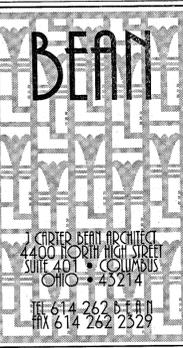


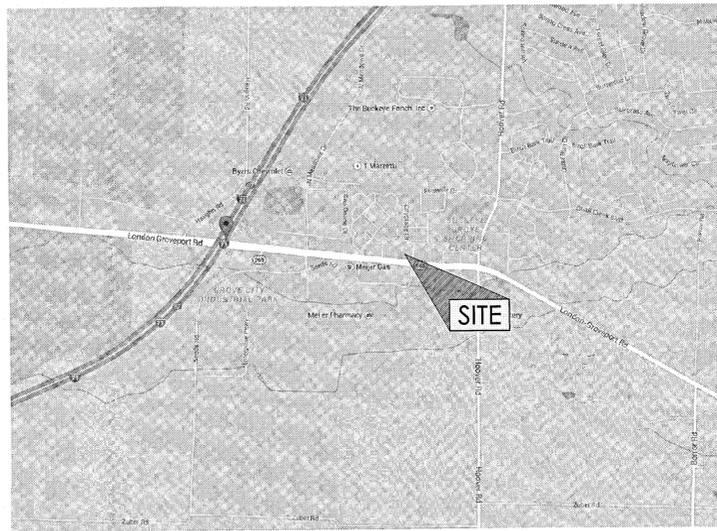
SHELL BUILDING CONSTRUCTION FOR  
**LONDON PLACE**  
 LONDON-GROVEPORT ROAD & SUMMIT WAY  
 GROVE CITY, OHIO

INTEGRA REALTY SERVICES, LLC  
 C/O CBRE  
 280 N. HIGH STREET  
 SEVENTEENTH FLOOR  
 COLUMBUS, OHIO 43215  
 TEL: 614.224.5039

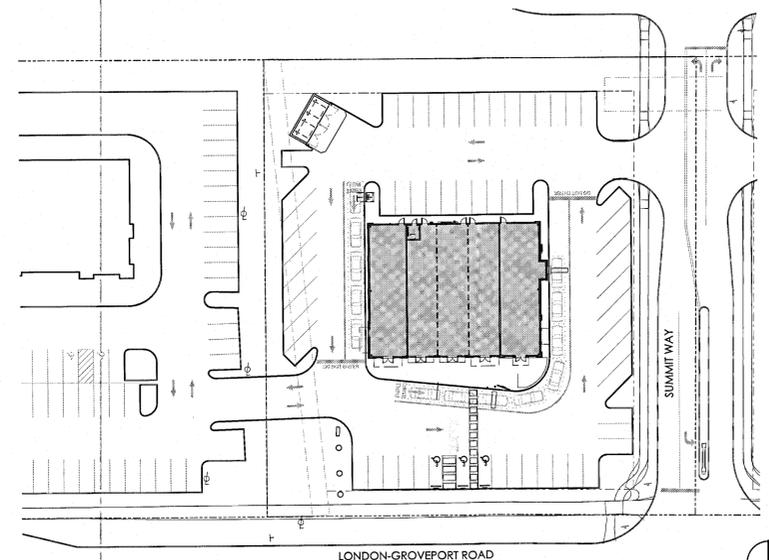


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 ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF  
 J. CARTER BEAN ARCHITECT  
 AND MAY NOT BE LOANED, REPRODUCED OR ALTERED  
 WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

SITE MAP



KEY PLAN



INDEX OF DRAWINGS

| PROJECT INFORMATION           |   | ISSUE DATE |
|-------------------------------|---|------------|
| A-0.1                         | PROJECT INFORMATION & INDEX OF DRAWINGS | 05/27/2015 |
| <b>CIVIL DRAWINGS</b>         |   |            |
| 1/5                           | TITLE SHEET                             | 05/27/2015 |
| 2/5                           | SITE DIMENSION PLAN                     | 05/27/2015 |
| 3/5                           | UTILITY PLAN                            | 05/27/2015 |
| 4/5                           | SITE GRADING PLAN                       | 05/27/2015 |
| 5/5                           | SITE DETAILS                            | 05/27/2015 |
| <b>LANDSCAPE DRAWINGS</b>     |   |            |
| L-1                           | OVERALL LANDSCAPE PLAN                  | 05/27/2015 |
| D-1                           | LANDSCAPE DETAILS                       | 05/27/2015 |
| <b>ARCHITECTURAL DRAWINGS</b> |   |            |
| SD-1.1                        | PROPOSED SITE PLAN                      | 05/27/2015 |
| SD-1.2                        | DUMPSTER ENCLOSURE                      | 05/27/2015 |
| A-1.1                         | FLOOR PLAN                              | 05/27/2015 |
| A-2.1                         | EXTERIOR ELEVATIONS                     | 05/27/2015 |
| <b>ELECTRICAL DRAWINGS</b>    |   |            |
| SL-1.0                        | SITE PHOTOMETRIC LIGHTING PLAN          | 05/27/2015 |
| SL-1.1                        | SITE LIGHTING CUT SHEETS                | 05/27/2015 |

LANDSCAPE ARCHITECT  
**FARIS PLANNING & DESIGN**  
 243 N. 5TH STREET, SUITE 401  
 COLUMBUS, OHIO 43215  
 TEL 614-487-1964

CIVIL ENGINEER  
**ADVANCED CIVIL DESIGN**  
 422 BEECHER ROAD  
 GAITHERSBURG, OHIO 43230  
 TEL 614-428-7743  
 FAX 614-428-7755

ARCHITECT  
**J. CARTER BEAN ARCHITECT**  
 4400 NORTH HIGH STREET, SUITE 401  
 COLUMBUS, OHIO 43214  
 TEL 614-262-2326  
 FAX 614-262-2329

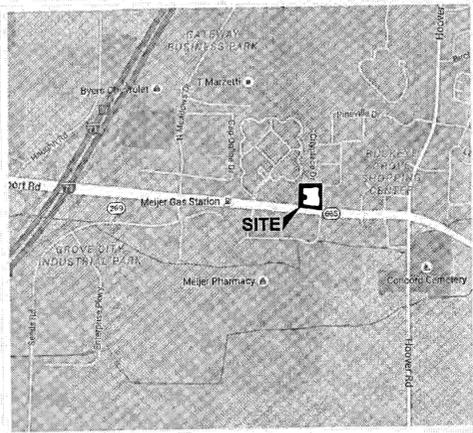
MECHANICAL & ELECTRICAL ENGINEER  
**EM ENGINEERING GROUP**  
 143 EAST MAIN STREET, SUITE 201  
 COLUMBUS, OHIO 43215  
 TEL 614-225-1580  
 FAX 614-461-1305

**LONDON PLACE**  
 LONDON-GROVEPORT ROAD & SUMMIT WAY  
 GROVE CITY, OHIO  
 FOR  
 INTEGRA REALTY SERVICES, LLC

| DRAWING STATUS   |            |
|------------------|------------|
| STATUS           | DATE       |
| DEVELOPMENT PLAN | 05/27/2015 |
|                  |            |
|                  |            |
|                  |            |

DRAWING TITLE  
**PROJECT INFORMATION AND INDEX OF DRAWINGS**

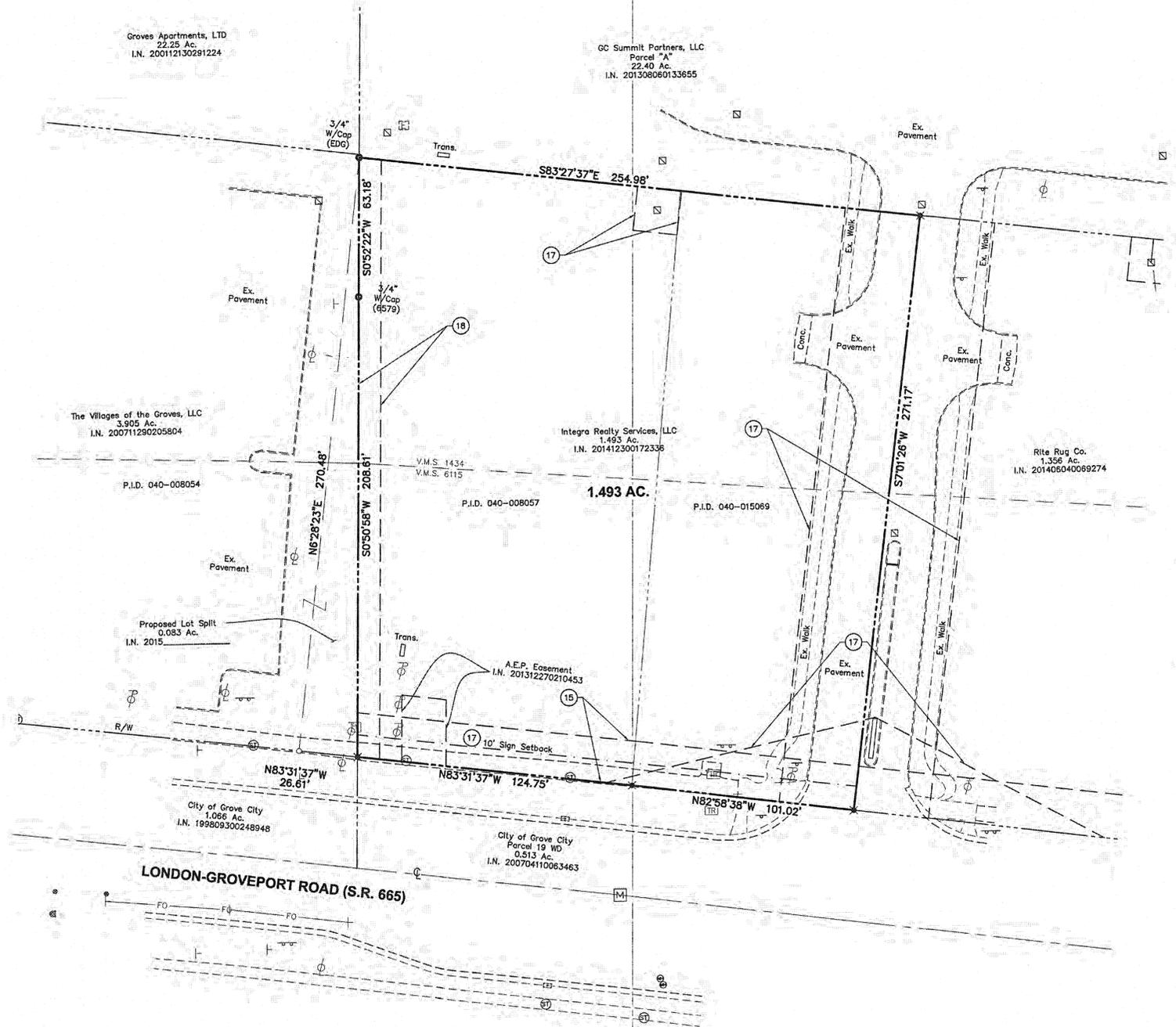
DRAWING NUMBER  
**A-0.1**



VICINITY MAP  
SCALE: NTS

# ALTA / ACSM LAND TITLE SURVEY London-Groveport Road (State Route 665) 1.493 AC.

Jackson Township, Franklin County, Ohio  
Virginia Military Surveys 1434 and 6115



### LEGAL DESCRIPTIONS

Situated in the State of Ohio, County of Franklin, City of Grove City, in Virginia Military Surveys No. 1434 and 6115, being part of Parcels II and III conveyed to The Budek Ranch Foundation, Inc. of record in instrument Number 200611290238122, Recorder's Office, Franklin County, Ohio (all deed references being to said office unless otherwise noted) and being more particularly described as follows:

Commencing at a found 1" solid iron pin in the centerline of London-Groveport Road, (State Route #665) said monument shown as P.I. Station 134+78.64 on right of way plans "London-Groveport Road (S.R. 665)" dated October, 2006, sheet 2 of 2;

Thence, along the centerline of said London-Groveport Road, North 83° 31' 37" West, 119.51 feet to a point at the southwest corner of the 0.513 acre tract conveyed to the City of Grove City (Instrument Number 200704110063463; Parcel 19WD) and southeast corner of the 1.066 acre tract conveyed to the City of Grove City (Instrument Number 199809300248948);

Thence, North 00° 45' 45" East, 50.25 feet to a set MAG nail at the northeast corner of said 1.066 acre tract, northwest corner of said 0.513 acre tract, southeast corner of the 3.905 acre tract conveyed to The Villages of the Groves, LLC (Instrument Number 200711290205804) and the TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

Thence, continuing along the west line of said Parcel III and east line of said 3.905 acre tract, North 00° 50' 58" East, 208.61 feet to a set iron pipe; Thence, continuing along said line North 00° 52' 22" East, 63.16 feet to a found 1" iron pipe at the northeast corner of said 3.905 acre tract, and the southeast corner of the 22.50 acre tract conveyed to The Groves Apartments (Instrument Number 200112130291224);

Thence, across said Parcels III and II, South 83° 27' 37" East, 254.98 feet to a set iron pipe;

Thence, continuing across said Parcel II, South 07° 01' 22" West, 271.17 feet to a set MAG nail in the northerly right-of-way of said London-Groveport Road (north line of said 0.513 acre tract);

Thence, along said right-of-way, North 82° 58' 38" West, 101.02 feet to a set MAG nail;

Thence, continuing along said line, North 83° 31' 37" West, 124.75 feet to the place of beginning CONTAINING 1.493 ACRES (65,034 square feet), subject however, to all legal highways, easements, leases and restrictions of record. Of the above described 1.493 acre tract, 0.905 acres is part of parcel 040-008057 and 0.588 acres is part of parcel 040-008049.

