

THE UNDERSIGNED, GATEWAY CAPITAL HOLDINGS, L.L.C. BY PAUL L. MCKNIGHT, IT'S, MANAGING MEMBER GRANTOR, IN CONSIDERATION OF THE EXECUTION AND DELIVERY OF A CERTAIN DEED FROM THE GROVE CITY AREA COMMUNITY IMPROVEMENT CORPORATION OF THE CITY OF GROVE CITY TO GATEWAY CAPITAL HOLDINGS, DATED SEPTEMBER 24, 2002, AND RECORDED IN INSTRUMENT NUMBER 200209270241675, RECORDERS OFFICE, FRANKLIN COUNTY, OHIO FOR ITSELF, IT'S SUCCESSORS AND ASSIGNS, HEREBY COVENANT AND AGREES WITH AND FOR THE BENEFIT OF THE GROVE CITY AREA COMMUNITY IMPROVEMENT CORPORATION AND THE CITY OF GROVE CITY TO HOLD SAID PREMISES HERINAFTER DESCRIBED UPON THE FOLLOWING TERMS:

**I. INTRODUCTION**

THE SUBJECT PROPERTY (THE "PROPERTY") CONSISTS OF APPROXIMATELY 33.520 ACRES OF LAND, CURRENTLY ZONED PUD-1, UNDER THE CITY OF GROVE CITY'S ZONING CODE. GRANTOR HAS PREVIOUSLY SUBMITTED AN OVERALL SITE PLAN (EXHIBIT A) FOR THE DEVELOPMENT AND CONSTRUCTION OF APPROXIMATELY 15 SEPARATE PARCELS, ON WHICH OFFICE AND OFFICE-WAREHOUSE USES ARE PROPOSED. FOUR OF THE SITES WITHIN THE DEVELOPMENT (LOTS 2,3,5, AND 7A) HAVE HAD FINAL DEVELOPMENT PLAN APPROVALS, AND ARE CONSTRUCTED OR UNDER CONSTRUCTION. THESE RESTRICTIVE COVENANTS AND DEVELOPMENT STANDARDS ARE INTENDED TO AND SHALL ATTACHE' TO THE ENTIRE REFERENCED ACREAGE, (33.520 ACRES) AS DEPICTED IN THE OVERALL SITE PLAN, (EXHIBIT A) AND IRRESPECTIVE OF WHETHER THE EXACT LOT COUNT AND/OR CONFIGURATION ARE ULTIMATELY CHANGED FROM THAT DEPICTED ON THE SUBMITTED OVERALL SITE PLAN. ALL REFERENCES HEREIN TO LOT NUMBERS REFER TO THE PORTION OF THE ACREAGE GENERALLY LOCATED CONSISTENT WITH THE PRELIMINARY LOT LAYOUT CONTAINED IN THE OVERALL SITE PLAN (EXHIBIT A).

**A. PERMITTED USES:**

- SUBJECT TO THE FOLLOWING PROVISIONS, THE PROPERTY MAY CONTAIN USES ALLOWED IN DISTRICTS WITH THE FOLLOWING ZONING CLASSIFICATIONS, AS DEFINED IN THE GROVE CITY CODE OF ORDINANCES, CITY OF GROVE CITY, OHIO.
  - IND-2 HEAVY INDUSTRIAL
  - PSO PROFESSIONAL SERVICES
  - OLR OFFICE/LABORATORY/RESEARCH
  - C-1 SERVICE COMMERCIAL
  - M-1 MEDICAL
  - IND-1 INDUSTRIAL
  - SD-1 EDUCATIONAL
  - SD-2 SERVICE

- THE PROVISIONS OF SECTION 2A NOTWITHSTANDING ON LOTS 8,9,10,13,14 AND 15, THE DEVELOPMENT OF THESE LOTS SHOULD FOLLOW PUD-1 TEXT. (EXHIBIT "B".)

**B. ADDITIONAL DEVELOPMENT STANDARDS FOR LOTS 1,4,11 AND 12:**

- THE PROVISIONS OF SECTION 2A NOTWITHSTANDING ON LOTS 1 AND 4 SHALL BE DEVELOPED TO PREVENT THE EXTERIOR APPEARANCE OF THE STRUCTURE(S) LOCATED THEREON TO BE OTHER THAN THAT OF AN OFFICE BUILDING WHEN VIEWED FROM I-71 AND/OR MARLANE DRIVE. BUILDINGS PROPOSED ON SAID LOTS WHICH ARE LARGER THAN 20,000 GROSS SQUARE FEET IN FLOOR AREA AND WHICH ARE INTENDED TO ENCLOSE A MIX OF OFFICE AND INDUSTRIAL (OR OTHER NON-OFFICE) USES SHALL BE DESIGNED IN SUCH A WAY THAT THE OFFICE SPACE ELEMENT APPEARS TO BE AN OFFICE BUILDING, ATTACHED TO, AND SITTING IN FRONT OF, A SEPARATE NON-OFFICE STRUCTURE.
- THE DEVELOPMENT OF LOTS 11 AND 12 SHALL BE IN CONFORMITY WITH THE DEVELOPMENT AND ZONING STANDARDS FOR PSO/OLR AND SD-1 ZONING, AS ESTABLISHED BY THE GROVE CITY CODE OF ORDINANCES. OWNER(S) SHALL HAVE THE RIGHT TO SUBMIT OTHER USES TO THE GROVE CITY COUNCIL FOR THEIR REVIEW AND/OR APPROVAL.
- THE FOLLOWING STANDARDS SHALL APPLY TO LOTS 1,4,11 AND 12 IN ADDITION TO THE PUD-1 TEXT. (EXHIBIT B):
  - a. EXTERIOR, FINISH MATERIAL FOR THE BUILDINGS SHALL CONSIST OF EITHER BRICK, STONE, GLASS, SYNTHETIC STUCCO AND OTHER MATERIAL TYPICALLY USED FOR OFFICE BUILDING CONSTRUCTION IN GROVE CITY. THE USE OF METAL SIDING MATERIALS IS PROHIBITED. ARCHITECTURAL STANDING SEAM ROOFING MAY BE USED AS AN AESTHETIC FEATURE.
  - b. BUILDING DESIGNED TO UTILIZE PRE-ENGINEERED STEEL STRUCTURAL SYSTEMS, AND THE TYPICAL SHALLOW PITCH SHALL BE DESIGNED TO HAVE PARAPET WALLS EXTENDING ABOVE THE ROOF ON ALL FACADES. THIS REQUIREMENT IS INTENDED TO HIDE LOW-PITCHED ROOFS FROM VIEW, AND TO PROVIDE OPPORTUNITY TO CONCEAL FROM VIEW ANY ROOF MOUNTED MECHANICAL SYSTEMS, VENTS OR OTHER CONSTRUCTIONS OR EQUIPMENT.
  - c. FIFTY PERCENT (50%) OF THE PARKING REQUIRED FOR THE DEVELOPMENT, FOR THE MIXTURE OF OFFICE AND INDUSTRIAL USES FOR A GIVEN FACILITY MAY BE LOCATED IN AN AREA FACING THE MARLANE/I-71 CORRIDOR, AND SHALL SERVE AS VISITOR AND EMPLOYEE PARKING. ALL OTHER PARKING, LOADING AND TRUCK DELIVERY FACILITIES SHALL BE LOCATED AWAY FROM VIEW OF THE MARLANE/I-71 CORRIDOR.
  - d. TRUCK DOCKS SHALL NOT BE VISIBLE FROM THE MARLANE/I-71 CORRIDOR. THIS MAY BE ACCOMPLISHED BY HOW THE TRUCK DOCKS AND PARKING AND LOADING FACILITIES ARE LOCATED ON THE DEVELOPMENT PLAN, AND BY THE USE OF LANDSCAPING WALLS, AND OTHER ACCEPTABLE SCREENING MATERIAL.

**II. COMPLIANCE WITH CODE:**

WITH RESPECT TO DEVELOPMENT OF (THE "PROPERTY") AS TO ISSUES NOT COVERED IN THE FOREGOING SECTIONS, COMPLIANCE MUST BE WITH THE CODIFIED ORDINANCES OF THE CITY OF GROVE CITY UNLESS DEVIATIONS AND/OR VARIANCES ARE APPROVED BY THE CITY OF GROVE CITY, THROUGH THE PROPER GOVERNMENTAL AGENCIES OR BODIES.

**III. COMPLIANCE WITH SITE PLAN:**

EXCEPT AS OTHERWISE APPROVED BY THE GROVE CITY COUNCIL, THE PROPERTY SHALL BE DEVELOPED IN ACCORDANCE WITH THE PLAT DEDICATION PLAN APPROVED BY GROVE CITY ORDINANCE C-67-98 AND THE SUPPORTING PLANS ATTACHED TO THIS DEDICATION, ALLOWING ONLY FOR SUCH DEVIATIONS AS MAY BE NECESSITATED BY FIELD CONDITIONS AND SOUND ENGINEERING PRINCIPLES

THE HEREIN ENUMERATED RESTRICTIONS, RIGHTS, RESERVATIONS, LIMITATIONS, AGREEMENTS, COVENANTS AND CONDITIONS SHALL BE DEEMED AS COVENANTS AND NOT AS CONDITIONS HEREOF, AND SHALL RUN WITH THE LAND, AND SHALL BIND THE GRANTOR, IT'S SUCCESSORS AND ASSIGNS CONTINUOUSLY HEREOF, AND THE GRANTOR HEREBY AGREES TO REQUIRE THAT THESE RESTRICTIONS BE RECITED OR REFERRED TO IN ALL FUTURE INSTRUMENTS CONVEYING SAID PREMISES OR ANY PORTION THEREOF.

