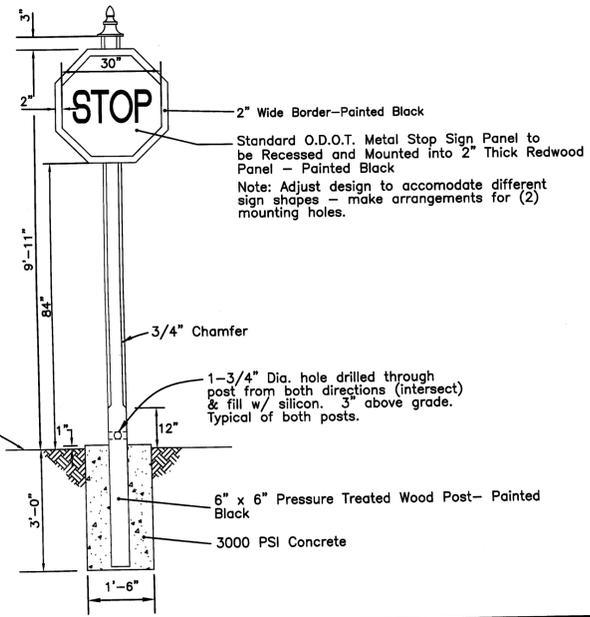


NOTE: See Sheet 7 for Intersection Details & Driveway Details.



TRAFFIC SIGNS AND SUPPORTS

LOCATION	ITEM NO.	630	
		SIZE	FLAT SHEET POST
PHASE STATION	CODE	Inches	Sq.Ft. Each
Private Drive			
1	0+40	R-1-30	30x30 5.0 1
TOTALS			5.0 1



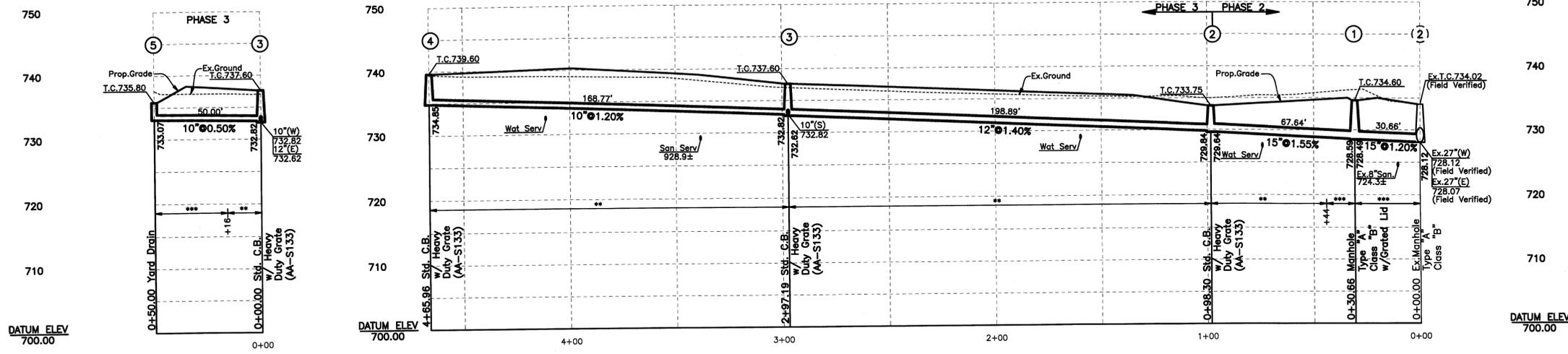
Job No. 2012-0133
 Date February, 2012
 Scale 1" = 30'

CITY OF GROVE CITY, OHIO
 DEVELOPMENT PLAN
 FOR
**THE PINNACLE CLUB CONDOS
 PHASE 1, 2 & 3**
 SITE, DIMENSIONAL & SIGNAGE PLAN

Sheet 4/7

REVISIONS

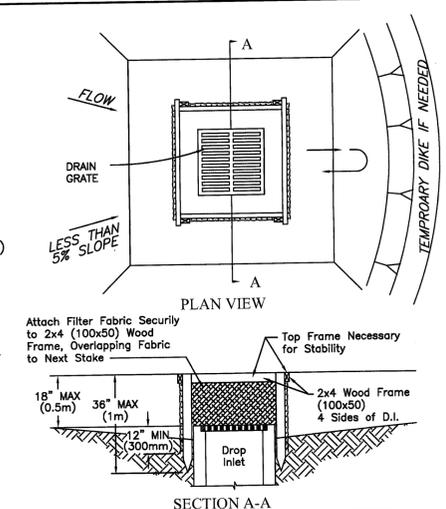
PINNACLE CONDO, LLC
 C/O PINNACLE DEVELOPMENT COMPANY
 OF GROVE CITY



NOTE: ALL ELEVATIONS ON THIS PLAN ARE BASED ON NAVD 1988 DATUM, UNLESS OTHERWISE NOTED.