The foregoing description is based on a field survey made by Myers Surveying Company, Inc. in December 2012. Iron pipes set are 30" x 1" (O.D.) with an orange plastic cap inscribed "MYERS P.S. 6579". Bearings are based on the centerline of London-Groveport Road held as South 83° 31' 37" East, between centerline monuments at Station 116+24.49 and P.I. Station 134+78.64, as shown of sheet 2 of 20, right-of-way plans "London-Groveport Road (S.R. 665)", dated October 2006, prepared by Evans, Mechwart, Hambleton & Tilton, Inc., on file in the City of Grove City Engineer's Office.

### MISCELLANEOUS NOTES

Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.

There is no observable evidence of this site being used as a solid waste dump, pump or any kind of sanitary land fill.

Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

The land described hereon is all of the land as described in Schedule A of the title commitment as issued by Hummel Title Agency, Inc., Commitment No. HTA-9557, Effective date December 1, 2014 at 7:00 A.M.

### STATEMENT OF ENCROACHMENTS

None Visible

### FLOOD NOTE

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 38049C0404K, with an effective date of June 17, 2009, in Franklin County, Ohio. No field surveying was performed to determine this zone.

### NOTES CORRESPONDING TO SCHEDULE B - SECTION II OF COMMITMENT No. HTA-9557

- 10 Easement to Columbus Railway Power and Light Company of record in Deed Volume 1051, page 461 is for a pole line running along the north side of London-Groveport Road and south side of site, with not given.
- 15 General Easement Deed to the City of Grove City of record in Instrument No. 200704110063464, does apply to subject site as shown hereon.
- 17 Access Easement and Maintenance Agreement of record in Instrument No. 201308060133663 does apply to subject site, easement shown hereon.
- 18 Utility Easement of record in Instrument No. 201309250163488 does apply to subject site as shown hereon.

### LEGEND

- |                                |                        |
|--------------------------------|------------------------|
| ● Iron Pin Found               | ○ Iron Pin Set         |
| ● Iron Pipe Found              | ○ Iron Pipe Set        |
| ✕ PK/Mag Nail Found            | ✕ PK/Mag Nail Set      |
| ▲ RR Spike Found               | ▲ RR Spike Set         |
| Ⓜ Monument Box                 | Ⓜ Benchmark            |
| ○ Strm/San Manhole (see label) | Ⓜ Electric Transformer |
| ○ Sanitary Cleanout            | Ⓜ Electric Manhole     |
| Ⓜ Square Catch Basin           | Ⓜ Comm Manhole         |
| Ⓜ Round Catch Basin            | Ⓜ Tel Pedestal         |
| Ⓜ Curb Inlet                   | Ⓜ Pole Elec            |
| Ⓜ Curb Manhole Inlet           | Ⓜ Pole Elec Tel        |
| Ⓜ Fire Hydrant                 | Ⓜ Pole Elec Tel Light  |
| Ⓜ Water Valve                  | Ⓜ Pole Tel             |
| Ⓜ Water Manhole                | Ⓜ Pole Tel Light       |
| Ⓜ Sprinkler Box                | Ⓜ Pole Light           |
| Ⓜ Sprinkler Head               | Ⓜ Pole Signal          |
| Ⓜ Underground Line Marker      | Ⓜ Traffic Box          |
| Ⓜ Gas Valve                    | Ⓜ Guy Pole             |
| Ⓜ Gas Meter                    | Ⓜ Guy Wire             |
| Ⓜ Bollard                      | Ⓜ Ground Light         |
| Ⓜ Soil Boring                  | Ⓜ Air Conditioner      |
| Ⓜ Deciduous Tree               | Ⓜ Cable Pedestal       |
| Ⓜ Pine Tree                    | Ⓜ Unknown Manhole      |
| Ⓜ Shrub                        | Ⓜ Access Lid           |

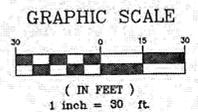
### ALTA / ACSM CERTIFICATION

To: Integra Realty Services, LLC, an Ohio limited liability company, Heartland Bank, its successors and/or assigns as their interests may appear, First American Title Insurance Company and Hummel Title Agency, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 11a and 15 of Table A thereof. The field work was completed on January 28, 2015.

ADVANCED CIVIL DESIGN, INC.

*Douglas R. Hock* 5/26/15  
Registered Surveyor Date:



Jackson Township, Franklin County, Ohio  
Virginia Military Surveys 1434 and 6115

### ALTA/ACSM Land Title Survey

PLAN PREPARED BY: BCK  
CHECKED BY:

422 Beecher Road  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

SCALE: 1" = 30'  
DATE: May 26, 2015

SHEET 1 / 1  
JOB NO.: 15-0001-686

# CITY OF GROVE CITY, OHIO

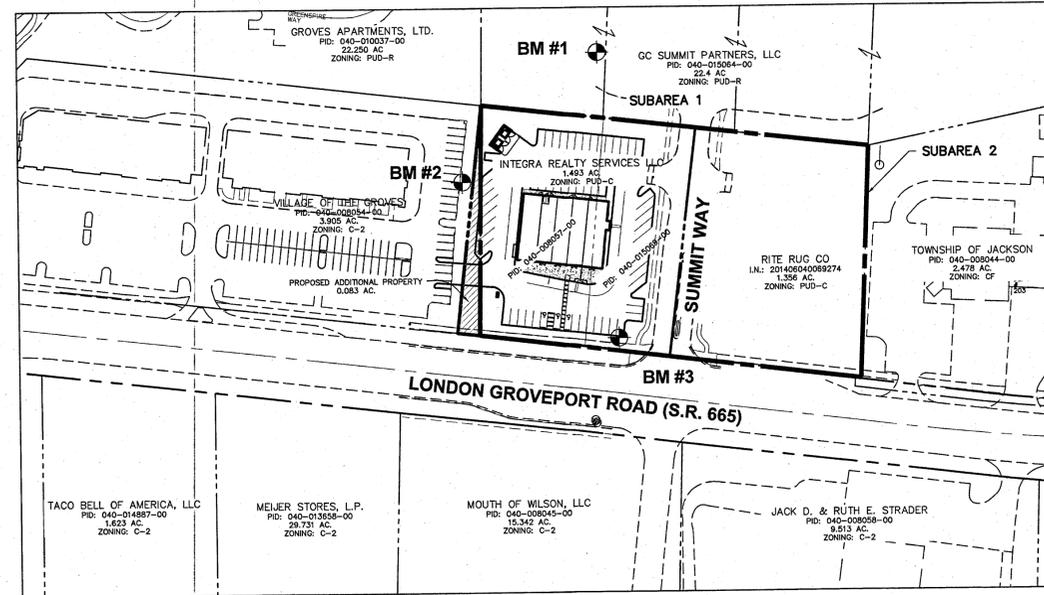
## LONDON PLACE

### 2780 LONDON GROVEPORT ROAD & SUMMIT WAY

#### SITE DEVELOPMENT PLAN

#### GENERAL DEVELOPMENT STANDARDS

|                         |   |
|-------------------------|---|
| PROPOSED SUB AREA       | SUB-AREA 2 PUD-C OUTPARCELS   |
| AREA                    | 2.85± AC. TOTAL<br>1.576 AC. FOR THIS APPLICATION   |
| PERMITTED USES          | USES PERMITTED C-1 AND C-2 AND UNDER (PSO) PROFESSIONAL SERVICES, (OLR) OFFICE LAB RESEARCH IN CHAPTER 1135.09  |
| DENSITY                 | 8,000 S.F./ACRE (MAX) (12,806 S.F. ALLOWED)<br>8,150 PROPOSED   |
| MAXIMUM BUILDING HEIGHT | 35' HEIGHT (MEASURED FROM GRADE TO THE MIDDLE POINT OF THE ROOF MASSING BETWEEN THE EAVES OF THE PEAK)  |
| OFF STREET PARKING      | PER GROVE CITY REQUIREMENTS FOR EACH USE SECTION 1135.12  |
| PROPOSED STREET TYPE    | PRIVATE, SHARED ACCESS. ALL PRIVATE DRIVES AND DRIVEWAYS WILL HAVE CURBS AND CURB CUTS THAT WILL BE CONSTRUCTED TO GROVE CITY STANDARDS. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF PRIVATE STREETS, SETBACK 5' MINIMUM FROM STREET, AND CONSTRUCTED TO GROVE CITY STANDARDS. |
| R.O.W. WIDTH            | 100': LONDON GROVEPORT RD.<br>PRIVATE STREET: N/A   |
| PAVEMENT WIDTH          | SHARED ACCESS DRIVE 36' OR AS OTHERWISE APPROVED BY THE CITY ENGINEER. WILL CONFORM TO GROVE CITY STANDARDS REGARDING (2) WAY STREETS.  |
| SET BACKS:              |   |
| PUBLIC ROAD             | 20' PARKING SETBACK (FROM PUBLIC R.O.W.)<br>15' PARKING SETBACK PROPOSED<br>30' BUILDING SETBACK (FROM PUBLIC R.O.W.)   |
| PRIVATE STREET          | 15' PARKING SETBACK (FROM EDGE OF PAVEMENT)<br>20' BUILDING SETBACK (FROM EDGE OF PAVEMENT)   |
| SIDE                    | 10' BUILDING & PARKING SETBACK  |
| REAR                    | 30' BUILDING & PARKING SETBACK (ADJOINING SUB SUBAREA "1")<br>20' PARKING AND BUILDING SETBACK PROPOSED   |



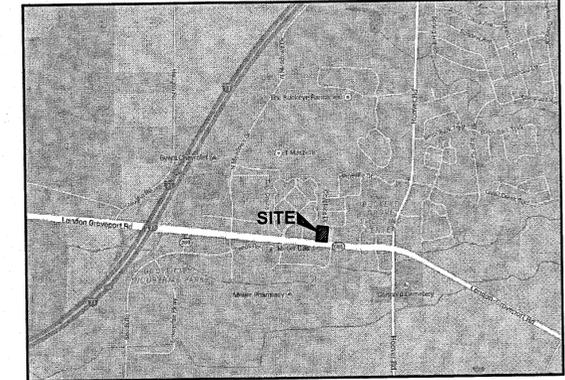
**INDEX MAP**  
SCALE: 1" = 100'

| SITE DATA                                     |   |
|---|---|
| SITE AREA                                     | 1.576 ACRES (68,628 SQ.FT.) (BY SURVEY) |
| BUILDING AREA                                 | 8150 S.F.                               |
| BUILDING HEIGHT                               | 24'-8"                                  |
| CURRENTLY ZONED                               | PUD-C                                   |
| PARKING DATA                                  |   |
| PARKING SPACES REQUIRED:                      |   |
| 15% S.F. RESTAURANT = 1,222.5 S.F. (1 PER 50) | 25 SPACES REQ'D                         |
| 85% S.F. RETAIL = 6,927.5 S.F. (1 PER 200)    | 35 SPACES REQ'D                         |
|   | 60 SPACES REQ'D                         |
| TOTAL PARKING SPACES PROVIDED                 | 60 SPACES                               |
| H/C PARKING SPACES REQUIRED                   | 3 SPACES                                |
| H/C PARKING SPACES PROVIDED                   | 3 SPACES                                |
| LOT COVERAGE                                  |   |
| BUILDING                                      | 8,150 S.F. (11.9%)                      |
| PAVEMENT & WALK                               | 45,057 S.F. (65.6%)                     |
| LANDSCAPING/OPENSACE                          | 15,421 S.F. (22.5%)                     |

#### BENCH MARKS

FRANKLIN COUNTY NAVD 1988 DATUM

- SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION.
- SITE BM #1 - SOUTH ARROW BOLT ON FIRE HYDRANT, NORTH OF PROPERTY. CALLED OUT ON PLAN AS BM #1. WITH COORDINATES BELOW  
 NORTHING = 670841.6726  
 EASTING = 1806152.3329  
 ELEVATION = 822.2000
- SITE BM #2 - "X" CUT SET IN SOUTH SIDE OF LIGHT POLE BASE. CALLED OUT ON PLAN AS BM #2. WITH COORDINATES BELOW.  
 NORTHING = 670690.0173  
 EASTING = 1805991.4900  
 ELEVATION = 826.5200
- SITE BM #3 - "X" CUT SET IN NORTHEAST CORNER CONCRETE PAD IN SOUTH EAST CORNER OF SITE. CALLED OUT ON PLAN AS BM #3. WITH COORDINATES BELOW  
 NORTHING = 670503.9520  
 EASTING = 1806175.0739  
 ELEVATION = 821.1400