GATEWAY TO THE CITY DEVELOPMENT GUIDELINES DECEMBER 1, 1998

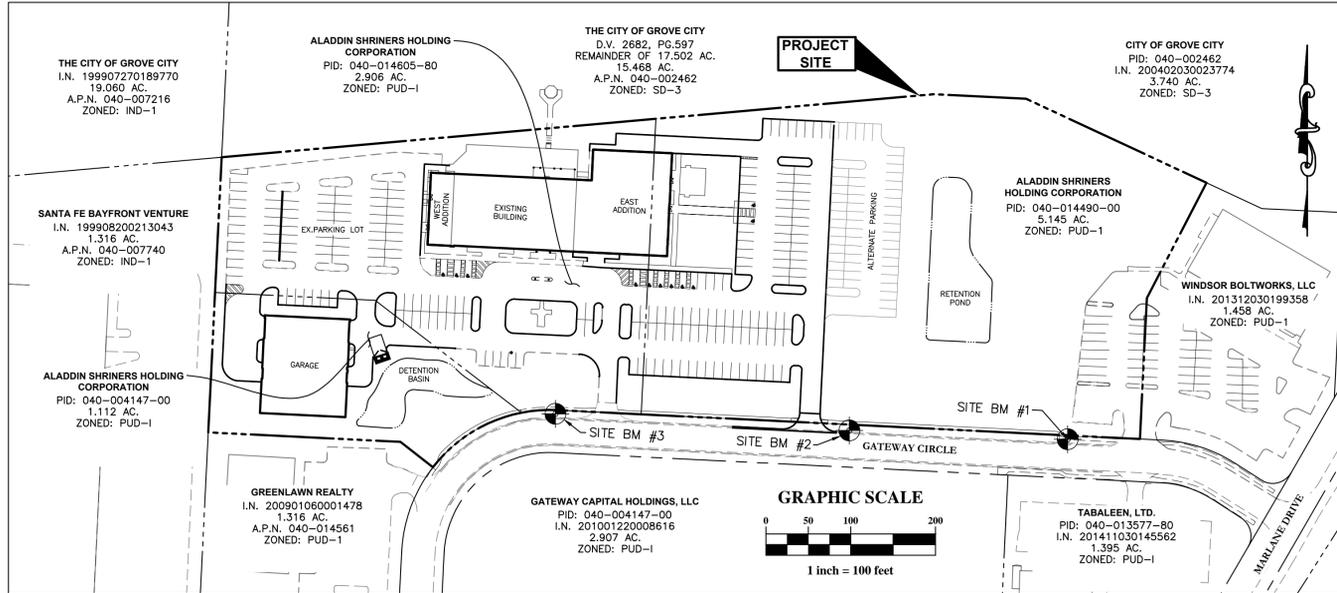
- GATEWAY CAPITAL HOLDINGS, LLC PRIOR TO SUBMITTING TO THE CITY OF GROVE CITY, WILL APPROVE PROPOSED BUILDING AND SITE DEVELOPMENT PLAN.
- SITE IMPROVEMENTS AND BUILDING CONSTRUCTION WILL BE BY MAVERICK BUILDERS, INC. AS LONG AS THE COST OF SUCH IMPROVEMENTS IS COMPETITIVE.
- ROOF TOP MECHANICS WILL BE SCREENED FROM PUBLIC VIEW.
- PARKING LOT POLE LIGHTS WILL MATCH THROUGHOUT THE DEVELOPMENT.
- NO SERVICE GARAGE DOORS OR TRASH ENCLOSURES TO FACE MARLANE DRIVE.
- EXTERIOR STORAGE OF MATERIALS MUST BE SCREENED BY LANDSCAPE.
- FENCING WILL BE PERMITTED ONLY FROM THE REAR BUILDING FACE TO THE REAR PROPERTY LINE.
- METAL AS PRIMARY BUILDING MATERIAL MAY NOT FACE MARLANE DRIVE.
- ALL BUILDINGS WILL HAVE A 30' (MINIMUM) FLAGPOLE EQUIPPED WITH LIGHT AND AMERICAN FLAG DISPLAYED 24 HOURS A DAY.
- BUILDINGS DO NOT HAVE TO BE IDENTICAL IN DESIGN OR MATERIALS, BUT MUST HAVE COMPARABLE LOOK, COLORS AND THEME.
- SIDEWALKS WILL BE INSTALLED ALONG FRONT OF EACH BUILDING TO PARKING AREAS; SIDEWALKS WILL HAVE A 6" HIGH CURB FACE.
- ALL PARKING AND DRIVE AREAS WILL HAVE A 6" HIGH POURED OR EXTRUDED CONCRETE CURB.
- DIRECTIONAL SIGNAGE WILL NOT BE HIGHER THAN 2.5' IN HEIGHT.
- LOTS 5, 9, 10 AND 11 STRUCTURES WILL HAVE A TOTAL HEIGHT OF NOT MORE THAN 16'.
- LOTS 2, 3, 7 AND 8 STRUCTURES WILL HAVE A TOTAL HEIGHT OF NOT LESS THAN 19'.
- ALL UTILITIES WILL BE UNDERGROUND.

# CITY OF GROVE CITY, OHIO

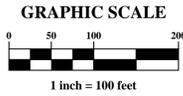
## ALADDIN SHRINE CENTER

### 1801 GATEWAY CIRCLE

### SITE DEVELOPMENT PLAN



**INDEX MAP**  
SCALE: 1" = 100'



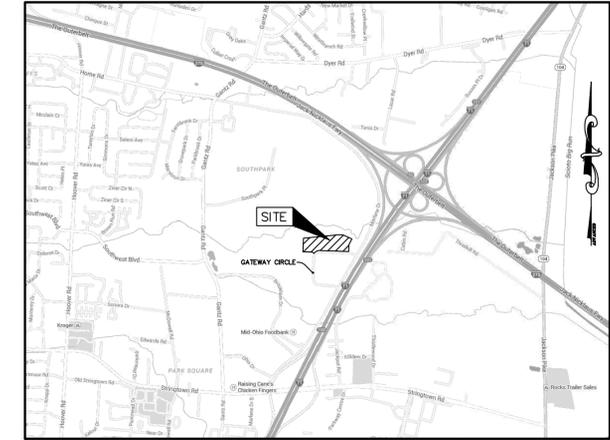
SITE DATA	
SITE AREA	9.163 ACRES (399,140.3 SQ.FT.) (BY SURVEY)
BUILDING AREA	
EXISTING:	12,200 S.F.
WEST ADDITION:	2,325 S.F.
EAST ADDITION:	12,760 S.F.
TOTAL:	27,285 S.F.
CURRENTLY ZONED	PUD-1

PARKING DATA	
PARKING SPACES REQUIRED	273 (1 PER 100 S.F.)
PROPOSED PARKING SPACES PROVIDED (INCLUDES EX.PARKING AREAS TO REMAIN)	221 SPACES
ALTERNATE PARKING SPACES PROVIDED	54 SPACES
TOTAL PARKING SPACES PROVIDED	275 SPACES
H/C PARKING SPACES REQUIRED	7 SPACES
H/C PARKING SPACES PROVIDED	11 SPACES

LOT COVERAGE	
BUILDING	11.3%
PAVEMENT	39.7%
LANDSCAPING/OPENSAPCE	49.0%

**BENCH MARKS**  
FRANKLIN COUNTY NAVD 1988 DATUM

- SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION.
- SITE BM #1 - SOUTH ARROW BOLT ON THE FIRST FIRE HYDRANT WEST OF MARLANE DRIVE ON THE NORTH SIDE OF GATEWAY CIRCLE.  
ELEVATION = 770.45
  - SITE BM #2 - SOUTH ARROW BOLT ON THE SECOND FIRE HYDRANT WEST OF MARLANE DRIVE ON THE NORTH SIDE OF GATEWAY CIRCLE.  
ELEVATION = 771.55
  - SITE BM #3 - SOUTH ARROW BOLT ON THE THIRD FIRE HYDRANT WEST OF MARLANE DRIVE ON THE NORTH SIDE OF GATEWAY CIRCLE.  
ELEVATION = 776.16



**LOCATION MAP**  
NO SCALE

**INDEX OF SHEETS**

TITLE SHEET	1
SITE DIMENSION PLAN	2
UTILITY PLAN	3
SITE GRADING PLAN	4
SITE DETAILS	5
SITE PHOTOMETRIC PLAN	6

**OWNER/DEVELOPER**

ALADDIN SHRINERS HOLDING CORPORATION  
3850 STELZER ROAD  
COLUMBUS, OH 43219  
CONTACT: RON LEONARD  
EMAIL: RLEON95596@GMAIL.COM  
PHONE: 614-778-4168

**ENGINEER**

ADVANCED CIVIL DESIGN, INC.  
422 BEECHER ROAD  
GAHANNA, OH 43230  
CONTACT: DAVID D. DENNISTON, P.E.  
EMAIL: DDENNISTON@ADVANCEDCIVILDDESIGN.COM  
PHONE: 614-428-7750



REGISTERED ENGINEER NO. 51816 DATE

CITY OF GROVE CITY APPROVALS  
"City of Grove City" signatures on this plan signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

CITY ADMINISTRATOR, CITY OF GROVE CITY DATE

SERVICE DIRECTOR, CITY OF GROVE CITY DATE

REVIEWER FOR THE CITY OF GROVE CITY DATE

JACKSON TOWNSHIP FIRE DEPARTMENT DATE



PLAN PREPARED BY:  
ALADDIN SHRINERS HOLDING CORPORATION  
3850 STELZER ROAD  
COLUMBUS, OH 43219

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
**FINAL DEVELOPMENT PLAN**  
FOR  
**ALADDIN SHRINE CENTER**  
TITLE SHEET

No.	Revision	Date	Approved

**PRELIMINARY NOT FOR CONSTRUCTION**

Date: 01/28/2015  
Scale: As Noted

Drawn By: JRS  
Checked By: DDD

Project Number:  
14-0001-669

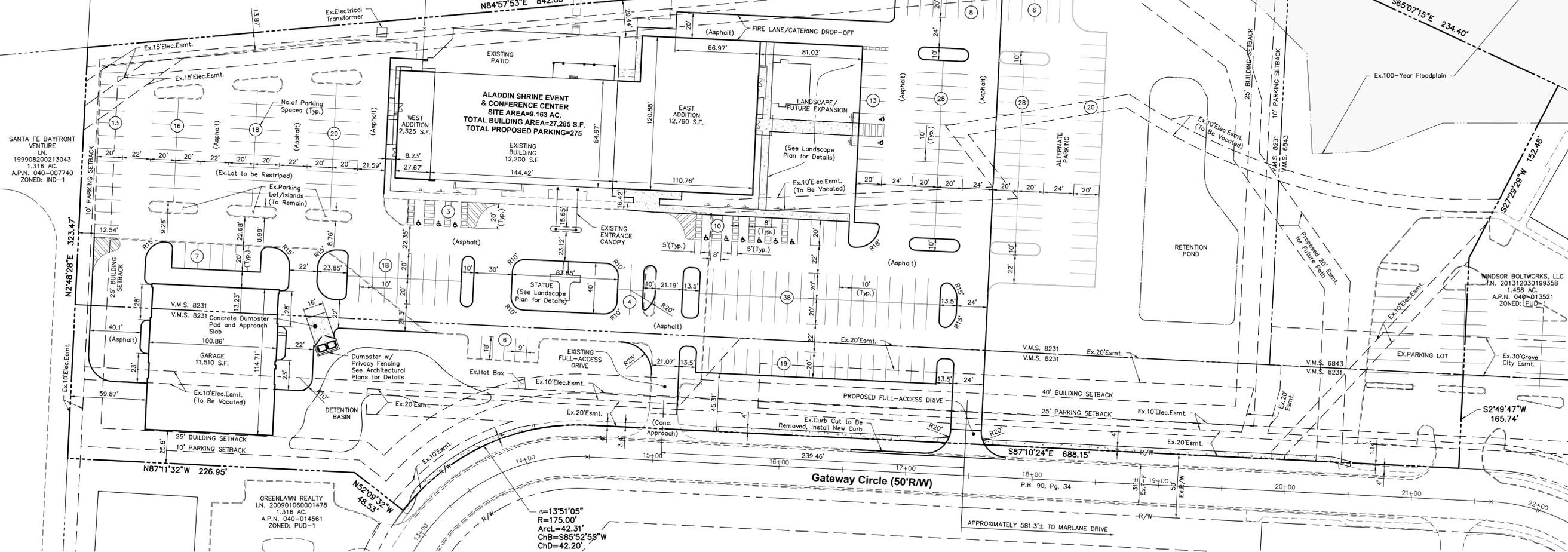
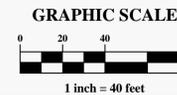
Drawing Number:  
**1 / 6**

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THE CITY OF GROVE CITY  
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A.P.N. 040-007216  
ZONED: IND-1

SANTA FE BAYFRONT  
VENTURE  
I.N. 199908200213043  
1.316 AC.  
A.P.N. 040-007740  
ZONED: IND-1

CITY OF GROVE CITY  
PID: 040-002462  
I.N. 200402030023774  
3.740 AC.  
ZONED: SD-3



PLAN PREPARED BY:  
**ADVANCED CIVIL DESIGN**  
ENGINEERS SURVEYORS

ALADDIN SHRINE EVENT & CONFERENCE CENTER  
3850 STEELER ROAD  
COLUMBUS, OH 43219

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
**FINAL DEVELOPMENT PLAN FOR ALADDIN SHRINE CENTER**  
SITE DIMENSION PLAN