* Compacted Backfill, Item 911.
 ** Compacted Granular, Item 912.
 *** Completed Backfill to the Density of Adjacent Suitable Soil and/or to a minimum 95% Maximum Dry Density Soil.

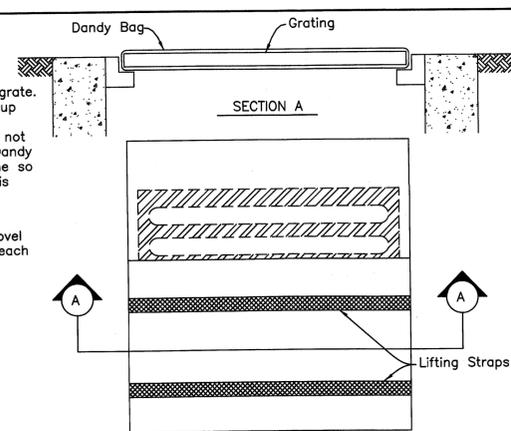
- NOTES:**
- Drop Inlet Sediment Barriers are to be used for Small, Nearly Level Drainage Areas. (Less Than 5%)
 - Use 2"x4" (100x50mm) Wood or Equivalent Metal Stakes, 3' (1m) Minimum Length.
 - Install 2"x4" (100x50mm) Wood Top Frame to Insure Stability.
 - The Top of the Frame (Ponding Height) must be well Below the Ground Elevation Downslope to Prevent Runoff from by-passing the Inlet. A Temporary Dike may be Necessary on the Downslope Side of the Structure.



SILT FENCE DROP INLET PROTECTION
 SCALE: NONE

Installation:
 Stand grate on end. Place Dandy Bag over grate. Roll grate over so that open end is up. Pull up slack. Tuck flap in. Be sure end of grate is completely covered by flap or Dandy Bag will not fit properly. Holding handles, carefully place Dandy Bag with grate inserted into catch basin frame so that red dot on the top of the Dandy Bag is visible.

Maintenance:
 With a stiff bristle broom or square point shovel remove silt & other debris off surface after each event.



DANDY BAG SEDIMENT FILTER DETAIL
 SCALE: NONE
 For Structures - 1, 2, 3, 4

CONTRACTOR RESPONSIBILITY: Details have been provided on the plans in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternate details may be found in O.D.N.R. Manual "Rainwater and Land Development". The Contractor shall be responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPDES General Permit for Stormwater Discharges Associated with Construction Activity.

Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer.

The Contractor shall place inlet protection for the Sediment control immediately after construction of the catch basins or inlets which are not tributary to a sediment basin or dam.

It may become necessary to remove portions of the barrier during construction to facilitate the grading operations in certain areas. However, the barrier shall be in place in the evening or during any inclement weather.

The limits of seeding and mulching have been established as 5'-0" outside the grading limits or 20'-0" beyond the right-of-way, whichever is greater. All areas not designated to be seeded shall remain under natural ground cover. Those areas disturbed outside the seeding limits shall be seeded and mulched at the Contractor's expense.

"Temporary seeding" No area for which grading has been completed shall be left unseeded or unmulched for longer than 21 days. If permanent seed is not applied at this time, temporary seeding shall be done at the following rates:

Seeds:	March 1 to August 15	August 15 to November 1	
Seed: Oats	2 lbs./1,000 Sq.Ft.	Seed: Annual Rye	2 lbs./1,000 Sq.Ft.
Fertilizer: (12:12:12)	12 1/2 lbs./1,000 Sq.Ft.	Fertilizer: (12:12:12)	12 1/2 lbs./1,000 Sq.Ft.
Mulch:(Straw or Hay)	2 tons/acre	Mulch:(Straw or Hay)	2 tons/acre

"Permanent seeding" shall be done between March 15 and September 15. If seeding is done between September 15 and March 15, it shall be classified as "Temporary Seeding". Permanent seed shall consist of 40% Kentucky Bluegrass, 40% Creeping Red Fescue, 20% Annual Ryegrass. Permanent seeding shall consist of fertilizing, watering and seeding rates indicated under Item 659. Seeding shall be applied within two (2) days after final grading or following seed bed preparation.