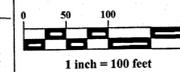


**LOCATION MAP**  
NO SCALE

#### INDEX OF SHEETS

|                     |   |
|---------------------|---|
| TITLE SHEET         | 1 |
| SITE DIMENSION PLAN | 2 |
| UTILITY PLAN        | 3 |
| SITE GRADING PLAN   | 4 |
| SITE DETAILS        | 5 |

#### GRAPHIC SCALE



#### DEVELOPER

INTEGRA REALTY SERVICES, LLC  
 9642 HAWKS LANDING NE  
 WARREN, OHIO 44484  
 CONTACT: BRENDA NEWMAN  
 EMAIL: BRENDA.NEWMAN@CBRE.COM  
 PHONE: 614-430-5039

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 243 N. 5TH STREET  
 SUITE 401  
 COLUMBUS, OH 43215  
 CONTACT: TODD FARIS  
 EMAIL: TFARIS@FARISPLANNINGANDESIGN.COM  
 PHONE: 614-487-1964

#### ENGINEER

ADVANCED CIVIL DESIGN, INC.  
 422 BEECHER ROAD  
 GAHANNA, OH 43230  
 CONTACT: TOM M. WARNER, P.E.  
 EMAIL: TWARNER@ADVANCEDCIVILDESIGN.COM  
 PHONE: 614-428-7750

#### ARCHITECT

J. CARTER BEAN ARCHITECT  
 4400 NORTH HIGH STREET, SUITE 401  
 COLUMBUS, OHIO 43214  
 CONTACT: J. CARTER BEAN  
 EMAIL: CARTER@BEANARCHITECTS.COM  
 TEL: 614.262.2326



*Thomas M. Warner* 5/27/15  
 REGISTERED ENGINEER DATE

CITY OF GROVE CITY APPROVALS  
 "City of Grove City" signatures on this plan signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

CITY ADMINISTRATOR, CITY OF GROVE CITY DATE

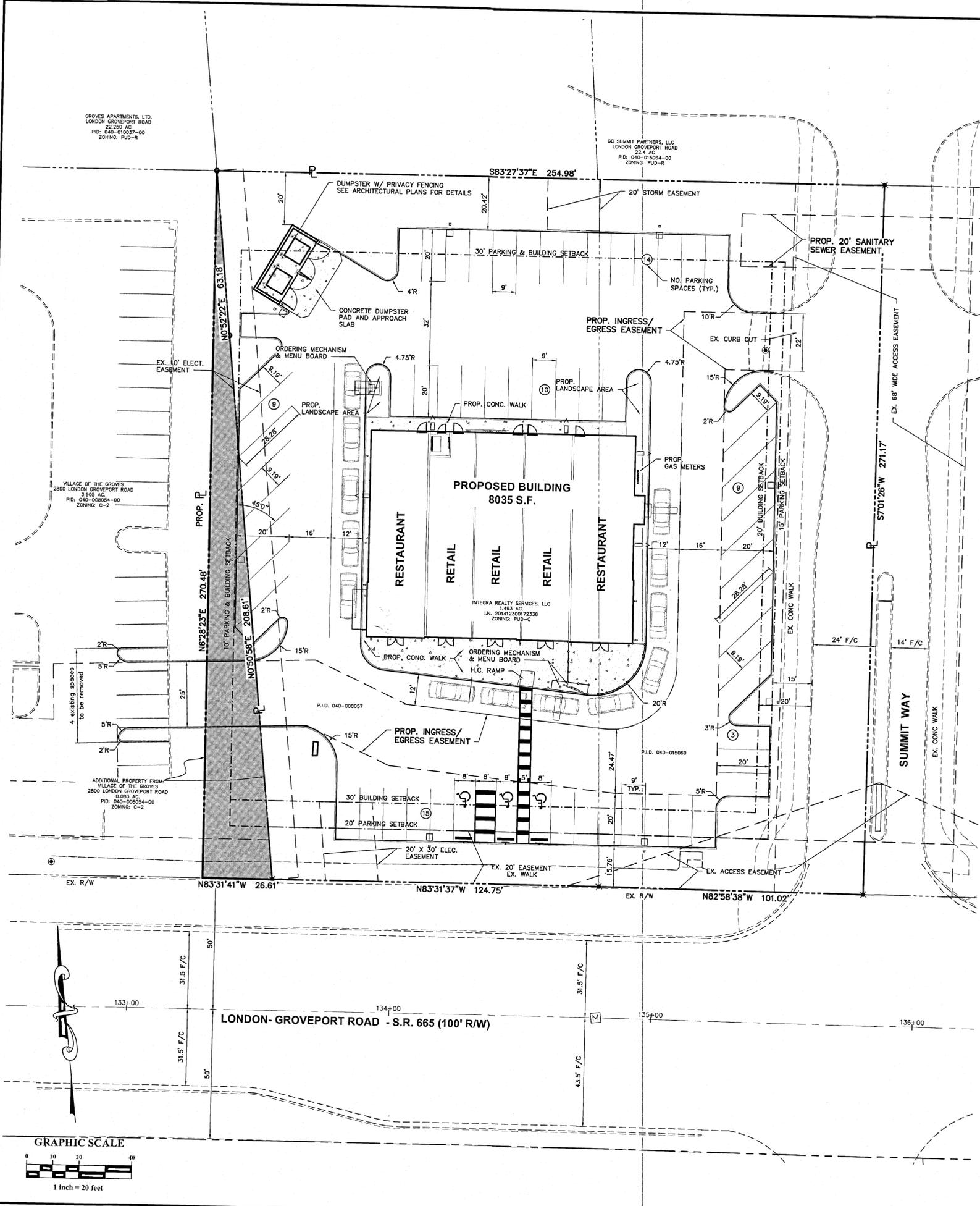
SERVICE DIRECTOR, CITY OF GROVE CITY DATE

REVIEWER FOR THE CITY OF GROVE CITY DATE

JACKSON TOWNSHIP FIRE DEPARTMENT DATE



Z:\15-001-688\DWG\PRODUCTION DRAWINGS\DEVELOPMENT PLAN\SITE.dwg 2 SITE DIMENSION PLAN May 26, 2015 3:26:26pm cml



**DEVELOPMENT PLAN REQUIREMENTS**

- A title block in the lower right hand corner containing:
  - Final Development Plan
  - Project Title and City Project No.
  - Name and address of Owner
  - Date
- Title block shown on all sheets with required information provided.
- Location Map.
  - LOCATION MAP PROVIDED IN THE UPPER RIGHT CORNER OF SHEET 1.
- North Arrow (up or to the left)
  - NORTH ARROW PROVIDED ON ALL SHEETS IN PROPER ORIENTATION.
- The property dimensions and boundary lines of the site, including total acreage and/or total square footage of site, and approximate distance to the nearest cross street.
  - THE PROPERTY BOUNDARY, TOTAL ACREAGE AND APPROXIMATE DISTANCES ARE SHOWN AND LABELED ON THIS SHEET.
- All existing or proposed building locations on or adjacent to the property, existing structures per the SOCA and Ohio Fire Code and access points on and adjacent to the property. (Chap. 1511)
  - ALL EXISTING BUILDINGS, ACCESS POINTS AND PARKING AREAS ARE SHOWN ON THIS SHEET.
- All setbacks and building lines. (Chap. 1135.10)
  - BUILDING AND SETBACK LINES ARE SHOWN ON THIS SHEET.
- All existing public streets or private drives with street name, right-of-way and pavement width, median openings, and left turn lanes. (Chap. 901)
  - ALL EXISTING ROADWAYS, BOTH PUBLIC AND PRIVATE ARE SHOWN ON THIS SHEET. RIGHT-OF-WAY WIDTHS, LANE CONFIGURATION AND PAVEMENT WIDTHS ARE ALL LABELED.
- All railroad and utility right-of-ways, or easements, parks or other public/open spaces and corporation lines within or adjacent to the tract.
  - NO PARKS OR PUBLIC OPEN SPACES ARE TO BE DEDICATED AS A PART OF THIS DEVELOPMENT.
- Proposed areas of dedication, if necessary, including streets, alleys, easements, or reserves by deed covenant with the condition proposed to the tract (Chap. 1141.01a)
  - NOT APPLICABLE
- Points of ingress and egress to the property including design and spacing of driveways in accordance with Chapter 1105 of the Codified Ordinances.
  - ALL INGRESS AND EGRESS POINTS ON THE PROPERTY ARE SHOWN AND LABELED ON THIS SHEET.
- Existing ground configuration, drainage channels, wooded areas, watercourses, and other significant physical features. (Chap. 1136)
  - EXISTING GROUND CONTOURS ARE SHOWN ON SHEET 4. THERE ARE CURRENTLY NO WOODED AREAS OR WATERCOURSES ON THE PROPOSED SITE.
- Parking area including number and layout of spaces, aisle width, garbage pick-up location (including privacy fencing around dumpster, area, with gates), per Ohio Fire Code and handicapped parking spaces. Calculations of the parking spaces required up. (Chap. 1136, 1511)
  - PROPOSED PARKING IS SHOWN AND LABELED ON THIS SHEET. AISLE WIDTHS AND NUMBER OF SPACES ARE CLEARLY LABELED.
  - PROPOSED DUMPSTER LOCATION AND SCREENING ARE SHOWN ON THIS SHEET WITH ADDITIONAL DETAILS ON ARCHITECTURAL PLANS.
  - PARKING SPACES REQUIRED AND PROVIDED ALONG WITH HANDICAP SPACE CALCULATIONS ARE SHOWN IN THE SITE DATA TABLE PROVIDED ON SHEET 1.
- Screening walls and location, type of screening wall, either living, masonry, or privacy fencing. (Chap. 1136.08)
  - SITE SCREENING IS SHOWN ON THE SITE LANDSCAPING PLAN.
- Indicate all areas to be landscaped, type of landscaping, and total square footage of landscaped areas in accordance with Chapter 1136 of the Codified Ordinances.
  - SEE SITE LANDSCAPING PLAN FOR DETAILS OF ALL PROPOSED LANDSCAPING FEATURES.
- Show all mechanical equipment to be located on exterior of buildings (HVAC, Exhaust Vents, Hoods, etc.) (Chap. 1341)
  - EXTERIOR MECHANICAL EQUIPMENT AND PROPOSED SCREENING IS SHOWN AS PART OF THE ARCHITECTURAL PLANS.
  - ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED BY RAISED PARAPET.
- Existing sewers, water mains, culverts and other underground facilities within the tract, adjacent to the tract, or that will be used in developing the tract, indicating pipe sizes, grades, and locations including fire hydrants existing and proposed. (Chap. 953, 939, 1101)
  - REFERENCE SHEET 4 FOR EXISTING STORM SEWER, WATERLINE AND SANITARY SEWER.
- All proposed water and sewer lines with sizes indicated and location of valves, fire hydrants, manholes, and other appurtenances or structures shown. (Chap. 953, 939, 1101)
  - PROPOSED WATER AND SEWER LINES ALONG WITH VALVES, HYDRANTS, MANHOLES AND OTHER APPURTENANCES ARE SHOWN ON SHEET 4.
- All proposed or existing water and sewer connections, meter locations, size of meters, with meter and/or detector check valve vaults indicated. (Chap. 1101, 1103, 1133, 1307)
  - ALL EXISTING AND PROPOSED CONNECTIONS AND METERS ARE SHOWN ON SHEET 4.
- Finished floor elevation of proposed or existing structures on the site referenced to sea level datum. (Chap. 1101, 1103, 1133, 1307)
  - PROPOSED FINISHED FLOOR ELEVATIONS ARE SHOWN ON SHEET 4. ALL ELEVATIONS SHOWN HEREON ARE BASED ON FRANKLIN COUNTY NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- Existing and proposed contours of the tract in intervals of one foot or less, referenced to sea level datum. (Chap. 1101.05g)
  - EXISTING & PROPOSED CONTOURS ARE SHOWN AT ONE FOOT INTERVALS ON SHEET 4.
- Proposed or existing on and off site inlets, culverts or other drainage structures. (Chap. 1322, 1323)
  - ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES ARE SHOWN ON SHEET 4.
- Proposed signage for the entire site to include permitted square footage of all signs and permitted height and location of pole signs (However, separate application for signage must be approved and sign permit issued.) (Chap. 1101.08)
  - SIGNAGE SHALL BE IN ACCORDANCE WITH CHAPTER 1145 AND REVIEWED/APPROVED BY THE BUILDING DIVISION.
- Proposed area lighting showing detail of each fixture and height (on building and/or around parking area). (Chap. 1139.03)
  - PROPOSED LIGHT LOCATIONS AND FIXTURE DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- Zoning of the property as it now stands and the zoning proposed, if it is being requested to be changed. (Chap. 1101)
  - THE SITE IS CURRENTLY ZONED PUB-C
- Proposed use of the site or buildings. (Chap. 1101.08)
  - Multi-Tenant Retail.
- Storm water retention in accordance with section. (Chap. 1135.10)
  - ONSITE DETENTION WITH STORMWATER REQUIREMENTS.
- Size of the building (square footage). See Table 1135.10-I, 1135.12-II and 1135.14-III.
  - THE BUILDING SIZES ARE SHOWN ON THIS SHEET.