**DEVELOPMENT PLAN REQUIREMENTS**

- A title block in the lower right hand corner containing:
  - "Final Development Plan"
  - Project Title and City Project No.
  - Name and address of Owner
  - Date
- Title block shown on all sheets with required information provided.
- Location Map.
  - LOCATION MAP PROVIDED IN THE UPPER RIGHT CORNER OF SHEET 1.
- North Arrow (up or to the left)
  - NORTH ARROW PROVIDED ON ALL SHEETS IN PROPER ORIENTATION.
- The property dimensions and boundary lines of the site, including total acreage and/or total square footage of site, and approximate distance to the nearest cross street.
  - THE PROPERTY BOUNDARY, TOTAL ACREAGE AND APPROXIMATE DISTANCES ARE SHOWN AND LABELED ON THIS SHEET.
- All existing or proposed building locations on or adjacent to the property, existing structures per the BOCA and Ohio Fire Code and access points on and adjacent to the property. (Chap. 1511)
  - ALL EXISTING BUILDINGS, ACCESS POINTS AND PARKING AREAS ARE SHOWN ON THIS SHEET.
- All setbacks and building lines. (Chap. 1135.10)
  - BUILDING AND SETBACK LINES ARE SHOWN ON THIS SHEET.
- All existing public streets or private drives with street name, right-of-way and pavement width, median openings, and left turn lanes. (Chap. 901)
  - ALL EXISTING ROADWAYS, BOTH PUBLIC AND PRIVATE ARE SHOWN ON THIS SHEET. RIGHT-OF-WAY WIDTHS, LANE CONFIGURATION AND PAVEMENT WIDTHS ARE ALL LABELED.
- All railroad and utility right-of-ways, or easements, parks or other public/open spaces and corporation lines within or adjacent to the tract.
  - NO PARKS OR PUBLIC OPEN SPACES ARE TO BE DEDICATED AS A PART OF THIS DEVELOPMENT.
- Proposed areas of dedication, if necessary, including streets, alleys, easements, or reserves by deed covenant with the condition proposed to the tract (Chap. 1141.01a)
  - NOT APPLICABLE
- Points of ingress and egress to the property including design and spacing of driveways in accordance with Chapter 1105 of the Codified Ordinances.
  - ALL INGRESS AND EGRESS POINTS ON THE PROPERTY ARE SHOWN AND LABELED ON THIS SHEET.

- Existing ground configuration, drainage channels, wooded areas, watercourses, and other significant physical features. (Chap. 1136)
  - EXISTING GROUND CONTOURS ARE SHOWN ON SHEET 4. THERE ARE CURRENTLY NO WOODED AREAS OR WATERCOURSES ON THE PROPOSED SITE.
- Parking area including number and layout of spaces, aisle width, garbage pick-up location (including privacy fencing around dumpster, area, with gates), per Ohio Fire Code and handicapped parking spaces. Calculations of the parking spaces required up. (Chap. 1136, 1511)
  - PROPOSED PARKING IS SHOWN AND LABELED ON THIS SHEET. AISLE WIDTHS AND NUMBER OF SPACES ARE CLEARLY LABELED.
  - PROPOSED DUMPSTER LOCATION AND SCREENING ARE SHOWN ON THIS SHEET WITH ADDITIONAL DETAILS ON ARCHITECTURAL PLANS.
  - PARKING SPACES REQUIRED AND PROVIDED ALONG WITH HANDICAP SPACE CALCULATIONS ARE SHOWN IN THE SITE DATA TABLE PROVIDED ON SHEET 1.
- Screening walls and location, type of screening wall, either living, masonry, or privacy fencing. (Chap. 1136.08)
  - SITE SCREENING IS SHOWN ON THE SITE LANDSCAPING PLAN.
- Indicate all areas to be landscaped, type of landscaping, and total square footage of landscaped areas in accordance with Chapter 1136 of the Codified Ordinances.
  - SEE SITE LANDSCAPING PLAN FOR DETAILS OF ALL PROPOSED LANDSCAPING FEATURES.
- Show all mechanical equipment to be located on exterior of buildings (HVAC, Exhaust Vents, Hoods, etc.). (Chap. 1341)
  - EXTERIOR MECHANICAL EQUIPMENT AND PROPOSED SCREENING IS SHOWN AS PART OF THE ARCHITECTURAL PLANS.
  - ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED BY RAISED PARAPET.
- Existing sewers, water mains, culverts and other underground facilities within the tract, adjacent to the tract, or that will be used in developing the tract, indicating pipe sizes, grades, and locations including fire hydrants existing and proposed. (Chap. 953, 939, 1101)
  - REFERENCE SHEET 4 FOR EXISTING STORM SEWER, WATERLINE AND SANITARY SEWER.
- All proposed water and sewer lines with sizes indicated and location of valves, fire hydrants, manholes, and other appurtenances or structures shown. (Chap. 953, 939, 1101)
  - PROPOSED WATER AND SEWER LINES ALONG WITH VALVES, HYDRANTS, MANHOLES AND OTHER APPURTENANCES ARE SHOWN ON SHEET 4.
- All proposed or existing water and sewer connections, meter locations, size of meters, with meter and/or detector check valve vaults indicated. (Chap. 1101, 1103, 1133, 1307)
  - ALL EXISTING AND PROPOSED CONNECTIONS AND METERS ARE SHOWN ON SHEET 4.

- Finished floor elevation of proposed or existing structures on the site referenced to sea level datum. (Chap. 1101, 1103, 1133, 1307)
  - PROPOSED FINISHED FLOOR ELEVATIONS ARE SHOWN ON SHEET 4. ALL ELEVATIONS SHOWN HEREON ARE BASED ON FRANKLIN COUNTY NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- Existing and proposed contours of the tract in intervals of one foot or less, referenced to sea level datum. (Chap. 1101.05g)
  - EXISTING & PROPOSED CONTOURS ARE SHOWN AT ONE FOOT INTERVALS ON SHEET 4.
- Proposed or existing on and off site inlets, culverts or other drainage structures. (Chap. 1322, 1323)
  - ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES ARE SHOWN ON SHEET 4.
- Proposed signage for the entire site to include permitted square footage of all signs and permitted height and location of pole signs (However, separate application for signage must be approved and sign permit issued.) (Chap. 1101.08)
  -
- Proposed area lighting showing detail of each fixture and height (on building and/or around parking area). (Chap. 1101.03)
  - PROPOSED LIGHT LOCATIONS AND FIXTURE DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN, SHEET 6.
- Zoning of the property as it now stands and the zoning proposed, if it is being requested to be changed. (Chap. 1101)
  - THE SITE IS CURRENTLY ZONED PUD-1 AND NO ZONING CHANGES ARE BEING REQUESTED.
  - THE ZONING LIMITATION TEXT IS SHOWN ON SHEET 1.
- Proposed use of the site or buildings. (Chap. 1101.08)
  - PROPOSED MAIN BUILDING WILL BE USED FOR EVENTS, CONFERENCES AND OTHER SHRINER FUNCTIONS. THE GARAGE WILL BE USED FOR PARKING OF SHRINER VEHICLES, TRAILERS, ETC.
- Storm water retention in accordance with section. (Chap. 1135.10)
  - TWO STORMWATER MANAGEMENT BASINS ARE PROVIDED ONSITE TO COMPLY WITH STORMWATER REQUIREMENTS FOR THIS DEVELOPMENT.
- Size of the building (square footage). See Table 1135.10-I, 1135.12-II and 1135.14-III.
  - THE BUILDING SIZES ARE SHOWN ON THIS SHEET.
- Height of all structures including site lighting. (Chap. 1101)
  - THE BUILDING HEIGHT IS SHOWN ON THE ARCHITECTURAL ELEVATIONS PROVIDED.

SITE LIGHTING DETAILS ARE SHOWN ON SHEET 6 OF THE SITE PHOTOMETRIC PLAN.

- Number of living units, by number of bedrooms, if applicable. (Chap. 1135.10g(7))
  - THE ARE NO RESIDENTIAL LIVING UNITS PROPOSED FOR THIS DEVELOPMENT.
- A certificate by a registered land surveyor or engineer that the premises covered by the plan have been surveyed, that the plan is correct, and that the monuments shown on the plat will be set in accordance with Section 1101.051.
  - THE LOT LINES REFLECT THE LOT DIMENSIONS ON ALTA SURVEY AS PREPARED BY AN OHIO LICENSED SURVEYOR.
- Color rendering of building(s), complete with listing of all colors, including Pantone 1999-2000 Reference Numbers or if Pantone is not available, the manufacturer's reference/serial number with sample, and materials, with samples to be used. (c-39-00; passed 5/12/00)
  - COLOR RENDERINGS ARE INCLUDED.
- Compliance to National Flood Insurance Program Community Panels No. 390173-0001 through 4. Show 100-year flood plain. (Chap. 1329)
  - THE PROPOSED SITE LIES WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN PER FEMA PANEL #3904900318K, DATED JUNE 17, 2008. THE 100-YEAR FLOODPLAIN IS SHOWN HATCHED ON THIS SHEET.
- Site plan to be signed by an engineer or surveyor registered in the State of Ohio. (Chap. 1101.05)
  - REGISTERED ENGINEER SIGNATURE PROVIDED ON SHEET 1.
- Signature block.
  - SIGNATURE BLOCK PROVIDED ON SHEET 1 WITH REQUIRED MUNICIPAL SIGNATURE BLOCKS.
- Compliance with Historical Preservation Area requirements, if applicable, Chapter 1138 of the Codified Ordinances.
  - NOT APPLICABLE
- A narrative description of the project of at least one paragraph in length.
  - PROJECT NARRATIVE ATTACHED WITH SUBMITTAL.

NOTES:  
ALL PAVEMENT MARKINGS AND STRIPING SHALL BE WHITE.  
ALL RADII ARE 5', UNLESS OTHERWISE NOTED.  
A KNOX BOX SHALL BE PROVIDED AND LOCATED UPON THE BUILDING IN CONJUNCTION WITH THE JACKSON TOWNSHIP FIRE DEPARTMENT  
DIMENSIONS PROVIDED ARE FROM FACE OF CURB TO FACE OF CURB WHEN DIMENSIONED FROM CURB.

ALTERNATE PARKING AREA  
A SEPARATE PRICE WILL BE OBTAINED DURING BIDDING FOR THIS ALTERNATE PARKING AREA. IF THE COST FITS WITHIN THE PROJECT BUDGET, IT WILL BE INSTALLED WITH INITIAL SITE CONSTRUCTION. IF NOT, THE CONSTRUCTION OF THIS PARKING AREA WILL BE POSTPONED TO AN INDETERMINATE TIME.