Rates of application of Item 659:

Seeds:	2 lbs./1,000 Sq.Ft.
Fertilizer: (12:12:12)	25 lbs./1,000 Sq.Ft.
Mulch:(Straw or Hay)	2 tons/acre

The cost for temporary channels, sediment dams, sediment basins, and other appurtenant earth moving operations shall be included in the price bid for erosion and sedimentation control quantities.

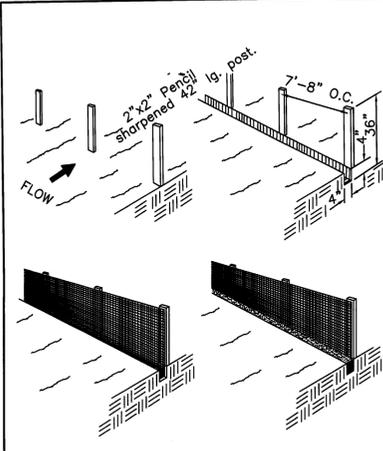
MAINTENANCE: It is the Contractor's responsibility to maintain the sediment control features used on this project. The site shall be inspected at a minimum once every 7 days and within 24 hours of a 0.5" rainfall event or greater within a 24-hour period. Records of these inspections shall be kept and made available to jurisdictional agencies if requested. Any sediment or debris which has reduced the efficiency of a structure shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace at no additional cost to the Owner.

SCHEDULE: The Contractor shall provide a schedule of operations to the Owner. Sedimentation and erosion control features shall be placed in accordance with this schedule.

ESTIMATE OF QUANTITIES					
ITEM	PHASE 1	PHASE 2	PHASE 3	TOTAL	DESCRIPTION
207	1	-	-	1	Each Stabilized Construction Entrance
207	395	580	560	1,535	L.F. Orange Sediment Fence
207	-	2	2	4	Each Dandy Bag Sediment Filter
207	-	-	1	1	Each Silt Fence Drop Inlet Protection
207	1	1	1	1	Each Concrete Washout Area

All Erosion & Sediment Control practices are subject to Field Modification at the direction of the City Of Columbus and/or Ohio EPA.

Contact:
 Ciminello Landscaping
 Attn: Joseph Ciminello
 567 Lazelle Road
 Westerville, Ohio 43081
 Phone # 614-885-3779
 Fax # 614-885-5337