- Height of all structures including site lighting. (Chap. 1101)
  - THE BUILDING HEIGHT IS SHOWN ON THE ARCHITECTURAL ELEVATIONS PROVIDED. SITE LIGHTING DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- Number of living units, by number of bedrooms, if applicable. (Chap. 1135.10g(7))
  - THE ARE NO RESIDENTIAL LIVING UNITS PROPOSED FOR THIS DEVELOPMENT.
- A certificate by a registered land surveyor or engineer that the premises covered by the plan have been surveyed, that the plan is correct, and that the monuments shown on the plot will be set in accordance with Section 1101.051.
  - THE LOT LINES REFLECT THE LOT DIMENSIONS ON ALTA SURVEY AS PREPARED BY AN OHIO LICENSED SURVEYOR.
- Color rendering of building(s), complete with listing of all colors, including Pantone1999-2000 Reference Numbers or if Pantone is not available, the manufacturer's reference/serial number with sample, and materials, with samples to be used. (c-39-00; passed 5/12/00)
  - COLOR RENDERINGS ARE INCLUDED.
- Compliance to National Flood Insurance Program Community Panels No. 390173-0001 through 4. Show 100-year flood plain. (Chap. 1329)
  - THE PROPOSED SITE LIES WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR & 500-YEAR FLOODPLAIN PER FEMA PANEL #39049C0404K, DATED JUNE 17, 2008.
- Site plan to be signed by an engineer or surveyor registered in the State of Ohio. (Chap. 1101.05)
  - REGISTERED ENGINEER SIGNATURE PROVIDED ON SHEET 1.
- Signature block.
  - SIGNATURE BLOCK PROVIDED ON SHEET 1 WITH REQUIRED MUNICIPAL SIGNATURE BLOCKS.
- Compliance with Historical Preservation Area requirements, if applicable, Chapter 1138 of the Codified Ordinances.
  - NOT APPLICABLE
- A narrative description of the project of at least one paragraph in length.
  - PROJECT NARRATIVE ATTACHED WITH SUBMITTAL.

**FLOOD NOTE**

By graphic plotting only this property is located in Zone "x" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 39049C0404K, with an effective date of June 17, 2008, in Franklin County, Ohio. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

**NOTES:**

- ALL PAVEMENT MARKINGS AND STRIPING SHALL BE WHITE.
- ALL RADII ARE 5', UNLESS OTHERWISE NOTED.
- A KNOX BOX SHALL BE PROVIDED AND LOCATED UPON THE BUILDING IN CONJUNCTION WITH THE JACKSON TOWNSHIP FIRE DEPARTMENT
- DIMENSIONS PROVIDED ARE FROM FACE OF CURB TO FACE OF CURB WHEN DIMENSIONED FROM CURB.

PLAN PREPARED BY: **INTEGRA REALTY SERVICES, LLC**  
 9642 HAWKS LANDING NE  
 WARREN, OHIO 44484

PLAN PREPARED FOR: **CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO**

**FINAL DEVELOPMENT PLAN**  
 FOR  
**LONDON PLACE**  
**SITE DIMENSION PLAN**

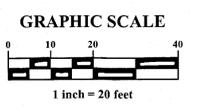
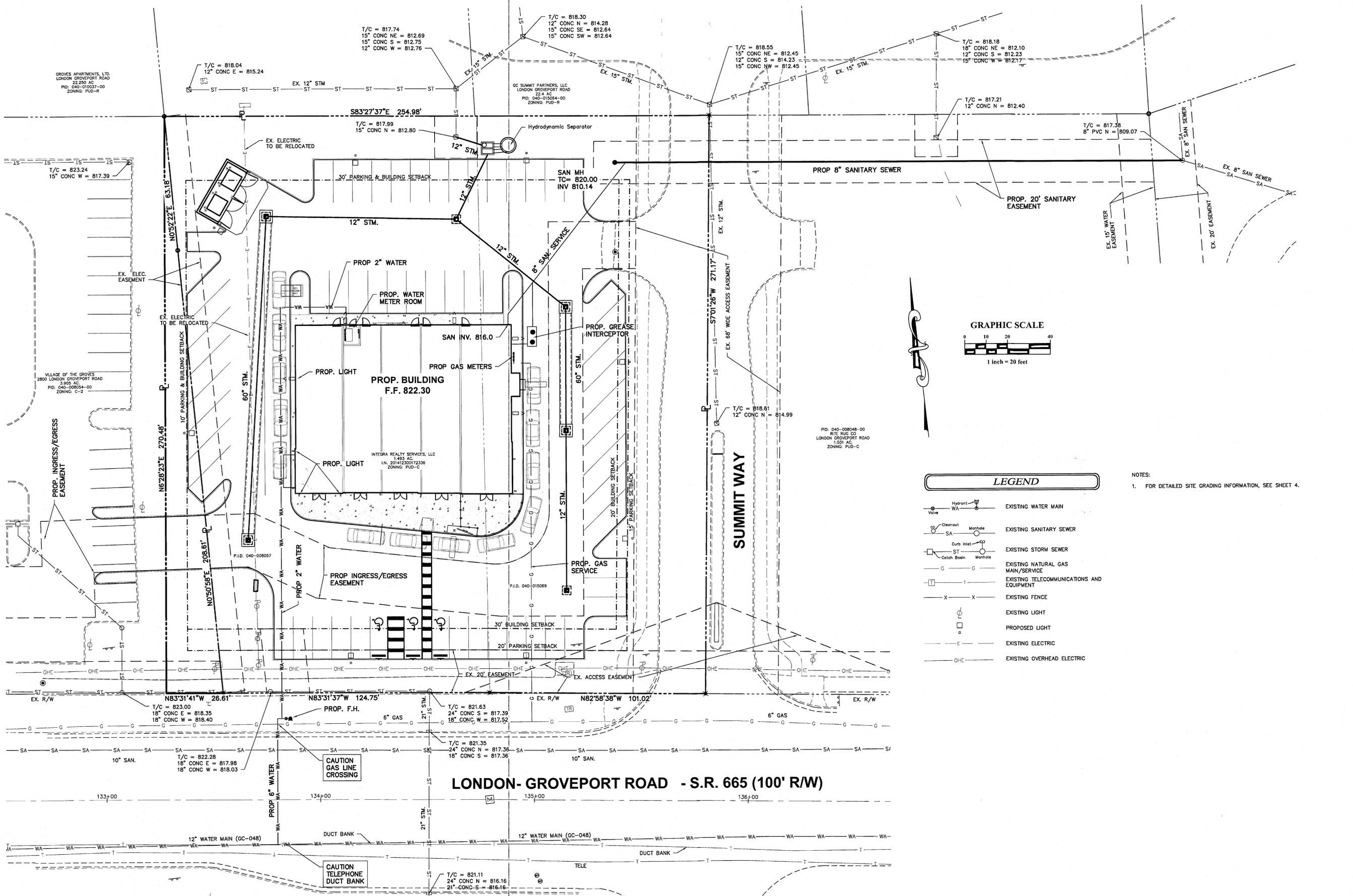
Issue Dates:

|                 |              |
|-----------------|--------------|
| Date:           | 05-27-2015   |
| Scale:          | AS NOTED     |
| Drawn By:       | CAW          |
| Checked By:     | TW           |
| Project Number: | 15-0001-686  |
| Drawing Number: | <b>2 / 5</b> |

422 Beecher Road  
 Columbus, Ohio 43230  
 ph 614-428-7750  
 fax 614-428-7755

**ADVANCED CIVIL DESIGN**  
 ENGINEERS & SURVEYORS

Z:\15-0001-688\DWG\PRODUCTION DRAWINGS\DEVELOPMENT PLAN\UTILITY.dwg 3 UTILITY PLAN May 26, 2015 3:26:48pm cwallis



| LEGEND |   |
|--------|---|
|        | EXISTING WATER MAIN                       |
|        | EXISTING SANITARY SEWER                   |
|        | EXISTING STORM SEWER                      |
|        | EXISTING NATURAL GAS MAIN/SERVICE         |
|        | EXISTING TELECOMMUNICATIONS AND EQUIPMENT |
|        | EXISTING FENCE                            |
|        | EXISTING LIGHT                            |
|        | PROPOSED LIGHT                            |
|        | EXISTING ELECTRIC                         |
|        | EXISTING OVERHEAD ELECTRIC                |

NOTES:  
1. FOR DETAILED SITE GRADING INFORMATION, SEE SHEET 4.

PLAN PREPARED BY:  
INTEGRA REALTY SERVICES, LLC  
9642 HAWKS LANDING NE  
WARREN, OHIO 44484

PLAN PREPARED FOR:  
CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN  
FOR  
LONDON PLACE  
UTILITY PLAN

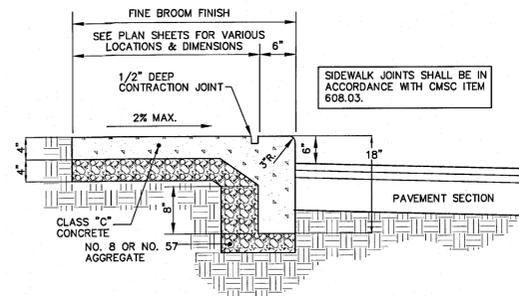
Issue Dates:

|                 |             |
|-----------------|-------------|
| Date:           | 05-27-2015  |
| Scale:          | AS NOTED    |
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| Checked By:     | TMW         |
| Project Number: | 15-0001-688 |
| Drawing Number: | 3/5         |

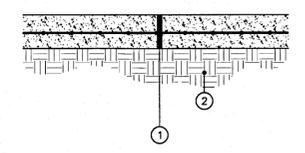
422 Brecher Road  
Columbus, Ohio 43230  
ph 614.428.7750  
fax 614.428.7750

ADVANCED  
CIVIL DESIGN

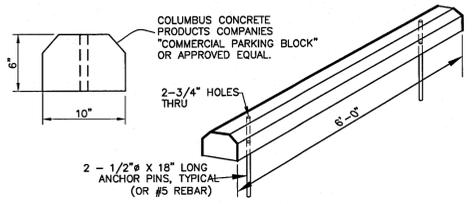




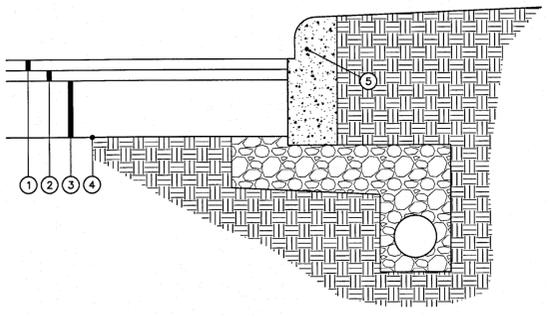
**COMBINED CURB AND WALK**  
NO SCALE



**DUMPSTER PAD PAVEMENT SECTION**  
NO SCALE

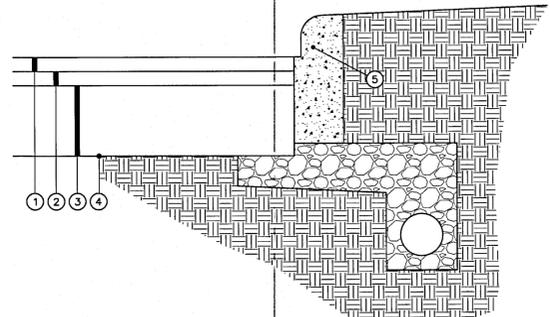


**PARKING BLOCK DETAIL**  
NO SCALE



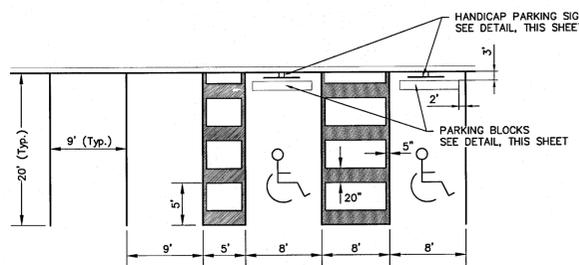
**TYPICAL LIGHT DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)**  
NO SCALE