No.	Revision	Date	Approved
<b>PRELIMINARY NOT FOR CONSTRUCTION</b>			
Date: 01/28/2015			
Scale: 1" = 40'			
Drawn By:	JRS	Checked By:	DDD
Project Number: 14-0001-669			
Drawing Number: 2/6			

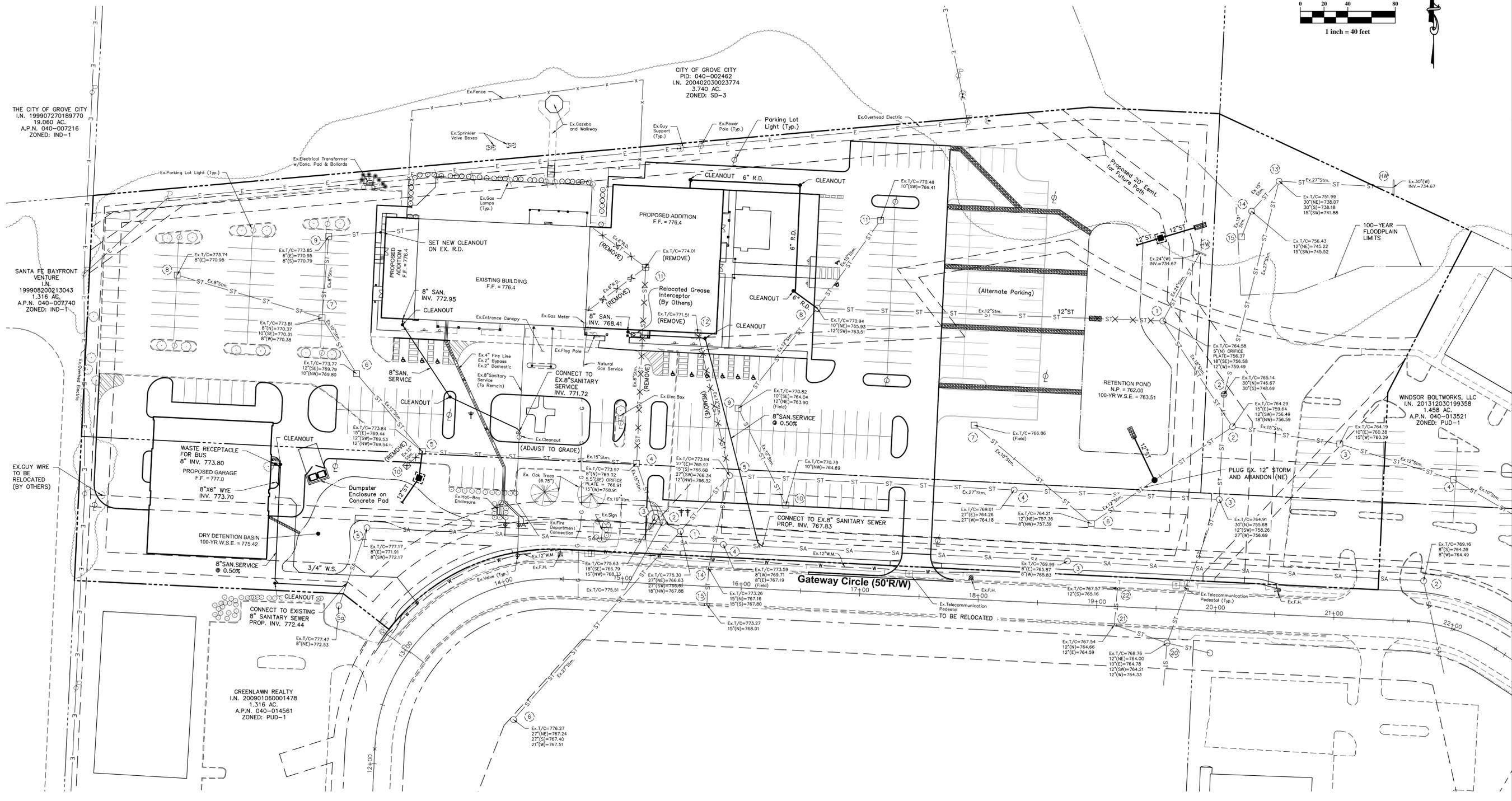
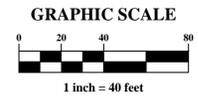
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THE CITY OF GROVE CITY  
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19.060 AC.  
A.P.N. 040-007216  
ZONED: IND-1

SANTA FE BAYFRONT VENTURE  
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1.316 AC.  
A.P.N. 040-007740  
ZONED: IND-1

GREENLAWN REALTY  
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1.316 AC.  
A.P.N. 040-014561  
ZONED: PUD-1

CITY OF GROVE CITY  
PID: 040-002462  
I.N. 200402030023774  
3.740 AC.  
ZONED: SD-3



LEGEND	
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING NATURAL GAS MAIN/SERVICE
	EXISTING TELECOMMUNICATIONS AND EQUIPMENT
	EXISTING FENCE
	EXISTING LIGHT
	PROPOSED LIGHT
	ITEM TO BE REMOVED

- NOTES:
- FOR DETAILED SITE GRADING INFORMATION, SEE SHEET 4.
  - FOR DETAILED SITE LIGHTING, SEE SHEET 6.
- † CONTRACTOR TO EXPOSE FIRE AND DOMESTIC WATERLINES TO VERIFY VERTICAL LOCATION PRIOR TO CONSTRUCTING SANITARY SERVICE.
- †† DOWNSTREAM DEFENDER WATER QUALITY STRUCTURE.

PLAN PREPARED BY:  
**ADVANCED CIVIL DESIGN**  
ENGINEERS SURVEYORS  
429 Blecker Road  
Gahanna, Ohio 43230  
ph 614.428.7760  
fax 614.428.7755

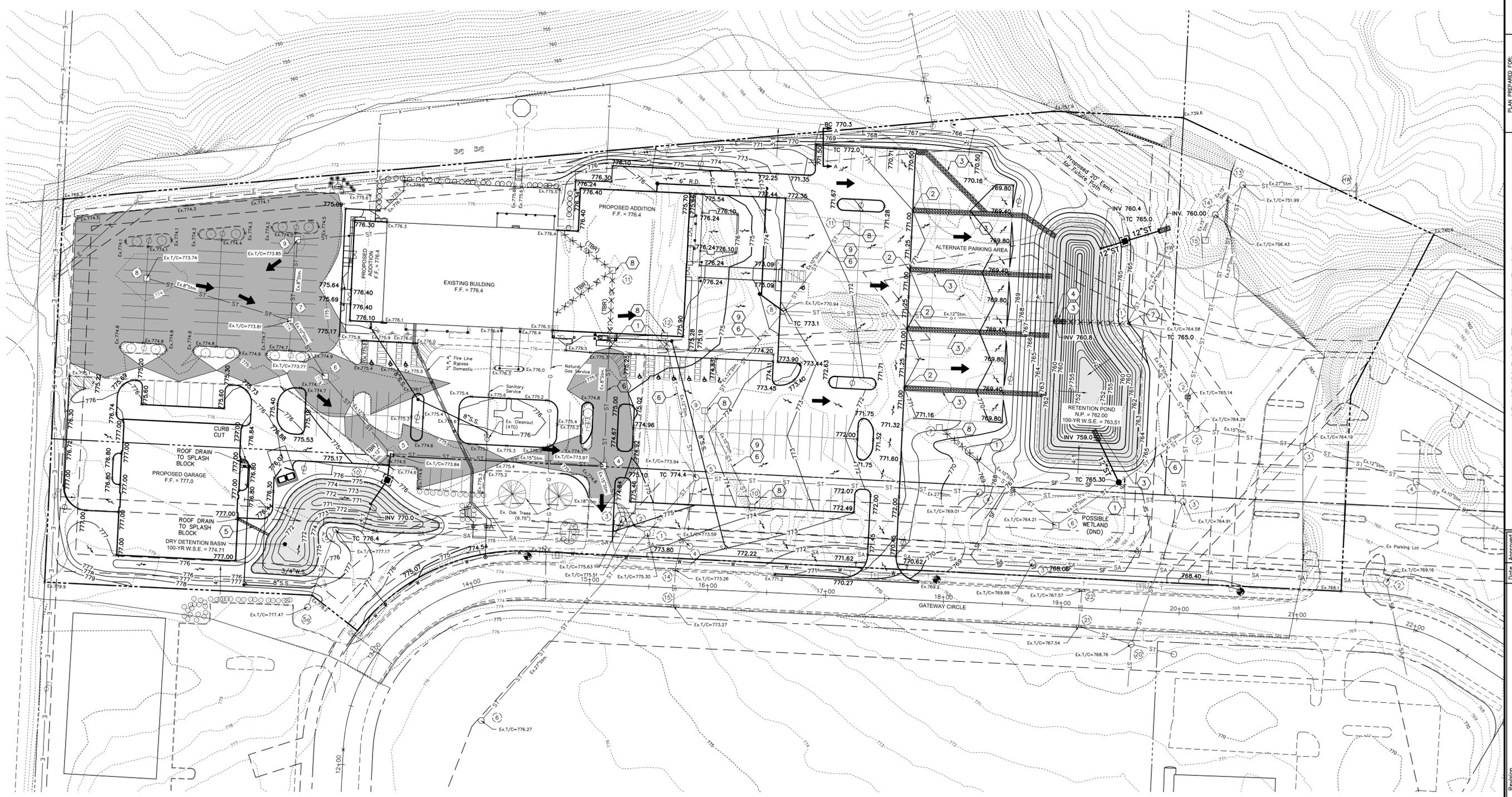
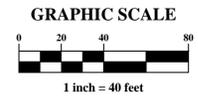
ALADDIN SHRINE CENTER  
PRODUCTION  
3860 STEELER ROAD  
COLUMBUS, OH 43219

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
**FINAL DEVELOPMENT PLAN**  
FOR  
**ALADDIN SHRINE CENTER**  
UTILITY PLAN

Date Approved: \_\_\_\_\_  
Revision: \_\_\_\_\_  
**PRELIMINARY NOT FOR CONSTRUCTION**

Date: 01/28/2015  
Scale: 1" = 40'  
Drawn By: JRS  
Checked By: DDD  
Project Number: 14-0001-669  
Drawing Number: 3 / 6

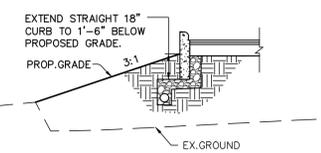
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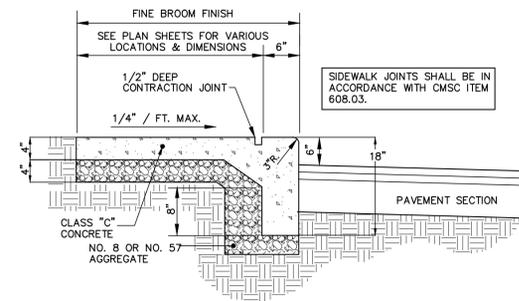


**LEGEND**

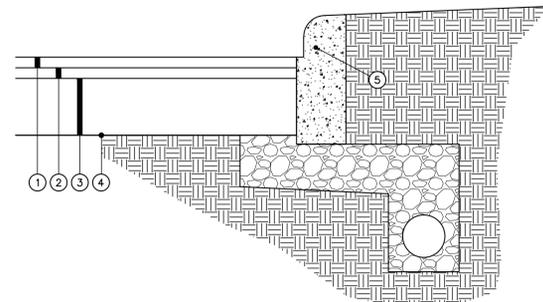
-875-	EXISTING MAJOR CONTOUR	SA	Manhole	EXISTING SANITARY SEWER
-876-	EXISTING MINOR CONTOUR	ST	Curb Inlet	EXISTING STORM SEWER
x 776.40	SPOT ELEVATION	CB	Catch Basin	EXISTING NATURAL GAS MAIN/SERVICE
→	MINOR FLOW	G	G	EXISTING TELECOMMUNICATIONS AND EQUIPMENT
→	MAJOR ROUTING PATH	WA	Manhole	EXISTING 100 YEAR PONDING AREA
Hydrant	EXISTING WATER MAIN			

- CODED NOTES**
- 1 CUT AND PLUG EXISTING STORM SEWER.
  - 2 PROVIDE 3'-0" WIDE CURB OPENING FOR DRAINAGE.
  - 3 PROVIDE ROCK CHANNEL PROTECTION, TYPE C.
  - 4 CUT EXISTING 12" PIPE AND INSTALL ENDWALL ON END OF PIPE.
  - 5 PROVIDE ROCK CHANNEL PROTECTION, TYPE D.
  - 6 EXISTING STORM SEWER TO REMAIN IN PLACE.
  - 7 PLUG HOLE IN EXISTING MANHOLE FROM REMOVED PIPE.
  - 8 REMOVE STORM SEWER STRUCTURE.
  - 9 ALTERNATE TO NO. 6: EXISTING STORM SEWER TO BE CAPPED AND FILLED WITH FLASH FILL.