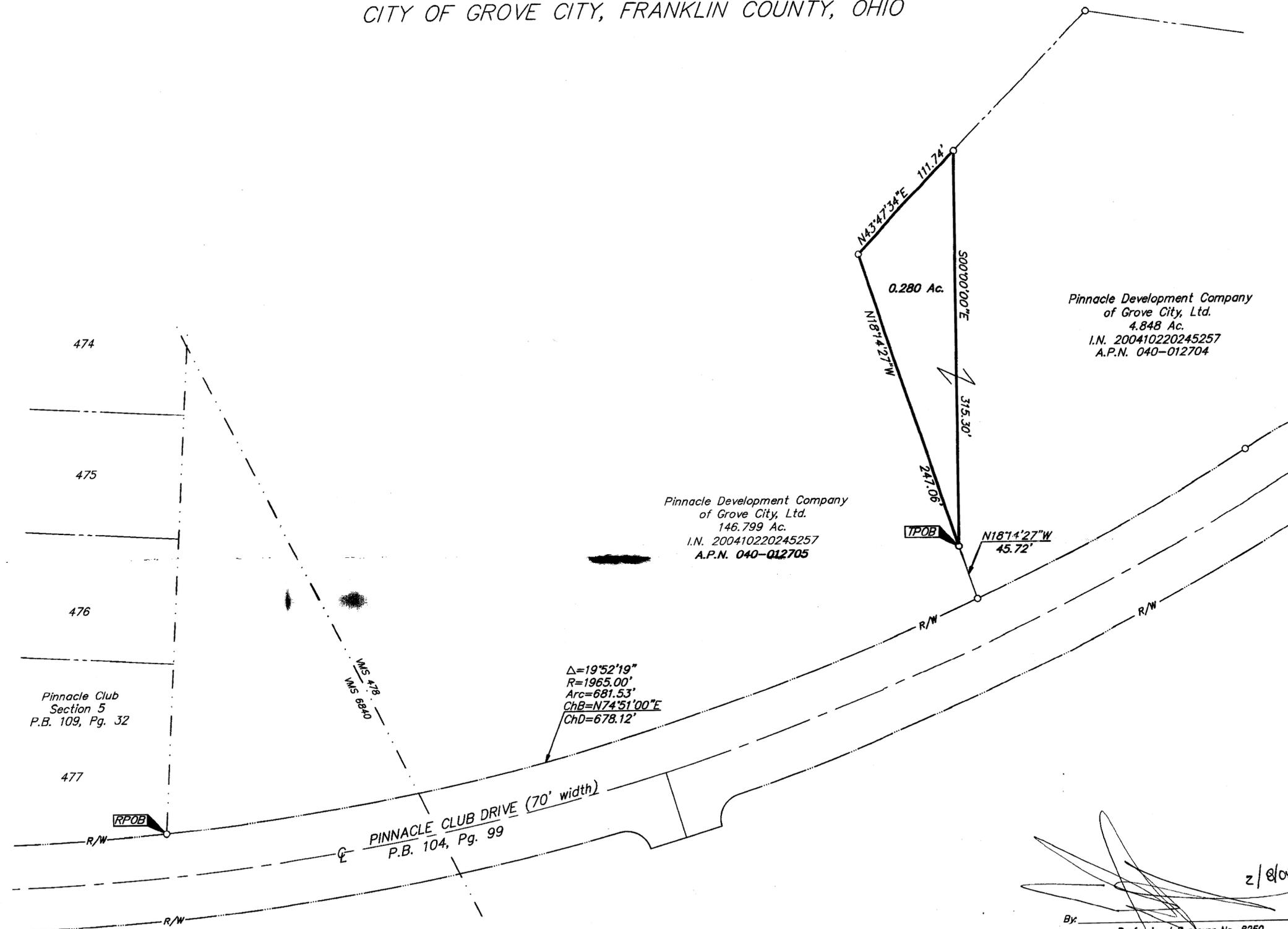
ORANGE SEDIMENT FENCE DETAIL
 SCALE: NONE

- Silt Fence:** This sediment barrier utilizes standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected.
- The height of a silt fence shall not exceed 36-inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
 - The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum of a 6 inch overlap, and securely sealed.
 - Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12-inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.
 - A trench shall be excavated approximately 4-inches wide and 4 inches deep along the line of posts and upslope from the barrier.
 - When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1-inch long, tie wires or hog rings. The wire shall extend into the trench a minimum of 2-inches and shall not extend more than 36-inches above the original ground surface.
 - The standard strength filter fabric shall be stapled or wired to the fence, and 8-inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36-inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
 - When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of Item No. 6 applying.
 - The trench shall be backfilled and soil compacted over the filter fabric.
 - Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.
- Maintenance:**
 Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required.
 - Thickness - Not less than six (6) inches.
 - Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-ways. When washing is required, it shall be done required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device. 8. Periodic inspection and needed maintenance shall be provided after each rain.

SURVEY OF ACREAGE PARCEL
VIRGINIA MILITARY SURVEY NO. 478
CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO

RECEIVED
 FEB 9 2008
 GC PLANNING COMMISSION



Pinnacle Development Company
 of Grove City, Ltd.
 4.848 Ac.
 I.N. 200410220245257
 A.P.N. 040-012704

Pinnacle Development Company
 of Grove City, Ltd.
 146.799 Ac.
 I.N. 200410220245257
 A.P.N. 040-012705

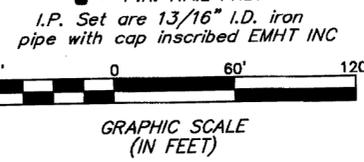
Δ=19°52'19\"/>

Pinnacle Club
 Section 5
 P.B. 109, Pg. 32

Pinnacle Club Drive (70' width)
 P.B. 104, Pg. 99

[Signature]
 z/8/08
 By: _____
 Professional Surveyor No. 8250

- = STONE FND.
- = MON. FND.
- = I.P. FND.
- = I.P. SET
- = MAG. NAIL FND.
- = MAG. NAIL SET
- ▲ = R.R. SPK. FND.
- △ = R.R. SPK. SET
- = P.K. NAIL FND.