- ① ITEM 448, 1 1/2" ASPHALT CONCRETE - SURFACE COURSE
- ② ITEM 448, 1-1/2" ASPHALT CONCRETE - INTERMEDIATE COURSE
- ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
- ④ ITEM 204, SUBGRADE COMPACTION
- ⑤ ITEM 609, STRAIGHT 18" CURB, CITY OF GROVE CITY STD.DWG. C-GC-58

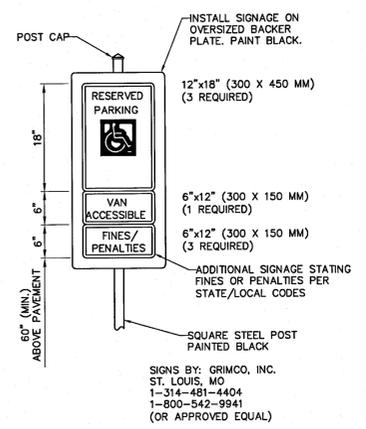


**TYPICAL HEAVY DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)**  
NO SCALE

- ① ITEM 448, 2" ASPHALT CONCRETE - SURFACE COURSE
- ② ITEM 448, 2" ASPHALT CONCRETE - INTERMEDIATE COURSE
- ③ ITEM 304, 10" CRUSHED AGGREGATE BASE
- ④ ITEM 204, SUBGRADE COMPACTION
- ⑤ ITEM 609, STRAIGHT 18" CURB, CITY OF GROVE CITY STD.DWG. C-GC-58

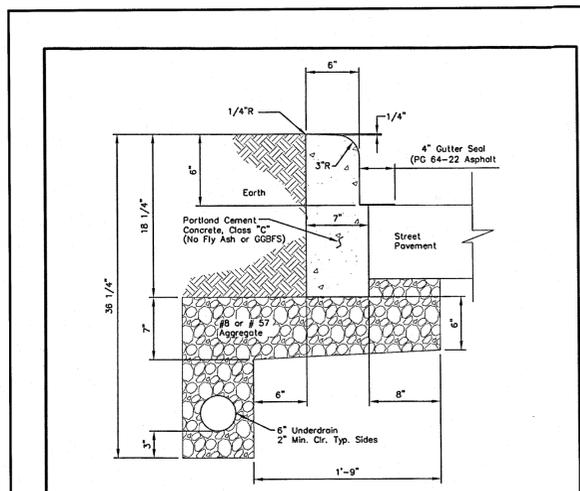


**TYPICAL HANDICAP PARKING DIMENSIONS AND PARKING BLOCK LOCATION DETAIL**  
NO SCALE



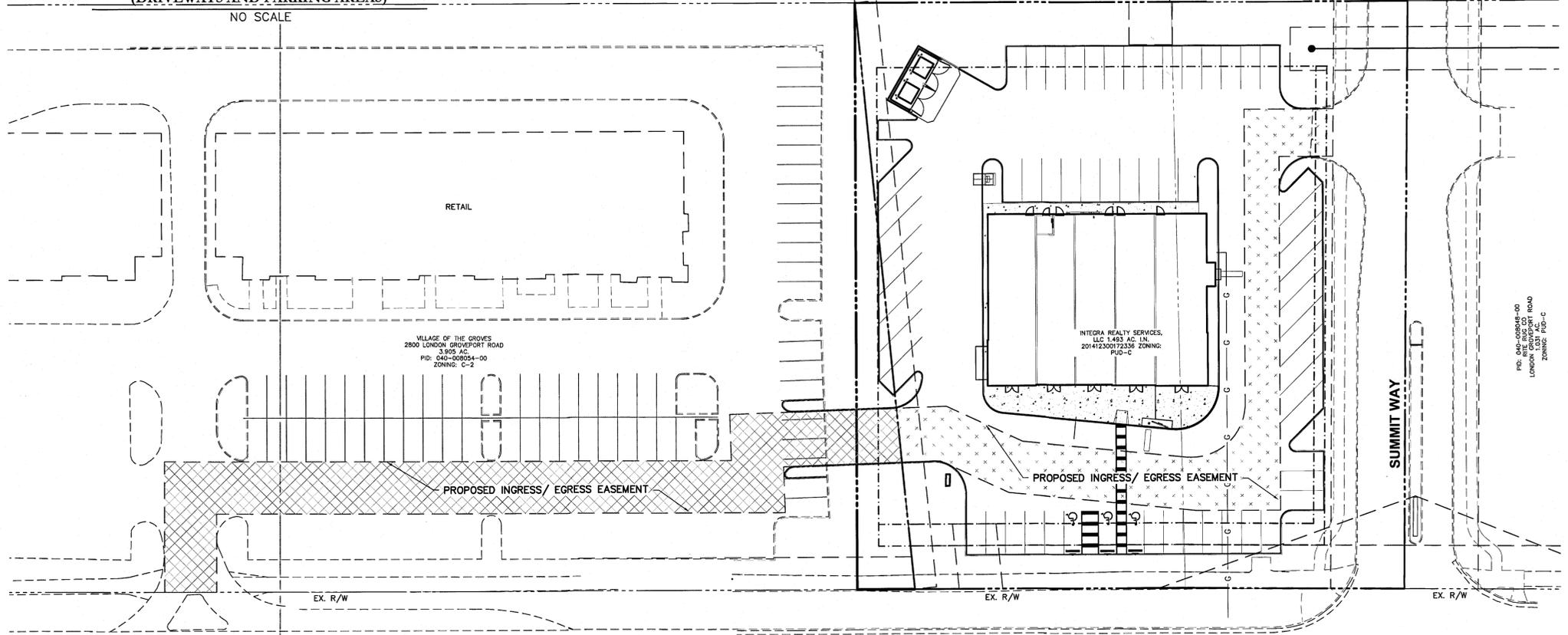
**CITY OF GROVE CITY TRAFFIC CONTROL SIGNAGE DETAIL**  
NO SCALE

\*THIS DETAIL SHALL BE FOLLOWED FOR ALL TRAFFIC CONTROL SIGNS ON SITE



- NOTES
- All exposed surfaces of concrete curb to be float finished.
  - Gutter seal payment shall be included in price bid per ton for item 448, asphalt concrete.
  - The letter "M" shall be imprinted into the curb directly opposite all water service boxes and the letter "W" shall be imprinted opposite all water line valves, including fire hydrant watch valves. Letters shall be 3 inches high and wide with 1/4-inch thick bars imprinted 1/2-inch into the face of the curb 2-1/2 inches above the gutter.

|                               |                                  |                           |                           |
|-------------------------------|----------------------------------|---------------------------|---------------------------|
| STRAIGHT<br>18" CONCRETE CURB | CITY OF GROVE CITY, OHIO         |                           |                           |
|                               | STANDARD<br>CONSTRUCTION DRAWING | Effective Date<br>5-11-05 | Revision Date<br>11-15-05 |



**LONDON GROVEPORT ROAD (S.R. 665)**

**INGRESS/EGRESS EASEMENT EXHIBIT**  
SCALE: 1" = 30'

Z:\15-0001-685\DWG\PRODUCTION DRAWINGS\DEVELOPMENT PLAN\SITE DETAILS.dwg 5 SITE DETAILS May 26, 2015 3:27:21pm cewalls

PLAN PREPARED BY: INTEGRAL REALTY SERVICES, LLC  
9642 HAWKS LANDING NE  
WARREN, OHIO 44484

PLAN PREPARED FOR: CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO

FINAL DEVELOPMENT PLAN FOR LONDON PLACE SITE DETAILS

Issue Dates: \_\_\_\_\_ Date: 05-27-2015 Scale: AS NOTED

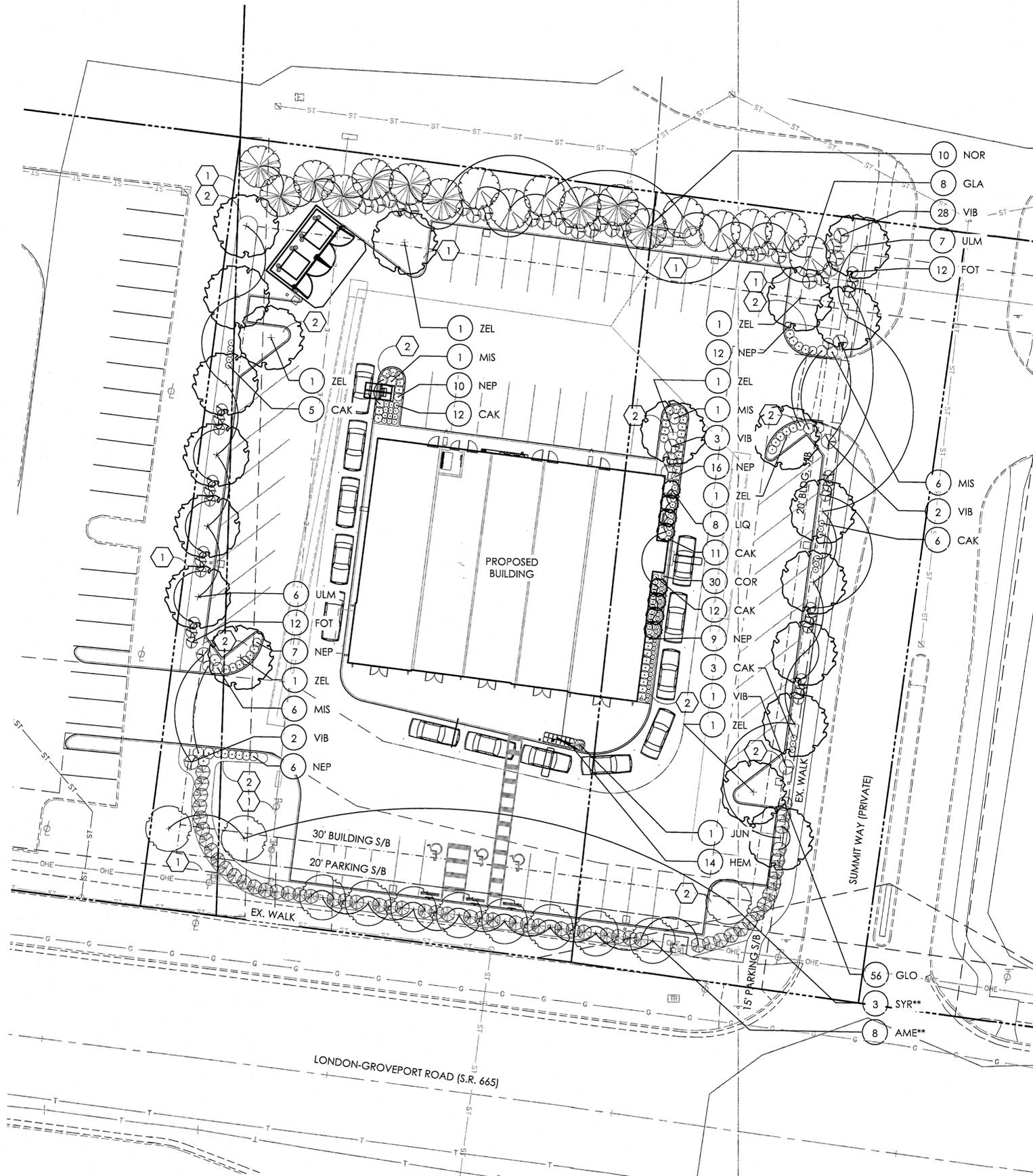
Drawn By: CAW Checked By: TMW

Project Number: 15-0001-686

Drawing Number: 5/5

422 Beacher Road  
Gahanna, Ohio 43230  
PH 614.428.7250  
FAX 614.428.7250  
U R R E S O R S

ADVANCED CIVIL DESIGN



### LANDSCAPE REQUIREMENTS

|  |                              |                              |
|--|------------------------------|------------------------------|
| S.R. 665 FRONTAGE - 253 L.F.   | REQUIRED                     | PROVIDED                     |
| ONE (1) 2" CAL. MED.** OR LRG.** SPECIES TREE PLANTED FOR EVERY 35 LINEAR FEET OF FRONTAGE AND A CONTINUOUS 3' MIN. HGT. EVERGREEN HEDGE | 8                            | 8                            |
|  | CONT. 3' HT. EVERGREEN HEDGE | CONT. 3' HT. EVERGREEN HEDGE |

|   |                      |                      |
|---|----------------------|----------------------|
| EASTERN SIDE YARD (COMPATIBLE) - 271 L.F.   | REQUIRED             | PROVIDED             |
| ONE (1) 2" CAL. MED. OR LRG. SPECIES TREE AND TWO (2) 18" HGT. DECIDUOUS SHRUBS PLANTED FOR EVERY 40 LINEAR FEET OF PROPERTY LINE | 7 TREES<br>14 SHRUBS | 7 TREES<br>14 SHRUBS |