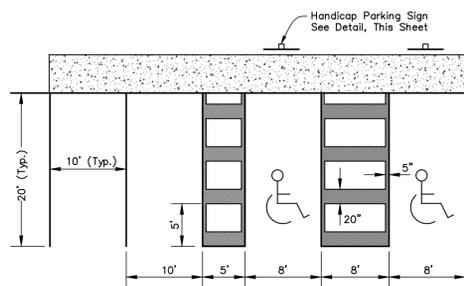


**COMBINED CURB AND WALK**  
NO SCALE

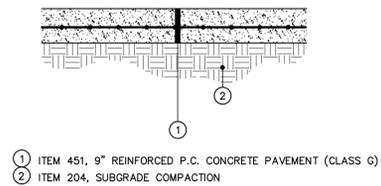


- ① ITEM 448, 1 1/2" ASPHALT CONCRETE - SURFACE COURSE
- ② ITEM 448, 1-1/2" ASPHALT CONCRETE - INTERMEDIATE COURSE
- ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
- ④ ITEM 204, SUBGRADE COMPACTION
- ⑤ ITEM 609, STRAIGHT 18" CURB, CITY OF GROVE CITY STD.DWG. C-GC-58

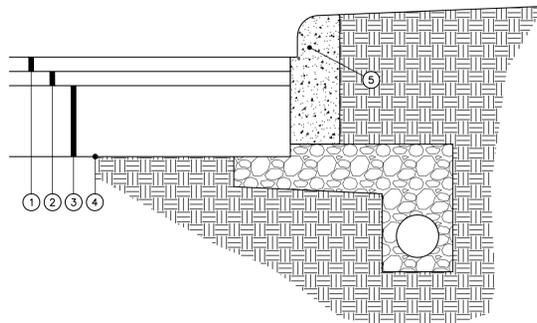
**TYPICAL LIGHT DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)**  
NO SCALE



**TYPICAL HANDICAP PARKING DIMENSIONS**  
NO SCALE

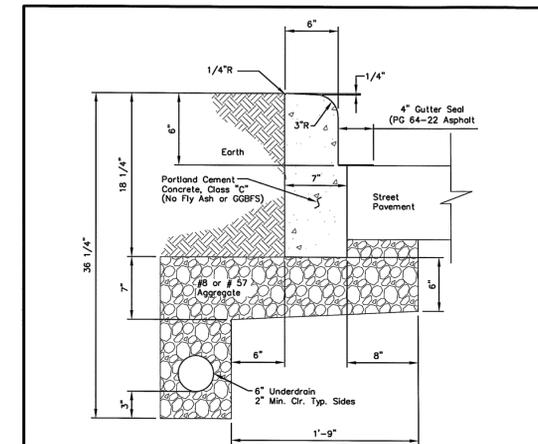


**DUMPSTER PAD PAVEMENT SECTION**  
NO SCALE



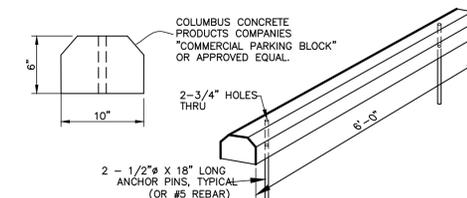
- ① ITEM 448, 2" ASPHALT CONCRETE - SURFACE COURSE
- ② ITEM 448, 2" ASPHALT CONCRETE - INTERMEDIATE COURSE
- ③ ITEM 304, 10" CRUSHED AGGREGATE BASE
- ④ ITEM 204, SUBGRADE COMPACTION
- ⑤ ITEM 609, STRAIGHT 18" CURB, CITY OF GROVE CITY STD.DWG. C-GC-58

**TYPICAL HEAVY DUTY PAVEMENT SECTION (DRIVEWAYS AND PARKING AREAS)**  
NO SCALE

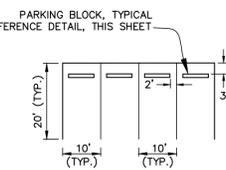


- NOTES**
- All exposed surfaces of concrete curb to be float finished.
  - Gutter seal payment shall be included in price bid per ton for item 448, asphalt concrete.
  - The letter "W" shall be imprinted into the curb directly opposite all water service boxes and the letter "M" shall be imprinted opposite all water line valves, including fire hydrant watch valves. Letters shall be 3 inches high and wide with 1/4-inch thick bars imprinted 1/2-inch into the face of the curb 2-1/2 inches above the gutter.

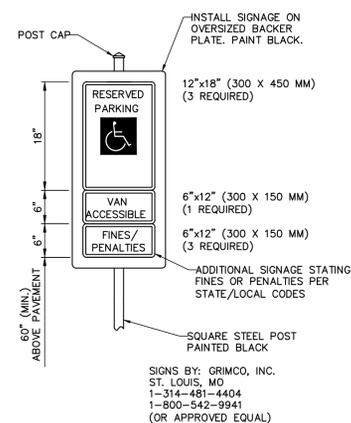
STRAIGHT 18" CONCRETE CURB	CITY OF GROVE CITY, OHIO		
	STANDARD CONSTRUCTION DRAWING		
	Effective Date 5-11-05	Revision Date 11-15-05	Dwg. No. C-GC-58



**PARKING BLOCK DETAIL**  
NO SCALE



**PARKING BLOCK LOCATION DETAIL**  
NO SCALE



**CITY OF GROVE CITY TRAFFIC CONTROL SIGNAGE DETAIL**  
NO SCALE  
\*THIS DETAIL SHALL BE FOLLOWED FOR ALL TRAFFIC CONTROL SIGNS ON SITE

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS  
422 Blecker Road, Gahanna, Ohio 43230, ph 614.428.7790, fax 614.428.7795

PLAN PREPARED FOR: ALADDIN SHRINE CENTER PROPOSITION, 3850 STELZER ROAD, COLUMBUS, OH 43219

CITY OF GROVE CITY, FRANKLIN COUNTY, OHIO  
FINAL DEVELOPMENT PLAN FOR ALADDIN SHRINE CENTER  
SITE DETAILS

No.	Revision	Date	Approved

**PRELIMINARY NOT FOR CONSTRUCTION**

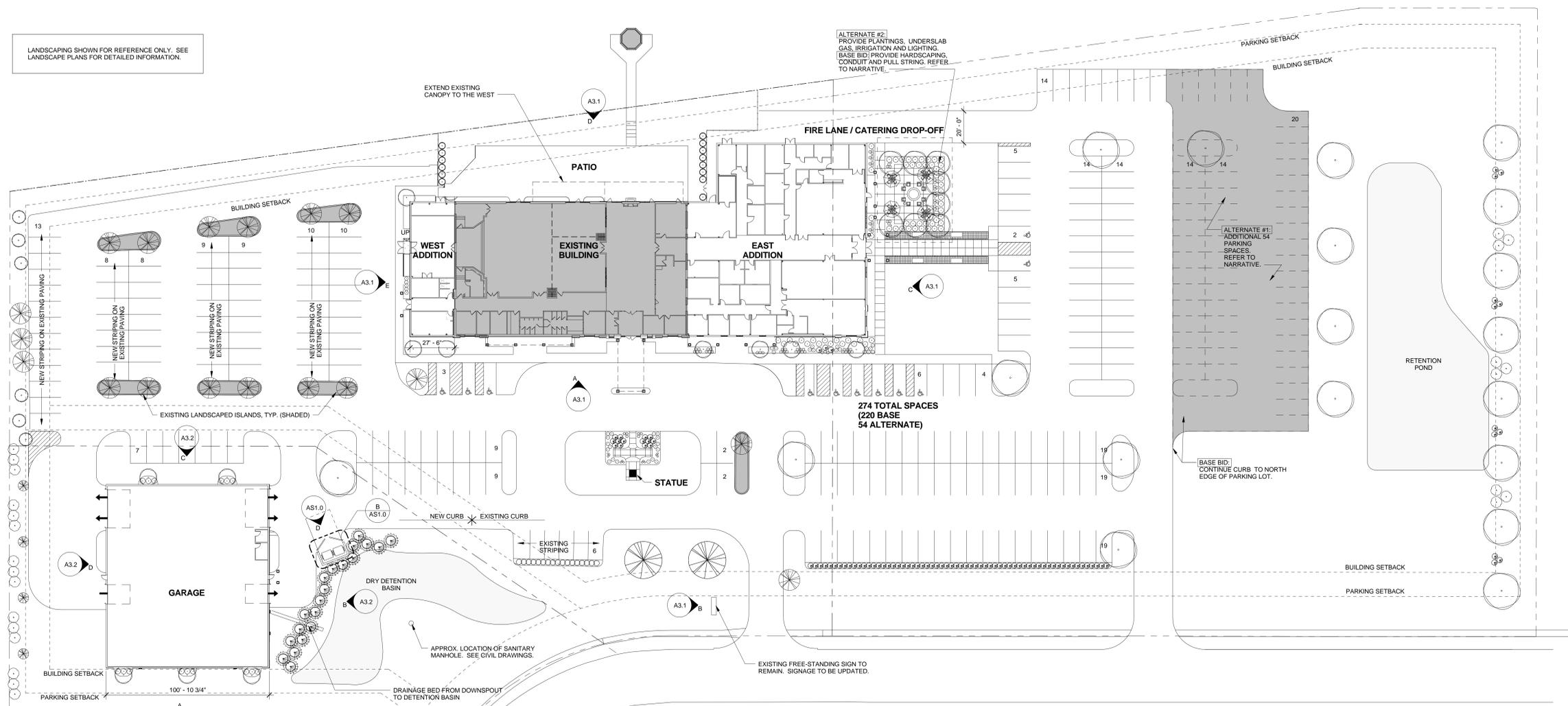
Date: 01/28/2015  
Scale: NONE  
Drawn By: JRS  
Checked By: DDD  
Project Number: 14-001-669  
Drawing Number: 5/6