BASIS OF BEARINGS: Bearings are based on the same meridian as the bearings shown on the subdivision plat entitled "Buckeye Parkway, Jackson Pike and Pinnacle Club Drive Dedication and Easements", of record in Plat Book 104, Page 99, Recorder's Office, Franklin County, Ohio. On said plat of record a portion of the centerline of Pinnacle Club Drive has a bearing of North 75°04'41" West.

RECEIVED
 FEB 11 2008
 Franklin County Engineer
 Dean C. Ringle, P.E., P.S.

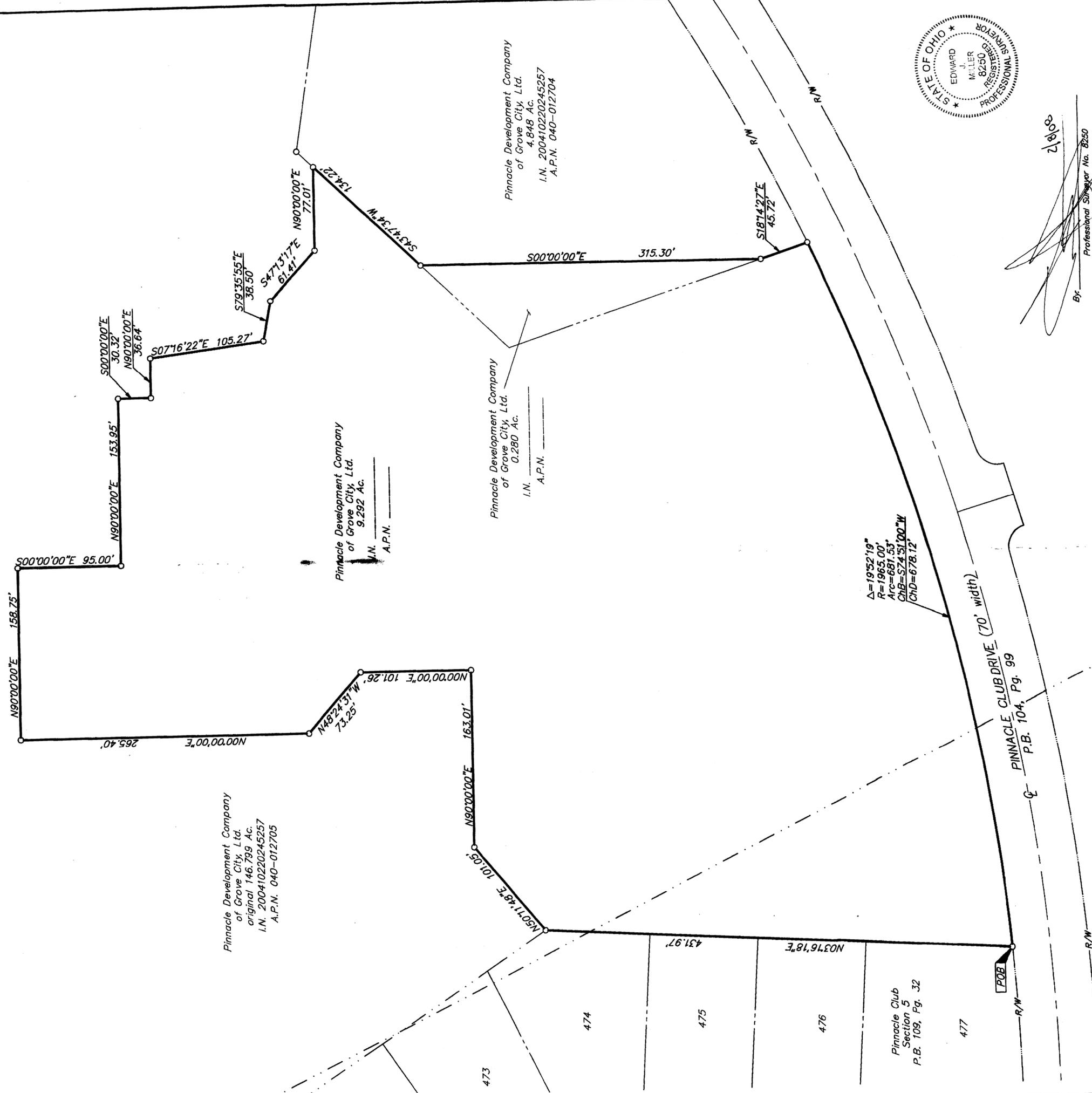
EMHT		Date: February 8, 2008
Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43054 Phone: 614.775.4800 Fax: 614.775.4800		Scale: 1" = 60'
M C M X X V I		Job No: 2008-0183
		Sheet: 1 of 1
REVISIONS		
MARK	DATE	DESCRIPTION