|   |                      |                      |
|---|----------------------|----------------------|
| WESTERN SIDE YARD (COMPATIBLE) - 271 L.F.   | REQUIRED             | PROVIDED             |
| ONE (1) 2" CAL. MED. OR LRG. SPECIES TREE AND TWO (2) 18" HGT. DECIDUOUS SHRUBS PLANTED FOR EVERY 40 LINEAR FEET OF PROPERTY LINE | 7 TREES<br>14 SHRUBS | 7 TREES<br>14 SHRUBS |

|   |   |   |
|---|---|---|
| REAR YARD (INCOMPATIBLE) 255' L.F.  | REQUIRED  | PROVIDED  |
| 90% OPAQUE 5' MIN. HEIGHT EVERGREEN SCREEN AND FOUR (4) 18" DECIDUOUS SHRUBS FOR EVERY 40' LINEAR FEET OF PROPERTY LINE | 6' HEIGHT EVERGREEN SCREEN<br>28 DECIDUOUS SHRUBS | 6' HEIGHT EVERGREEN SCREEN<br>28 DECIDUOUS SHRUBS |

|   |          |          |
|---|----------|----------|
| INTERIOR VEHICULAR USE AREA   | REQUIRED | PROVIDED |
| EACH PENINSULA, ISLAND, AISLE END ISLAND, OR PLANTING AREA IS TO CONTAIN AT LEAST ONE (1) 2" CAL. MED. OR LRG. SPECIES TREE | PER PLAN | PER PLAN |

|  |   |   |
|--|---|---|
| RETAIL COMMERCIAL & SHOPPING CENTER USE DISTRICT   | REQUIRED  | PROVIDED  |
| THERE SHALL BE A TREE PLANTED IN A LANDSCAPED AREA FOR EVERY 50 L.F. OF BLDG. PERIMETER OR FRACTION THEREOF. SUCH LANDSCAPED AREAS SHALL BE ADJACENT TO THE BLDG., 64 S.F. MIN. IN SIZE, AND SHALL CONTAIN A SMALL, MEDIUM, OR LARGE SPECIES TREE. | 8 TREES AND 512 S.F. OF LANDSCAPED AREA FOR 371 L.F. OF BLDG. PERIMETER | 8 TREES AND 761 S.F. OF LANDSCAPED AREA FOR 371 L.F. OF BLDG. PERIMETER |

### GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

### CONSTRUCTION NOTES:

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

### PLANT LIST

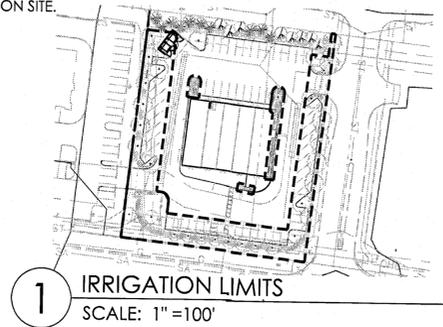
(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

| QTY                                  | KEY   | BOTANICAL NAME                               | COMMON NAME                   | SIZE       | COND. | REMARKS |
|--------------------------------------|-------|--|-------------------------------|------------|-------|---------|
| <b>TREES</b>                         |       |  |                               |            |       |         |
| 8                                    | AME** | AMELANCHIER CANADENSIS 'GLENNFORM'           | RAINBOW PILLAR SERVICEBERRY   | 2" CALIPER | B&B   |         |
| 8                                    | LIQ   | LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' | SLENDER SILHOUETTE SWEETGUM   | 2" CALIPER | B&B   |         |
| 10                                   | NOR   | PICEA ABIES                                  | NORWAY SPRUCE                 | 6' HGT.    | B&B   |         |
| 8                                    | GLA   | PICEA GLAUCA                                 | WHITE SPRUCE                  | 6' HGT.    | B&B   |         |
| 13                                   | ULM   | ULMUS 'MORTON'                               | ACCOLADE ELM                  | 2" CALIPER | B&B   |         |
| 3                                    | SYR** | SYRINGA RETICULATA 'IVORY SILK'              | IVORY SILK TREE LILAC         | 2" CALIPER | B&B   |         |
| 7                                    | ZEL   | ZELKOVA SERRATA 'GREEN VASE'                 | GREEN VASE ZELKOVA            | 2" CALIPER | B&B   |         |
| <b>SHRUBS</b>                        |       |  |                               |            |       |         |
| 24                                   | FOT   | FOTHERGILLA X'MOUNT AIRY'                    | MOUNT AIRY FOTHERGILLA        | 18" HT.    | B&B   |         |
| 56                                   | GLO   | THUJA OCCIDENTALIS 'WOODWARDII'              | WOODWARD GLOBE ARBORVITAE     | 36" HGT.   | B&B   |         |
| 1                                    | JUN   | JUNIPERUS CHINENSIS 'SPARTAN'                | SPARTAN JUNIPER               | 4' HGT.    | B&B   |         |
| 36                                   | VIB   | VIBURNUM XRHYTIDOPHYLLOIDES 'ALLEGHENY'      | ALLEGHENY VIBURNUM            | 24" HGT.   | B&B   |         |
| <b>PERENNIALS/ORNAMENTAL GRASSES</b> |       |  |                               |            |       |         |
| 30                                   | COR   | HEUCHERA X'AMBER WAVES'                      | AMBER WAVES CORAL BELLS       | NO.1       | CONT. |         |
| 44                                   | CAK   | CALAMOGROSTIS ACUTIFLORA 'KARL FOERSTER'     | FOERSTER'S FEATHER REED GRASS | NO.2       | CONT. |         |
| 14                                   | HEM   | HEMEROCALLIS 'STELLA D'ORO'                  | STELLA D'ORO DAYLILY          | NO.1       | CONT. |         |
| 14                                   | MIS   | MISCANTHUS SINENSIS 'GRACILLIUMS'            | GRACILLIUMS MAIDEN GRASS      | NO.2       | CONT. |         |
| 60                                   | NEP   | NEPETA XFAASSENII 'WALKER'S LOW'             | WALKER'S LOW CATMINT          | NO.1       | CONT. |         |

\*NOTE: ANNUALS TO BE PLANTED BY OWNER. NOT IN INITIAL LANDSCAPE COSTS.

\*\*TREES UNDERNEATH POWER LINE ARE SUBJECT TO APPROVAL OF SPECIES AND LOCATION BY AMERICAN ELECTRIC POWER. IF NOT ALLOWED IN EASEMENT, WILL BE LOCATED ELSEWHERE ON SITE.

\*\*\*ALL ABOVE-GRADE SERVICE STRUCTURES TO BE SCREENED PER GROVE CITY CODE SECTION 1136.08



### REVISIONS

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |

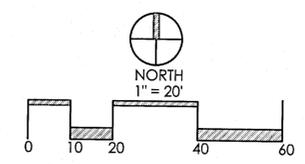
## OVERALL LANDSCAPE PLAN

LONDON PLACE  
PREPARED FOR  
ADVANCED CIVIL DESIGN  
4272 BEECHER ROAD  
GAHANNA, OH 43230

Paris Planning & Design  
LAND PLANNING  
243 N. 5th Street  
P (614) 467-1764  
Suite 401  
www.parisplanninganddesign.com

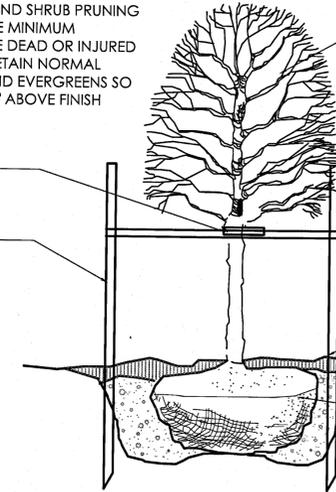
|         |         |
|---------|---------|
| DATE    | 5/27/15 |
| PROJECT | 15007   |
| SHEET   |         |

L-1



NOTE:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'- 3" ABOVE FINISH GRADE

FLEXIBLE TREE WEBBING MATERIAL 3/4" WIDE-GREEN COLOR  
2" X 2" X 8' WOOD STAKE, 2 PER TREE



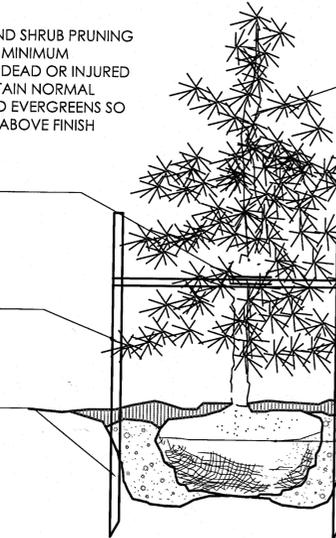
DO NOT CUT MAIN LEADER  
\*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS  
MULCH COLLAR  
REMOVE TOP 50% (12' MIN.) OF WIRE CAGE AND BURLAP AND ALL TWINE AND TRUNK WRAP

1 DECIDUOUS TREE  
N.T.S.

01-1001

NOTE:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2'- 3" ABOVE FINISH GRADE.

FLEXIBLE TREE WEBBING MATERIAL 3/4" WIDE-GREEN COLOR- TIE AT 1/3 HGT OF TREE  
2" X 2" X 8' WOOD STAKE, 3 PER TREE UP TO 7' HEIGHT  
DRIVE STAKES TO 18" BELOW PIT



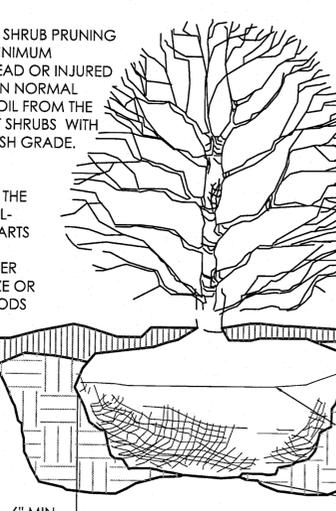
DO NOT CUT MAIN LEADER  
DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS  
HARDWOOD BARK MULCH COLLAR  
REMOVE TOP 50% (12' MIN.) OF WIRE CAGE AND BURLAP AND ALL TWINE AND TRUNK WRAP

2 EVERGREEN TREE UNDER 7' HGT.  
N.T.S.

01-1100

NOTE:  
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. REMOVE EXCESS SOIL FROM THE TOP OF ROOT MASS. PLANT SHRUBS WITH TOP OF ROOT MASS AT FINISH GRADE.

DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS



HARDWOOD BARK MULCH COLLAR  
PLANTING MIXTURE  
REMOVE TOP 1/3 OF BURLAP AND TWINE  
SCARIFY 4" DEEP AND RECOMPACT

3 SHRUB PLANTING DETAIL  
N.T.S.

01-1300

| REVISIONS |  |
|-----------|--|
|           |  |
|           |  |
|           |  |

LANDSCAPE DETAILS

LONDON PLACE  
PREPARED FOR  
ADVANCED CIVIL DESIGN  
422 BEECHER ROAD  
GAHANNA, OH 43230

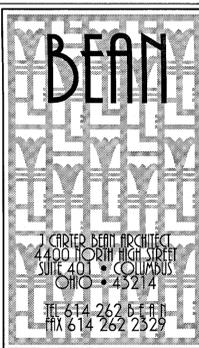
**Paris Planning & Design**  
LAND PLANNING LANDSCAPE ARCHITECTURE  
243 N. 5th Street Columbus, OH 43215  
P (614) 487-1964 Suite 401 www.parisplanninganddesign.com