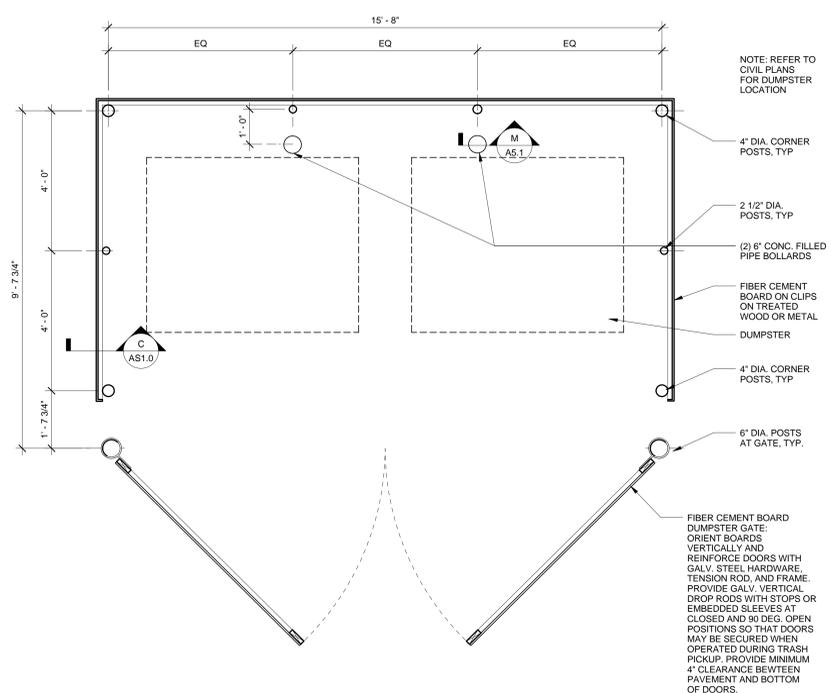




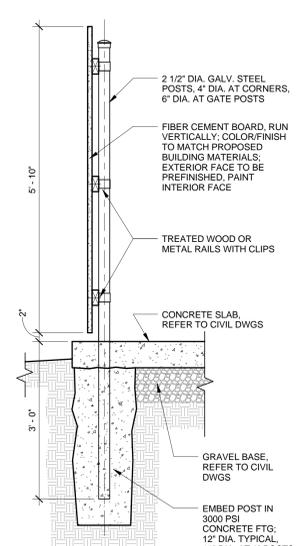


**A ARCHITECTURAL SITE PLAN - NEW WORK**

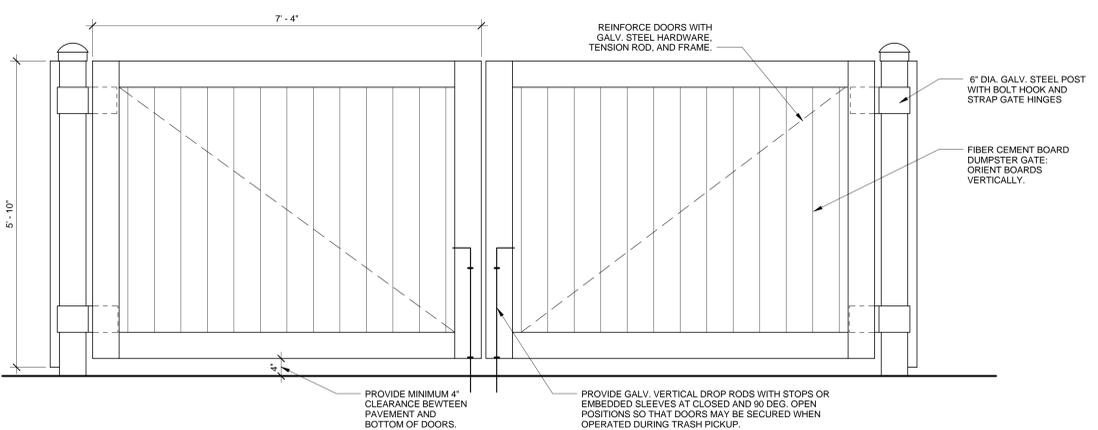
BASE BID: ZONING/SITE/PARKING ANALYSIS			ALTERNATE: ZONING/SITE/PARKING ANALYSIS		
<b>BUILDING INFORMATION:</b>			<b>BUILDING INFORMATION:</b>		
PROPOSED BUILDING:	12,200 SF	BUILDING SETBACKS:	PROPOSED BUILDING:	10,350 SF	BUILDING SETBACKS:
EXISTING:	2,325 SF	FRONT:	EXISTING:	2,325 SF	FRONT:
WEST ADDITION:	12,780 SF	SIDE:	WEST ADDITION:	12,780 SF	SIDE:
EAST ADDITION:	27,285 SF	REAR:	EAST ADDITION:	27,285 SF	REAR:
TOTAL:	27,285 SF		TOTAL:	27,285 SF	
PROPOSED BUILDING HEIGHT:	24'	PARKING SETBACKS:	PROPOSED BUILDING HEIGHT:	23'-0"	PARKING SETBACKS:
ZONING DISTRICT NAME:	PUD-1	FRONT:	ZONING DISTRICT NAME:	PUD-1	FRONT:
PID:	040-004147	SIDE:	PID:	040-004147	SIDE:
PARKING SUGGESTED:	1 SPACE FOR 100 S.F.	REAR:	PARKING SUGGESTED:	1 SPACE FOR 100 S.F.	REAR:
PARKING SPACE SIZE:	10' X 20'		PARKING SPACE SIZE:	10' X 20'	
PARKING SPACES SUGGESTED:	273		PARKING SPACES SUGGESTED:	273	
PARKING SPACES PROVIDED:	209		PARKING SPACES PROVIDED:	263	
STANDARD SPACES:	11		STANDARD SPACES:	11	
HANDICAP SPACES:	220 (BASE)		HANDICAP SPACES:	274	
TOTAL:	220 (BASE)		TOTAL:	274	



**B DUMPSTER ENCLOSURE PLAN**



**C FENCE DETAIL**

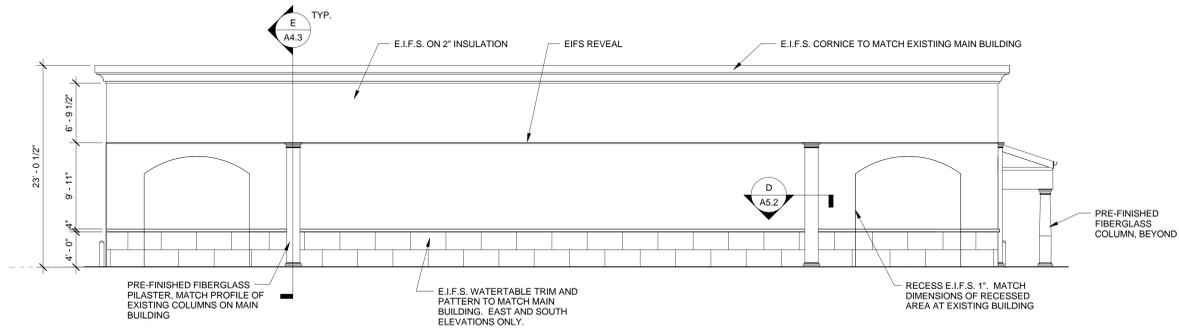


**D DUMPSTER ENCLOSURE ELEVATION**

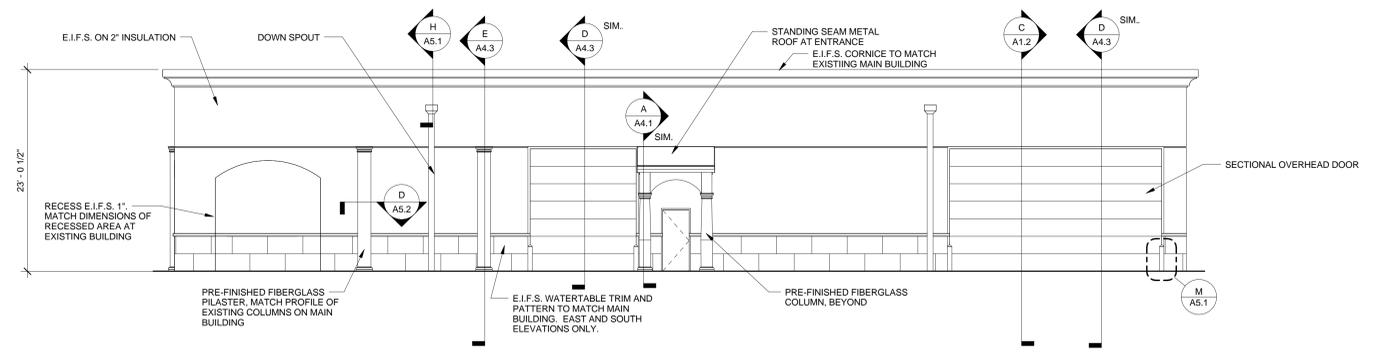
REVISIONS		NOT FOR CONSTRUCTION
NO.	DATE	

PREPARED FOR: <b>NEW ALADDIN SHRINE CENTER</b> ALADDIN SHRINERS 1801 GATEWAY CIRCLE GROVE CITY, OHIO 43123	COMM. NO. 2014.056C PHASE: FINAL DEVELOPMENT PLAN SUBMITTAL	
PREPARED BY: 614 785 0505 614 785 0202 <b>DAVIS WINCE Ltd</b> ARCHITECTURE 1466 Manning Parkway • Powell, OH 43065 www.daviswince.com	DATE: 1-28-2015	
ARCHITECTURAL SITE PLAN		SHEET NO. <b>AS1.0</b>