I:\CADD\DATA\1\SURVEY\PROJECT\20080183\DWG\80183bv1.DWG<18X24 LANDSCAPE> -- NO XREFS -- LAST SAVED BY JMASTON [2/8/2008 3:24:23 PM] -- PLOTTED BY JMASTON [2/8/2008 3:24:23 PM] --

SURVEY OF ACREAGE PARCEL

VIRGINIA MILITARY SURVEY NOS. 478 & 6840

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO



Pinnacle Development Company
of Grove City, Ltd.
original 146.799 Ac.
I.N. 200410220245257
A.P.N. 040-012705

Pinnacle Development Company
of Grove City, Ltd.
9.292 Ac.
I.N. _____
A.P.N. _____

Pinnacle Development Company
of Grove City, Ltd.
0.280 Ac.
I.N. _____
A.P.N. _____

Pinnacle Development Company
of Grove City, Ltd.
4.848 Ac.
I.N. 200410220245257
A.P.N. 040-012704



By: *[Signature]*
Professional Surveyor No. 8250

EMHT	
Date: February 8, 2008	Scale: 1" = 60'
Job No: 2008-0183	Sheet: 1 of 1
Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43260 Phone: 614/775-6600 Fax: 614/775-6600	

RECEIVED
FEB 11 2008
Franklin County Engineer
Dean C. Ringle, P.E., P.S.

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- = STONE FND.
- = MON. FND.
- = I.P. FND.
- = I.P. SET
- = MAG. NAIL FND.
- = MAG. NAIL SET
- ▲ = R.R. SPK. FND.
- △ = R.R. SPK. SET
- = P.K. NAIL FND.

I.P. Set are 1 3/16" I.D. iron pipe with cap inscribed EMHT INC

GRAPHIC SCALE
(IN FEET)

BOUNDARY DESCRIPTION
0.280 ACRE
East of Buckeye Parkway
North of Pinnacle Club Drive

Situated in the State of Ohio, County of Franklin, City of Grove City, located in Virginia Military Survey Number 478, being out of that 4.848 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd. by deed of record in Instrument Number 200410220245257 (all references refer to the records of the Recorder's Office, Franklin County, Ohio), and being more particularly bounded and described as follows:

BEGINNING at an iron pin set at a southwesterly corner of that 146.799 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd. by deed of record in Instrument Number 200410220245257, at a southeasterly corner of Lot 477 of that subdivision entitled "Pinnacle Club Section 5" of record in Plat Book 109, Page 32, being in the northerly right-of-way line of Pinnacle Club Drive (70' width) of record in Plat Book 104, Page 99;

thence with said northerly right-of-way line, with the arc of a curve to the right, having a central angle of 19° 52' 19", a radius of 1965.00 feet, an arc length of 681.53 feet, a chord bearing and distance of North 74° 51' 00" East, 678.12 feet to an iron pin set at a southeasterly corner of said 146.799 acre tract and the southwesterly corner of said 4.848 acre tract;

thence North 18° 14' 27" West, with a common line of said 146.799 and 4.848 acre tracts, a distance of 45.72 feet to an iron pin set at the TRUE POINT OF BEGINNING;

thence North 18° 14' 27" West, continuing with said common line, a distance of 247.06 feet to an iron pin set at a corner thereof;

thence North 43° 47' 34" East, with said common line, a distance of 111.74 feet to an iron pin set;

thence South 00° 00' 00" East, across said 4.848 acre tract, a distance of 315.30 feet to an iron pin set at the TRUE POINT OF BEGINNING, and containing 0.280 acres of land, more or less and being out of Auditors Parcel Number 040-012704.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

This survey is based on an actual field survey performed by EMHT INC., in October of 2004.

Bearings are based on the same meridian as the bearings shown on the subdivision plat entitled "Buckeye Parkway, Jackson Pike and Pinnacle Club Drive Dedication and Easements", of record in Plat Book 104, Page 99, Recorder's Office, Franklin County, Ohio. On said plat of record a portion of the centerline of Pinnacle Club Drive has a bearing of North 75° 04' 41" West.