|         |         |
|---------|---------|
| DATE    | 5/27/15 |
| PROJECT | 15007   |
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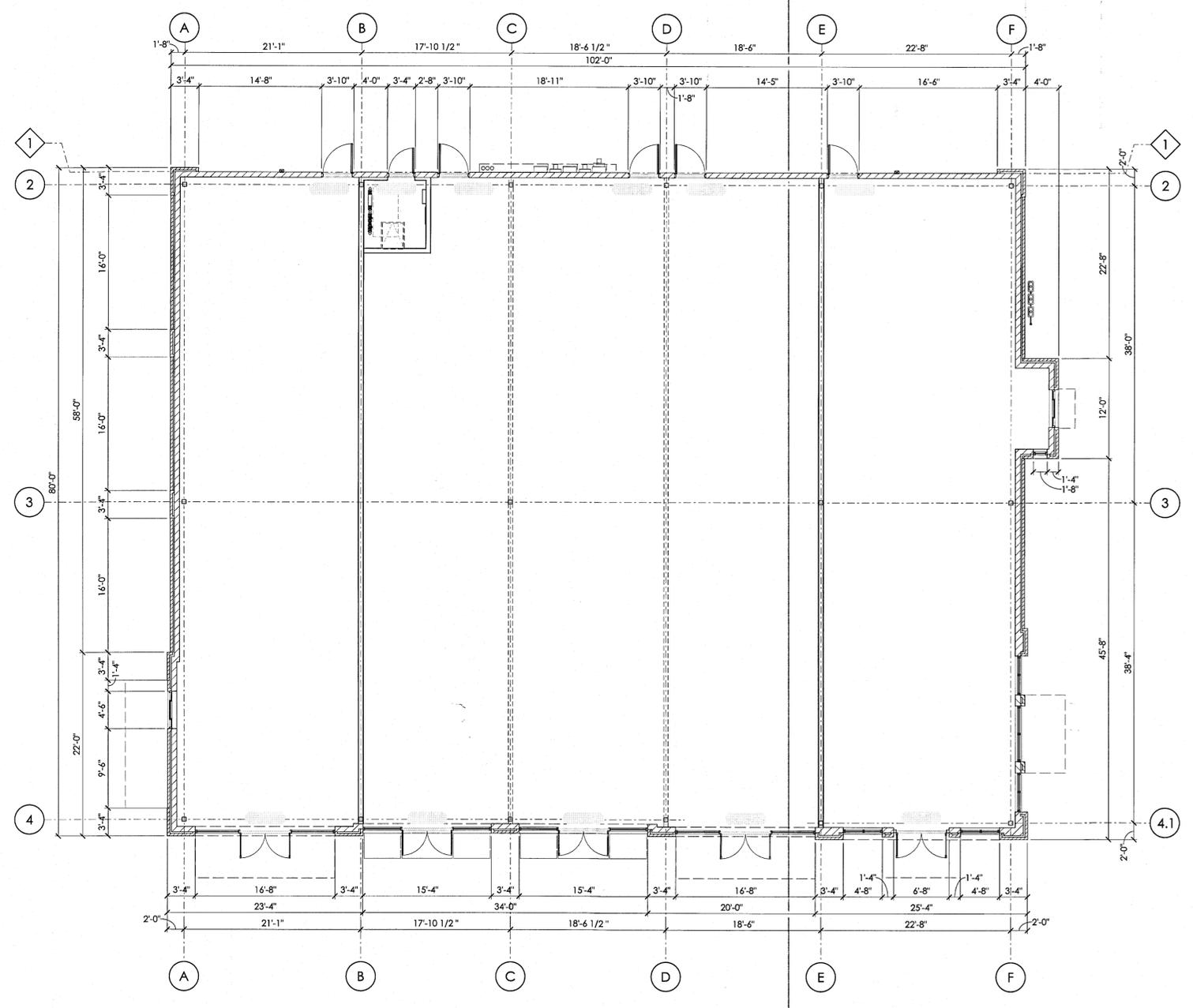
D-1



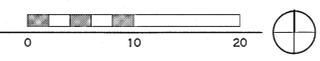




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 CHARLES BEAN ARCHITECT  
 AND MAY NOT BE REPRODUCED, COPIED OR ALTERED  
 WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT



**A FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**LONDON PLACE**  
 LONDON-GROVEPORT ROAD & SUMMIT WAY  
 GROVE CITY, OHIO  
 FOR  
**INTEGRA REALTY SERVICES, LLC**

|                  |            |
|------------------|------------|
| DRAWING STATUS   |            |
| STATUS           | DATE       |
| DEVELOPMENT PLAN | 05.27.2015 |
| DRAWING TITLE    |            |
| FLOOR PLAN       |            |
| DRAWING NUMBER   |            |
| <b>A-1.1</b>     |            |
| BEAN #00000.00   |            |

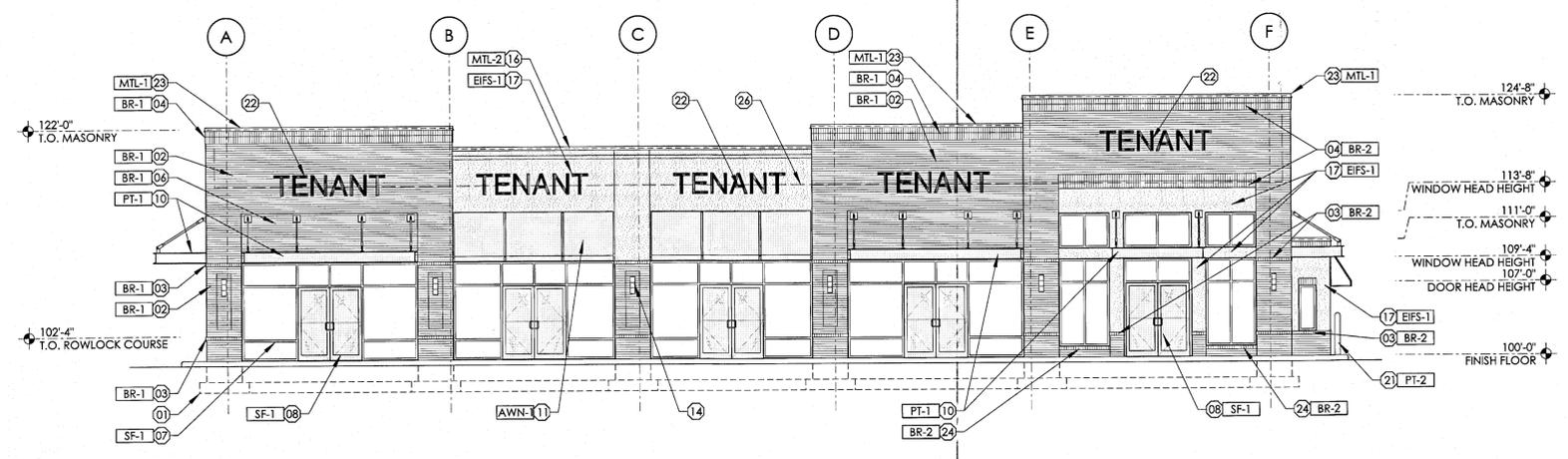
| DRAWING STATUS   |            |
|------------------|------------|
| STATUS           | DATE       |
| DEVELOPMENT PLAN | 05.27.2015 |

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

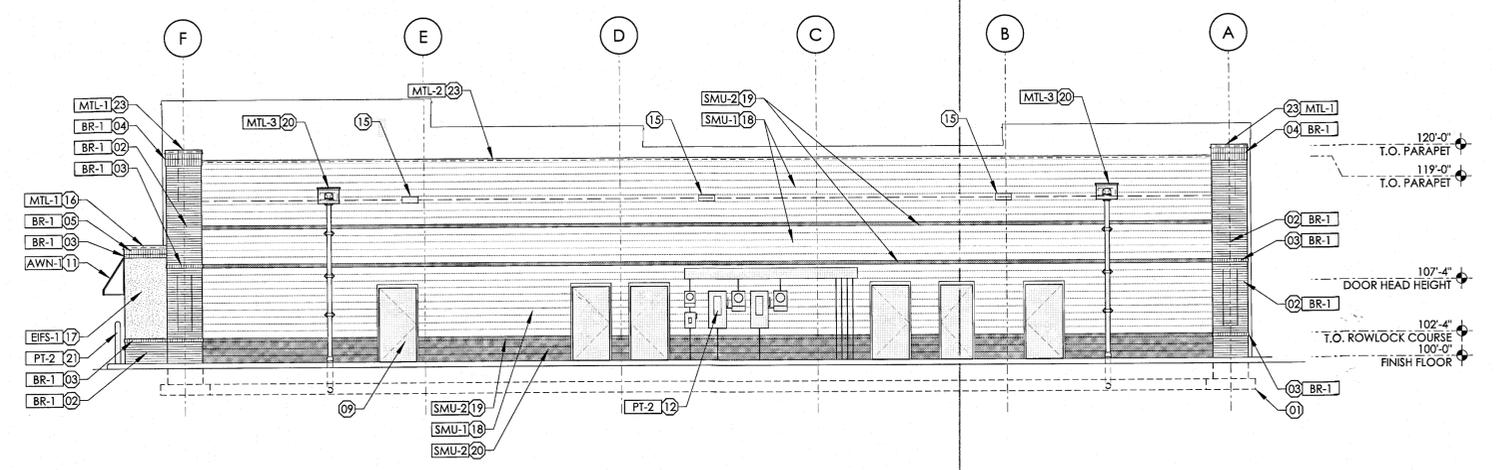
DRAWING NUMBER  
**A-2.1**

**ELEVATION CODED NOTES**

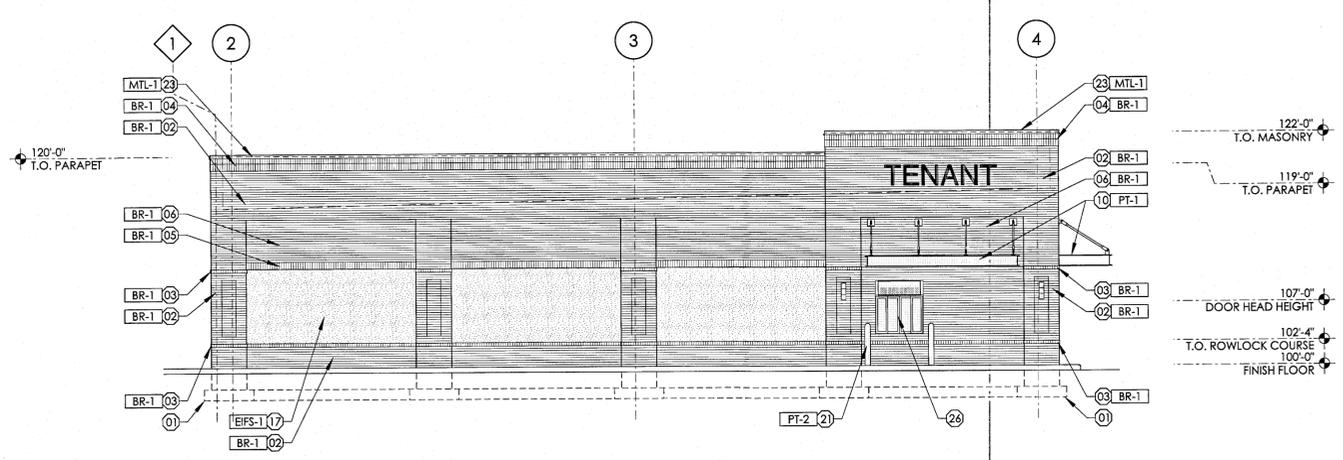
- (01) LINE OF C.I.P. CONCRETE FOOTING (SEE STRUCTURAL DRAWINGS).
- (02) 4" BRICK VENEER RUNNING BOND.
- (03) BRICK ROWLOCK COURSE ACCENT (PULL 1/2").
- (04) DOUBLE BRICK SOLDIER COURSE (PULL 1/2").
- (05) BRICK SOLDIER COURSE ACCENT (PULL 1/2").
- (06) RECESSED BRICK PANEL (PUSH 1/2").
- (07) PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ GLAZING AS SCHEDULED.
- (08) PREFINISHED ALUMINUM WIDE-STYLE FULL-LITE ENTRANCE DOOR w/ GLAZING AS SCHEDULED.
- (09) INSULATED HOLLOW METAL SERVICE DOOR AND FRAME (PAINT).
- (10) PAINT-GRIP GALVANIZED STRUCTURAL STEEL CANOPY AND TURN-BUCKLE CANOPY SUPPORT (PAINT, SEE STRUCTURAL DRAWINGS).
- (11) CANVAS AWNING w/ PREFINISHED ALUMINUM FRAME (BLACK).
- (12) ELECTRIC SERVICE WIREWAY AND METER SETS (PAINT TO MATCH SURROUNDING MASONRY, SEE ELECTRICAL DRAWINGS).
- (13) GAS SERVICE AND METER SETS (PAINT TO MATCH SURROUNDING MASONRY, SEE PLUMBING DRAWINGS).
- (14) DECORATIVE LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- (15) WALPAK LIGHT FIXTURE.
- (16) CONTINUOUS PREFINISHED METAL (24 GA.) EDGE FLASHING.
- (17) EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.).
- (18) STRUCTURAL MASONRY VENEER, RUNNING BOND - 8" H UNITS.
- (19) STRUCTURAL MASONRY VENEER, RUNNING BOND - 4" H UNITS.
- (20) PREFINISHED ALUMINUM (22 GA.) THRU-WALL SCUPPER & CONDUCTOR HEAD (SCUPPER OPENING THROUGH PARAPET TO BE 8"1 x 12" W) w/ 4"x6" PREFINISHED ALUMINUM (24 GA.) RECTANGULAR DOWNSPOUT (TIE INTO UNDERGROUND STORM SYSTEM; SEE CIVIL DRAWINGS).
- (21) 6" CONCRETE FILLED STEEL BOLLARD.
- (22) BUILDING IDENTIFICATION SIGNAGE, ONE SQ. FT. OF BUILDING MOUNTED SIGNAGE PER LINEAR FOOT OF FRONTAGE, INSTALLED BY TENANT (N.I.C.). (SEE ELECTRICAL DRAWINGS)
- (23) CONTINUOUS PREFINISHED METAL (24 GA.) COPING.
- (24) BRICK ROWLOCK COURSE WINDOW SILL (PULL 1", SLOPE FOR POSITIVE DRAINAGE)
- (25) PREFINISHED ALUMINUM DRIVE-THRU SERVICE WINDOW w/ 1/4" TEMPERED GLASS UNITS WITH STAINLESS STEEL SHELF.
- (26) LINE OF ROOF BEYOND.