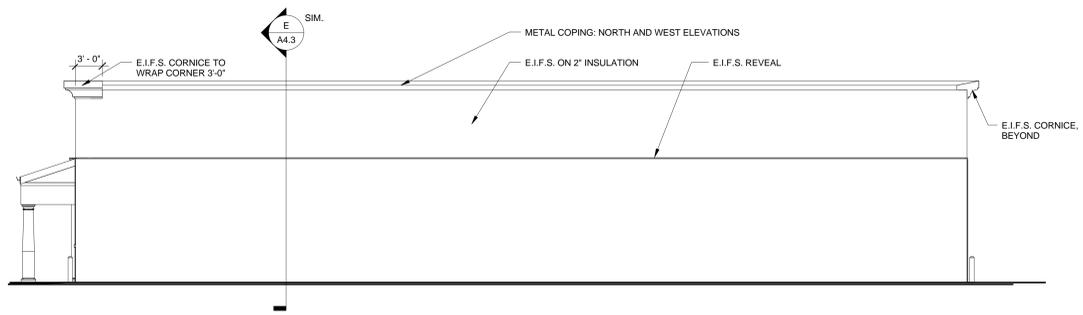




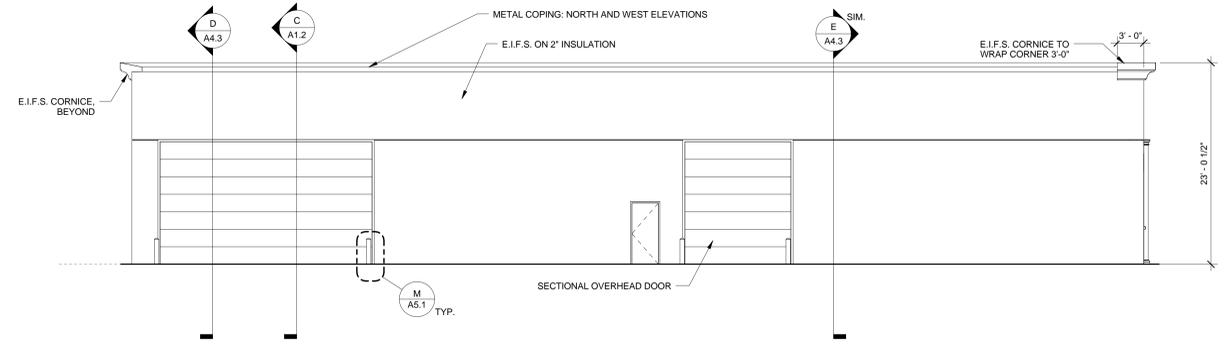
**A SOUTH ELEVATION - GARAGE**



**B EAST ELEVATION - GARAGE**



**C NORTH ELEVATION - GARAGE**

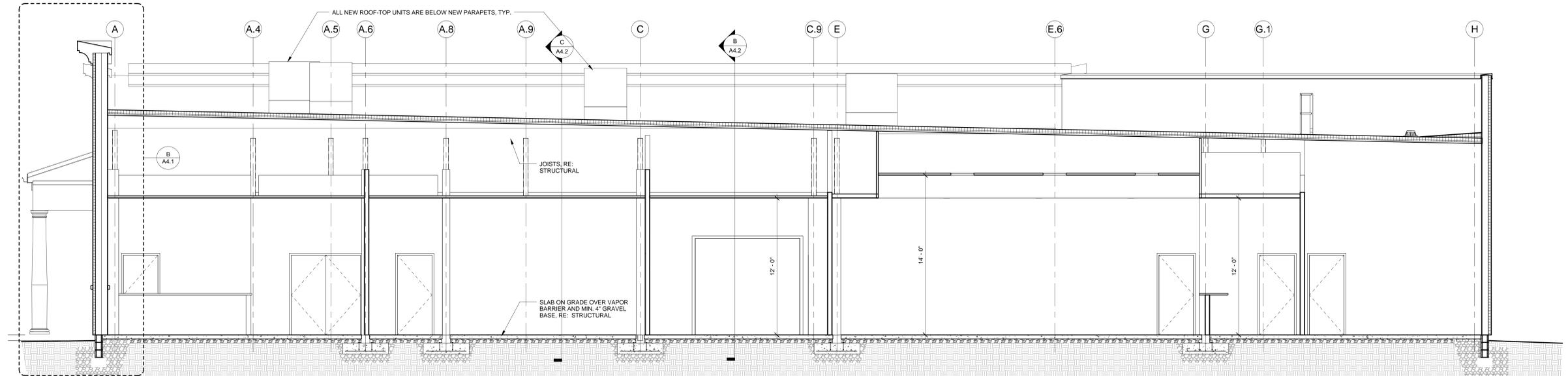


**D WEST ELEVATION - GARAGE**

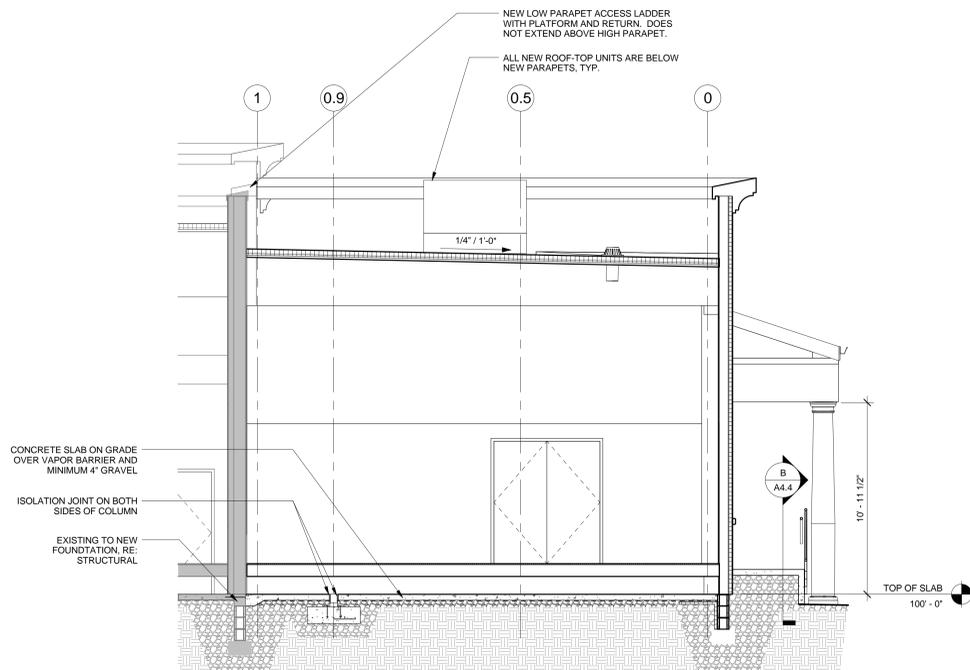
REVISIONS		NOT FOR CONSTRUCTION	
NO.	DATE		DESCRIPTION

PREPARED FOR: <b>NEW ALADDIN SHRINE CENTER</b> ALADDIN SHRINERS 1801 GATEWAY CIRCLE GROVE CITY, OHIO 43123		COMM. NO. 2014.056C
PREPARED BY: <b>DAVIS WINCE Ltd</b> ARCHITECTURE 1466 Manning Parkway • Powell, OH 43065 www.daviswince.com		PHASE: FINAL DEVELOPMENT PLAN SUBMITTAL
SHEET TITLE: <b>BUILDING ELEVATIONS - GARAGE</b>		DATE: 1-28-2015
SHEET NO.:		<b>A3.2</b>



**A** BUILDING SECTION - EAST ADDITION



**B** BUILDING SECTION - WEST ADDITION



REVISIONS		NOT FOR CONSTRUCTION	
NO.	DATE		DESCRIPTION

PREPARED FOR: <b>NEW ALADDIN SHRINE CENTER</b> ALADDIN SHRINERS 1801 GATEWAY CIRCLE GROVE CITY, OHIO 43123	COMM. NO. 2014.056C PHASE: FINAL DEVELOPMENT PLAN SUBMITTAL	
PREPARED BY: TEL 614 785 0505 FAX 614 785 0202 <b>DAVIS WINCE Ltd</b> ARCHITECTURE 1466 Manning Parkway • Powell, OH 43065 www.daviswince.com	DATE: 1-28-2015	
SHEET TITLE: <b>BUILDING SECTIONS</b>		SHEET NO. <b>A4.0</b>

## Architectural Design Narrative

**Project:** New Aladdin Shrine Center  
**DW Project No.:** 2014.056C  
**Phase:** Construction Documents  
**Date:** January 28, 2015

### Project Description:

This project consists of is the construction of two new one-story additions onto an existing pre-engineered metal building. The additions consist of new office, kitchen, storage and lounge spaces to enhance the existing event space building and serve the needs of the Aladdin Shrine.

The existing building is 12,200 square feet. The East addition adds 12,760 square feet, and the west addition adds 2,325 square feet for a total of 27,285 square feet for the main building. The new additions are designed to mimic the look of the existing building matching the existing EIFS finish and detailing as well as the existing metal panel finish on the north side. The new windows, doorways and sidelights will match the existing white aluminum storefront systems. The additions will have high parapets on all sides of the roof to screen all rooftop units and any other equipment.

The existing open concrete patio area to the north of the building will be modified to double the area of the shelter which will be utilized for outdoor gatherings. This will be open on three sides for the majority of its use.

The zoning classification of the area is PUD-I. The existing parking area will be expanded to meet the needs of the new owner, The Aladdin Shrine Center. 220 parking spaces are included in the final parking layout plan which consist of a combination of new and existing parking. An additional 54 spaces are included in the site plan as an alternate to the base bid.

Also included in on the site will be a new parking garage to serve the needs of the Aladdin Shrine. This building will be pole barn construction with an exterior finish to match that of the main building. The east and south elevations will be the most visible from Gateway Circle, and will include architectural details to match the main building.

### Construction Type:

Type IIB (Main Building)  
Type VB (Garage)

### Occupancy Type:

A-3 Assembly Fraternal Organization (Main Building)  
S-2 Low Hazard Storage (Garage)

### Construction Systems:

Foundations:

- Cast-in-place concrete footings with 8" CMU foundation walls
- 2" of continuous insulation shall be provided over fluid-applied water-proofing on the interior side of below-grade CMU foundation walls

Building Frame:

- Structural steel
  - Tube Steel Columns with Wide Flange Beams and steel joists (pre-engineered wood trusses at the garage)
  - Moment Frames for Wind Bracing where indicated on Structural Plan.

Floors:

- Main Building: Slab on grade (4" concrete over vapor barrier and gravel aggregate)
- Garage: Slab on Grade (5" concrete typical, 7" concrete at location of large vehicle storage)

Exterior Walls (from exterior to interior):

- Typical new Wall type:
  - EIFS finish coat and base coat (replace with metal panels at North elevation only)
  - 2" continuous rigid insulation
  - Weather barrier
  - 5/8" exterior gypsum sheathing (DensGlass)
  - 6" engineered metal studs with R-19 batt insulation
  - Wall board
- Scored EIFS water table to match existing building
- EIFS cornice to match existing

Exterior Openings:

- Punched openings shall be white aluminum storefront. Storefront Finishes to match existing.
- Glass shall be 1" insulated glazing with argon air space
- Doors at storefront walls shall be full glazed with wide stile rails
- Solid doors shall be hollow metal, insulated with polystyrene core.

Exterior Canopies:

- Shall generally match existing similar construction:
  - EIFS detailing and EIFS ceiling with can lights.
  - Standing seam metal roofs.
  - Pre-finished fiberglass columns and pilasters (white)

Building Lighting:

- Main lighting will be under canopies – recessed can lights
- Exterior lighting over hollow metal doors to match existing on west elevation

Roof:

- 45 Mil EPDM Membrane Roofing
- Rigid insulation tapered and sloped to interior roof drains; insulation shall be minimum 4" thickness at all locations to achieve R-20ci
- 1 ½" metal roof deck
- Walk-off pads shall be provided near roof top equipment

January 28, 2015

Ms. Kimberly Shields, AICP  
Planning / GIS Specialist  
City of Grove City  
4035 Broadway  
Grove City, OH 43123

RE: Aladdin Shrine Center – 1801 Gateway Circle  
Final Development Plan Resubmittal  
Application Control Number #201501050002

Dear Kimberly,

With this letter we are resubmitting the Final Development Plan for the Aladdin Shrine Center. We have reviewed the comments provided in your letter dated January 16, 2015, and offer the following responses for your consideration:

***Development Department (Kimberly Shields, 614-277-3007)***

1. The development standards should be removed from sheet 1/6 and replaced with the zoning restrictions approved with C-66-98.

**- Development standards removed and replaced with stated zoning restrictions**

2. The City's approved bikeway planning map shows a future recreational trail over the city-owned property to the north. In order to promote connectivity, a minimum 20' easement should be placed over the eastern boundary of the site for the future installation of a bike path to connect to this trail. The easement alignment may vary to avoid the pond, headwalls and other proposed improvements. If necessary the proposed and/or existing improvements will need to be reconfigured or adjusted to accommodate this future bike path.

**- Easement provided for future bike path**

3. The proposed development currently spans three properties. The three parcels should be combined to eliminate setback conflicts.

**- It is our client's intent to eventually combine the three parcels. At this time, however, part of the parking lot and driveway entrance for the property to the east encroaches on the eastern portion of the three Aladdin parcels. A lot split is likely for transfer of that portion of the eastern property to the adjacent owner. Once this issue has been resolved, the remaining parcels can be combined.**

4. A detailed sign package should be submitted for the proposed development with details (design, dimensions, colors) of all proposed building and site signage. The sign is located in a PUD district, in which signs are approved in the development plan process. If signage is not submitted with revised materials, a development plan amendment will need to be submitted in the future with proposed signage. Note 6F (Signage and Graphics) states that ground signs are permitted to have a maximum height of ten (10) feet above grade, exceeding the eight (8) foot height permitted in the zoning text for the site (C-66-98).

**- Per conversation between the architect, Julie Delos Santos, and Kyle Rauch with Grove City, the signage package is not required to be submitted for review if we are in compliance with the zoning signage requirements stated in section 1145 of the zoning code. We are in compliance with these requirements. The total planned building signage square footage is 170 SF (200 allowable.) Our free-standing sign utilizes the existing free-standing sign currently on the site, and only updates the signage. A drawing of the proposed signage is included with this submittal for information only. Reference drawing 1.1 in the final submittal.**

5. A note should be added to item number 15 on sheet 2/6 that all rooftop mechanicals will be screened by raised parapet.

**-Note added**

6. Phasing for the proposed project should be discussed in the project narrative. Future parking is shown east of the primary parking lot but no indication on when this parking lot is to be installed is given. Additionally, on sheet AS1.0 this area is referred to as “Alternate Parking” please clarify the intent of this area, if it is to be future parking the annotation should be changed to reflect that on sheet 2/6.