EVANS, MECHWART, HAMBLETON AND TILTON, INC.

Edward J. Miller
Registered Surveyor No. 8250

BOUNDARY DESCRIPTION
9.292 ACRES
East of Buckeye Parkway
North of Pinnacle Club Drive

Situated in the State of Ohio, County of Franklin, City of Grove City, located in Virginia Military Survey Numbers 478 and 6840, being all of that 9.012 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd. By deed of record in Instrument Number _____ and that 0.280 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd. By deed of record in Instrument Number _____ (all references refer to the records of the Recorder's Office, Franklin County, Ohio), and being more particularly bounded and described as follows:

BEGINNING at an iron pin set at a southwesterly corner of said 9.012 acre tract, at a southeasterly corner of Lot 477 of that subdivision entitled "Pinnacle Club Section 5" of record in Plat Book 109, Page 32, being in the northerly right-of-way line of Pinnacle Club Drive (70' width) of record in Plat Book 104, Page 99;

thence North 03° 16' 18" East, with an easterly line of said Lot 477 and Lots 476, 475, 474 of said "Pinnacle Club Section 5", a distance of 431.97 feet to an iron pin set at an easterly corner of said Lot 474 and a southerly corner of the remainder of that 146.799 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd. By deed of record in Instrument Number 200410220245257;

thence with the common perimeter of said 146.799 and 9.012 acre tracts, the following courses and distances:

North 50° 11' 48" East, a distance of 101.05 feet to an iron pin set;

North 90° 00' 00" East, a distance of 163.01 feet to an iron pin set;

North 00° 00' 00" East, a distance of 101.26 feet to an iron pin set;

North 48° 24' 31" West, a distance of 73.25 feet to an iron pin set;

North 00° 00' 00" East, a distance of 265.40 feet to an iron pin set;

North 90° 00' 00" East, a distance of 158.75 feet to an iron pin set;

South 00° 00' 00" East, a distance of 95.00 feet to an iron pin set;

North 90° 00' 00" East, a distance of 153.95 feet to an iron pin set;

South 00° 00' 00" East, a distance of 30.32 feet to an iron pin set;

North 90° 00' 00" East, a distance of 36.64 feet to an iron pin set;

South 07° 16' 22" East, a distance of 105.27 feet to an iron pin set;

South 79° 35' 55" East, a distance of 38.50 feet to an iron pin set;

South 47° 13' 17" East, a distance of 61.41 feet to an iron pin set; and

North 90° 00' 00" East, a distance of 77.01 feet to an iron pin set in a northwesterly line of the remainder of that 4.848 acre tract as conveyed to Pinnacle Development Company of Grove City, Ltd., by deed of record in Instrument Number 200410220245257;

thence South 43° 47' 34" West, with said northwesterly line and a westerly line of said 9.012 acre tract, a distance of 134.22 feet to an iron pin set at a corner thereof and a northerly corner of said 0.280 acre tract;

thence South 00° 00' 00" East, with a westerly line of said 4.848 acre tract and an easterly line of said 0.280 acre tract, a distance of 315.30 feet to an iron pin set at a corner thereof, in a westerly line of said 9.012 acre tract;

thence South 18° 14' 27" East, with a southwesterly line of said 4.848 acre tract and said westerly line, a distance of 45.72 feet to an iron pin set on the arc of a curve to the right, being in the northerly right-of-way line of said Pinnacle Club Drive;

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BOUNDARY DESCRIPTION
9.292 ACRES
East of Buckeye Parkway
North of Pinnacle Club Drive

-2-

thence with said northerly right-of-way line, with the arc of said curve, having a central angle of 19° 52' 19", a radius of 1965.00 feet, an arc length of 681.53 feet, a chord bearing and distance of South 74° 51' 00" West, 678.12 feet to the POINT OF BEGINNING and containing 9.292 acres of land, more or less.

Subject, however, to all legal rights-of-way and/or easements, if any, of previous record.

Iron pins set, where indicated, are iron pipes, thirteen sixteenths (13/16) inch inside diameter, thirty (30) inches long with a plastic plug placed in the top bearing the initials EMHT INC.

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EVANS, MECHWART, HAMBLETON AND TILTON, INC.

Edward J. Miller
Registered Surveyor No. 8250

EJM: tb/January 29, 2008
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PLANNING COMMISSION