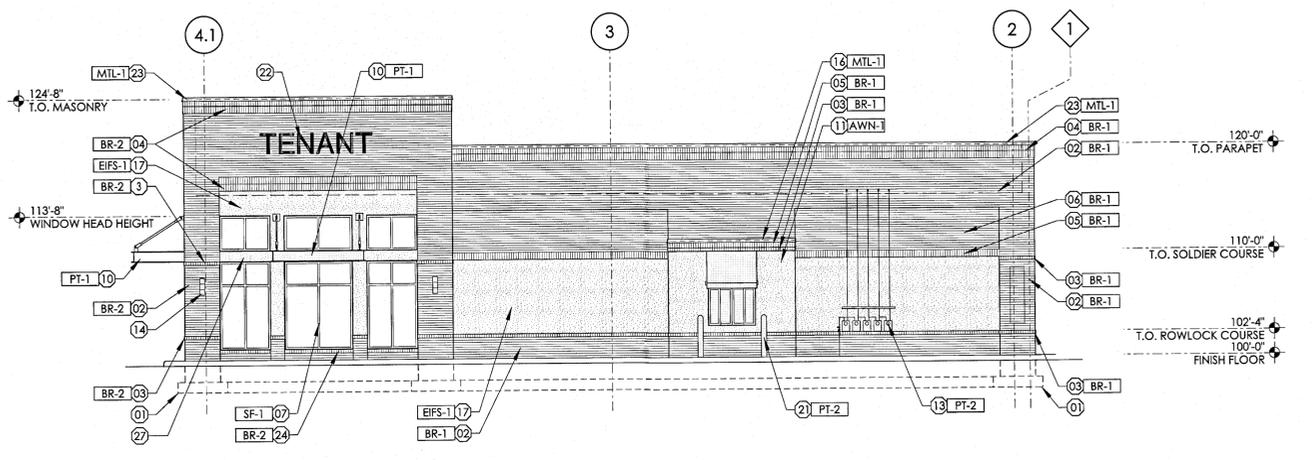
**A SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**B NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



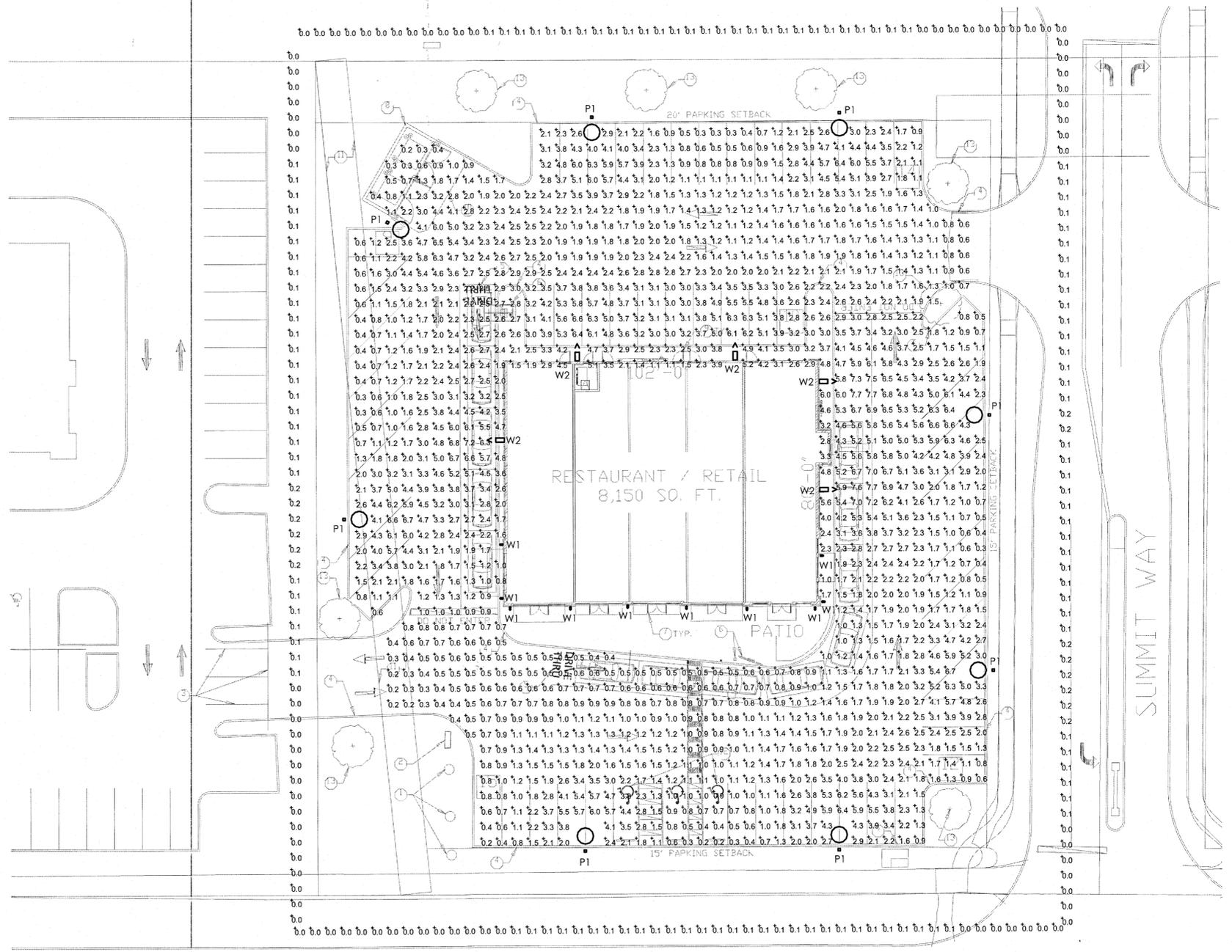
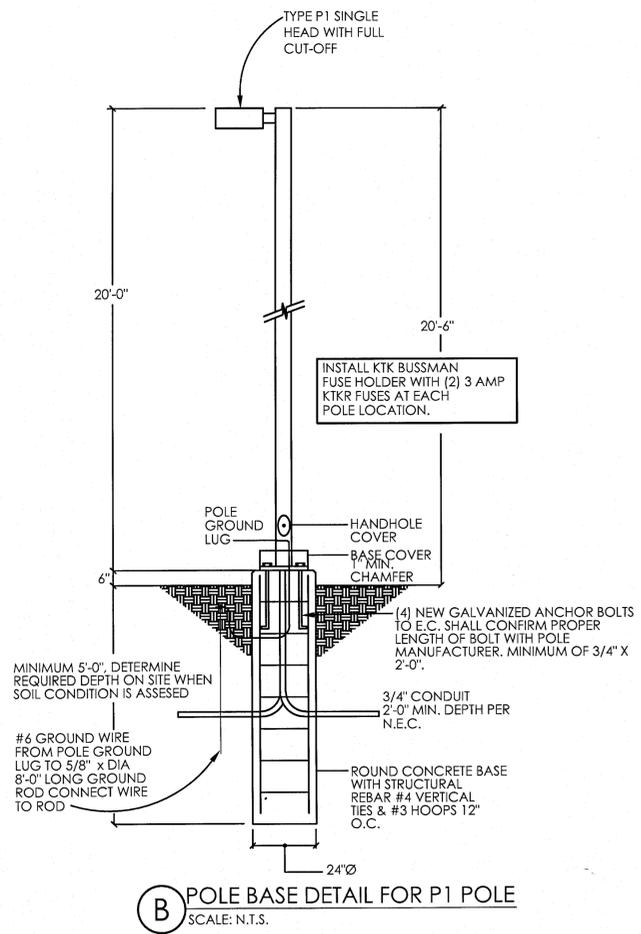
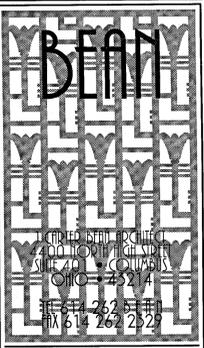
**C WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**D EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIAL FINISH KEY**

| MARK                                     | MANUFACTURER             | DESCRIPTION  | REMARKS   |
|--|--------------------------|--|---|
| <b>AWNING</b>                            |                          |  |   |
| AWN-1                                    | SUNBRELLA                | COLOR: BLACK   | PREFINISHED ALUMINUM FRAME TO BE BLACK                                |
| <b>EXTERIOR INSULATION FINISH SYSTEM</b> |                          |  |   |
| EIFS-1                                   | STO CORP                 | PRAIRIE CLAY   | FINISH - SANDPEBBLE FINE  |
| <b>PAINT</b>                             |                          |  |   |
| PT-1                                     | BENJAMIN MOORE           | #2120-20 "BLACK IRON"                                | METAL CANOPIES  |
| PT-2                                     | BENJAMIN MOORE           | #2112-20 "BROWN SUGAR"                               | BOLLARDS, GAS PIPING, ELECTRICAL CABINETS                             |
| <b>PREFINISHED ALUMINUM STOREFRONT</b>   |                          |  |   |
| SF-1                                     | TUBELITE INC. (OR EQUAL) | COLOR - "BLACK" FINISH - ANODIZED                    | THERMAL FRAMING w/ 1" INSUL. GLAZING                                  |
| <b>PREFINISHED METAL</b>                 |                          |  |   |
| MTL-1                                    | DMI                      | COLOR - "BROWN"                                      | PREFINISHED FASCIA EDGE FLASHING, COPINGS, SCUPPER BOXES & DOWNSPOUTS |
| MTL-2                                    | DMI                      | COLOR - "STONE"                                      | PREFINISHED COPING  |
| <b>MODULAR BRICK VENEER</b>              |                          |  |   |
| BR-1                                     | ENDICOTT CLAY PRODUCTS   | JEFFERSON SERIES "CONTINENTAL"                       | MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'                              |
| BR-2                                     | ENDICOTT CLAY PRODUCTS   | JEFFERSON SERIES "PATRIOT"                           | MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'                              |
| <b>STRUCTURAL MASONRY VENEER</b>         |                          |  |   |
| SMU-1                                    | CALSTAR PRODUCTS         | FIELD COLOR: "DOVE GRAY" FINISH: STANDARD            | MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'                              |
| SMU-2                                    | CALSTAR PRODUCTS         | ACCENT & BASE COLOR: "DARK GRAY" FINISH: SPLIT-FACED | MORTAR: LAFARGE COLOR: "PUTTY", TYPE 'S'                              |



| Symbol | Label | Quantity | Manufacturer              | Catalog Number           | Description   | Number Lamps | File Name                     | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|---------------------------|--------------------------|---|--------------|-------------------------------|-----------------|-------------------|---------|
| ○      | P1    | 8        | KIM LIGHTING              | CC21ME35-120L4K-NFO      | CURVILINEAR LED SPUN ALUMINUM HOUSING AND DIE-CAST ALUMINUM LENS FRAME. FLAT GLASS LENS. LED EMITTER DECK INCLUDES SPUN ALUMINUM DECK, LED MODULES, HEATSINKS, AND PRISMS. NEIGHBOR FRIENDLY OPTIC. | 1            | cc214e35-120l4k-nfo.lvs       | 8115.526        | 1                 | 125.1   |
| ^      | W1    | 10       | COOPER LIGHTING - LUMIERE | 10LED4021                | MACHINED CYLINDRICAL METAL HOUSING, 1 LED MODULE, CLEAR FLAT GLASS LENS IN MACHINED CYLINDRICAL BROWN PAINTED METAL LENS FRAME WITH UNFINISHED INTERIOR SURFACE BETWEEN LENS AND LED MODULE.        | 1            | 904-2-10LED4021.lvs           | -1              | 1                 | 8.29    |
| ^      | W2    | 5        | Lithonia Lighting         | ALXW LED 1 30A35051K SR4 | LED WALLPACK WITH TYPE 4 DISTRIBUTION   | 1            | ALXW_LED_1_30A350_51K_SR4.lvs | 6892.2          | 1                 | 113.1   |

| Description            | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min | Avg/Max |
|------------------------|--------|--------|--------|--------|---------|---------|---------|
| 10' Past Property Line | +      | 0.1 fc | 0.2 fc | 0.0 fc | N/A     | N/A     | 0.2:1   |
| Parking Lot            | +      | 2.4 fc | 7.7 fc | 0.2 fc | 38.5:1  | 12.0:1  | 0.3:1   |

**LONDON PLACE**  
LONDON-GROVEPORT ROAD & SUMMIT WAY  
GROVE CITY, OHIO

FOR  
**INTEGRA REALTY SERVICES, LLC**

DRAWING STATUS

|                  |            |
|------------------|------------|
| STATUS           | DATE       |
| DEVELOPMENT PLAN | 05.27.2015 |

DRAWING TITLE

**SITE PHOTOMETRIC LIGHTING PLAN**

DRAWING NUMBER

**SL-1.0**

BEAM #00000.00