**- The parking area should be labeled on all plans as “Alternate Parking”. The intent is to obtain a separate price during bidding for this “Alternate” area to determine if the project budget will allow for the additional cost at this time. If not, the construction of those parking spaces will be postponed to an indeterminate time. This information has been added as a note on the plan.**

7. The decorative EIFS trim is not shown on the color building elevations (1.1) but is displayed on the black and white building elevations A3.1. Color elevations should be amended to show the trim extended around the north side of the building.

**- Due to budgetary restrictions, the North elevation of the new additions are now planned to match the existing metal siding. See the updated colored building elevation on sheet 1.1 as well as the updated black and white elevations on A3.1. There is a potential for this elevation to be constructed in EIFS finish should the final budget allow it. However, the base bid is metal siding.**

8. On sheet AS1.0, plans show a striped parking peninsula northwest of the garage facility. This is contradictor to sheet 2/6 which shows it curbed. Per chapter 1136 all parking lot peninsulas and islands are to be landscaped.

**- This area was intended to be a striped island and has been corrected on sheet 2/6 of the Final Development Plan**

9. Perimeter building landscaping should be added on the north side of the proposed garage to break up the building elevation.

**- Refer to the Landscape Plan and Plan Notes Item numbers D. and E.**

10. The dumpster should be finished with the same level of detail/treatment as the primary structure, with a combination finish of masonry finish and EIFS materials.

**- Per conversation with Kyle Rauch with Grove City, he is willing to support the enclosure being constructed of hardy plank due to budgetary and maintenance concerns. This is acceptable only if it is screened by the placement of additional landscaping. Landscaping shall be provided in an appropriate species and quantities with appropriate installation heights to provide a minimum opacity of 80% or greater. See the attached updated landscape plans showing compliance.**

11. Per the City's Public and Private Pond Design Standards, the proposed detention basin should be a wet pond with a permanent normal pool. Staff would be supportive of a deviation to allow for the dry basin due to its proximity to the street and sanitary sewer provided the facility comply with the landscape requirements as 1136.10.

**-Per a conversation with Mike Keller of EMH&T, this basin is acceptable as a dry detention facility. See response for Item 19 below and Landscaping Plan for proposed landscaping.**

*Urban Forestry (Jodee Lowe, 614-277-1103)*

12. 1136.05(b) Tree Inventory needs to be done for all trees on the property that are 6" in caliper or larger. Tree Preservation information must be added to notes on Landscape Plan

**- Tree preservation notes have been added to the Landscape Plan, see City Standard note number 1. There are two Oak trees that are larger than 6" in caliper. All other trees are less than 6" in caliper. Tree protection fence has been shown around the two oak trees, trees near construction areas, and landscaping around the front of the building.**

13. 1136.06 (b) Rear and Side Yards Adjacent Compatible Use Districts: One 2" minimum caliper tree and two 18" height deciduous shrubs are to be planted every 40 lineal feet of property line for all vehicular use areas.

**- Refer to Landscape Plan for plantings along the existing west property line and proposed east property line, which will be established upon resolution of Item No. 3 above. The north property line is wooded, therefore additional trees or shrubs will not be added. Refer to the Plan Notes item numbers A., B., and C.**

14. 1136.06 (d) Interior Vehicular Use Area: Each peninsula, island, aisle end island or planting area is to contain at least one 2" minimum caliper large or medium class tree.

**- Refer to Landscape Plan for plantings in peninsula, island, aisle end island or planting areas. There are 21 such islands with 14 existing oak and maple trees. 7 proposed trees have been added to the plan in areas wider than eight feet.**

15. 1136.08 Screening of Service Structures: need to show supplemental landscaping that will be going around the dumpster.

**- The dumpster is now located east of the proposed garage. The evergreen screen on the east side of the proposed garage provides the required screen of the dumpster enclosure**

16. A note needs to go on the landscaping plans that states that all Service Structures, including but not limited to propane tanks, trash dumpsters, electrical transformers, A/C units/cooling towers, heat pumps, utility vaults which extend above grade, and other equipment or elements providing service to building or site shall be screened per 1136.08

**- Screening of Service Structures notes have been added to the plan. Refer to City Standard note number 2.**

17. 1136.09(a)(3) Landscaping abutting the structure: There shall be a tree planted for every 40 lineal feet of building perimeter or fraction thereof. 6' minimum evergreen trees can be substituted for up to 30% of deciduous tree requirements. Trees are to be arranged around all sides of the building within 64 square feet minimum of lawn or landscaped area. In addition a minimum of 40 square feet of landscaped area shall be required for each 50 lineal feet of building perimeter or fraction thereof. These landscaped areas are to be constructed adjacent to the building and are to contain shrubs, ground cover, or other ornamental plantings. The intent of this regulation is to encourage overall uniform landscaping treatment around the perimeter of the building. This applies to the garage as well.

**- Refer to the Landscape Plan and Plan Notes Item numbers D. and E.**

18. 1136.09(d): Tree Planting Typical needs to state that 50% of the burlap and wire cage shall be removed from the rootball of the trees

**-Tree planting typical notes have been added to the plan. Refer to City Standard note number 3 and Sheet L2.1.**

19. 1136.10 Retention Area Requirements: Trees shall be planted adjacent to retention ponds as per the following: 1) a tree shall be planted for every 50 lineal feet of retention area perimeter or fraction thereof in a landscape area; 2) trees shall be planted adjacent to the retention area, but no closer than 20' from the bank; & 3) trees maybe large or medium class species trees, 2" minimum caliper, 6' evergreen trees may be substituted for 50% of deciduous tree requirement.

**West Pond: 8 trees are required. The landscape plan provides 20 evergreen trees for 100% of the required trees. We are seeking a deviation from the requirements that evergreen trees count for only 50% of the trees.**

**East Pond: 11 trees are required. The landscape plan provides 4 trees on the west side of the pond. Two restrictions for additional trees include existing trees at the north end of the pond and proximity to the future bikeway easement on the east side of the pond. Seeking deviation from the requirements that 7 trees (64% of the required trees) share the edge of the pond with the trees along the property line. Refer to the Landscape Plan and Plan Notes Item numbers F and G.**

*Engineering, EMH&T (Ryan Andrews, 614-775-4555)*

20. The Site Dimension Plan (2/6) shows existing public sidewalk across the frontage of all three parcels. Currently, sidewalk only exists in front of the site that was previously developed for Grand Oaks Event and Business Center (middle parcel of the three). Additionally, the Grand Oaks plans (dated 1/26/10) shows that the public sidewalk for that project was to be located inside the public right of way, while this Development Plan shows it to be located behind the right of way. Please verify the location of the existing sidewalk with respect to the right-of-way and update the Site Dimension Plan accordingly. Additionally, please use different line weights and callouts to indicate which section of public sidewalk is existing and which is proposed by this development.

**-The sidewalk in front of the Grand Oaks parcel is, in fact, outside the R/W. We believe this is due to the location of the existing communications pedestals and fire hydrants within the R/W. There are additional pedestals east of the Grand Oaks site that are also in the R/W, approximately where the sidewalk should be installed. We will continue the sidewalk outside the R/W if existing pedestals prohibit installation in the R/W. If required, a 10' sidewalk easement will be provided. We have labeled the existing and proposed sidewalks and have used different linetypes/weights to differentiate between the two.**

21. Add references to Grove City Standard Drawings to the plan prior to construction for:

- Curb and Gutter (C-GC-57)
- Concrete Entrance Approach (C-GC-41B)

[advancedcivildesign.com](http://advancedcivildesign.com)

- Public Sidewalk (C-GC-46A)
- Sanitary Service and Cleanout (C-GC-38)

**-Standard Drawings will be listed on the final engineering plans.**

22. Typical Grove City Sanitary Service is a 6-in diameter pipe laid at a minimum grade of 2.08% as indicated on the City's standard drawings. Please explain the rationale / need for the three proposed sanitary services to be 8-in diameter pipe at 0.50% slope.

**-The existing sanitary sewer along Gateway Circle is very shallow and, therefore, a flatter private service lateral is required. The existing private service to the Grand Oaks building is an 8" pipe at 0.50%.**

23. For all proposed utilities (sanitary, water service, and storm) provide invert, slope, and cover data to verify that appropriate ground cover and vertical separation from other existing or proposed utilities exist.

**-Information has been provided for critical locations. More detailed information will be provided with the final engineering plans for the remainder of the proposed utilities.**

24. The sanitary service from the proposed garage passes through the limits of the existing stormwater detention area. Sanitary sewers that extend beneath ponding areas are not preferable to the City. Is it possible to adjust the alignment or verify that it is outside of normal ponding limits as shown?

**-The service alignment has been adjusted.**

25. Add the Grove City General Notes prior to construction (available on Grove City's website). This is not necessary for your revised Development Plan submittal (Planning Commission).

**-Grove City General Notes will be provided on the final engineering plans.**

26. Please provide the stormwater calculations and modeling output used to design the proposed stormwater management features. Include storm sewer calculations that show the existing storm sewer is adequately sized for the proposed site expansions.

**-A stormwater management summary has been provided for this stage of the project. More detailed calculations will be provided for review and approval with the final engineering plan submittals.**

27. Provide pre-developed and post-developed tributary maps for the existing and proposed stormwater management features. Please include the time of concentration flow paths used to calculate the time of concentration values indicated in the stormwater narrative.

**-Pre and Post development tributary maps and time of concentration flow paths have been provided.**

28. Please provide post-construction water quality calculations for the proposed wet basin. Include a drawdown graph that demonstrates compliance with the minimum drawdown requirements. Also include an outlet structure detail in the construction plans if a multi-stage outlet is being specified for the proposed wet basin.

**-A stormwater management summary has been provided for this stage of the project. More detailed calculations and outlet structure details will be provided for review and approval when the final engineering plans have been completed.**

29. Add major flood routing arrows to the site grading plan.

**-Major flood routing arrows added.**

30. Please clarify the size of the existing orifice plate in existing structure 4. The site plans indicate a 6.0-inch orifice and the stormwater narrative indicates a 5.5-inch orifice.

**-The orifice plate is 5.5 inches. The survey information shown on the site plan was incorrect.**

31. Per the site grading plan the proposed dry detention basin will have a 100-year ponding elevation of 775.42 feet. The proposed dry detention basin and existing parking lot ponding are interconnected and controlled by the existing orifice plate in existing structure 4. It appears that the parking lot ponding will short circuit along the northern edge of the existing parking lot before reaching the above-mentioned ponding elevation. Please review and clarify. Additionally, please ensure that the 100-year ponding elevation in the existing parking lot ponding does not exceed one foot of depth above the catch basin inlet. The above-mentioned 100-year ponding elevation would yield an approximate ponding depth of 1.6 feet in the parking lot ponding areas.

**- The first submittal inadvertently used top of casting elevations from the approved plans, which were based on 1929 vertical datum. Our current survey is based on 1988 datum. This error has been corrected. The design of the dry detention basin has been revised to alleviate these concerns. Ponding for all parking areas will be less than or equal to 1' depth.**

32. Show the limits of 100-year ponding for the existing parking lot ponding areas.

**- 100-yr ponding limits shown for existing parking lot areas**

33. Please ensure that the proposed wet basin meets the requirements of the Public and Private Pond Design Standards dated March 2006 (available on the City's website).

**-Per a conversation with Mike Keller of EMH&T, not all of the pond design standards will be required to be met for this basin. The path around the pond as shown in the standards will not be provided, for instance.**

***Jackson Township Fire Department (Tammy Green, 614-945-5043)***

34. If the distance around the building to the most remote point is more than 600' from a public hydrant, a private hydrant will need to be installed on the property (OFC 507.5.1).

**Discussions are ongoing on this matter and the final outcome will be reflected on the final engineering drawings.**

35. Please show the ladder truck maneuverability in the parking lot. *(See attached Apparatus Reference Guide)*

**-An Autoturn exhibit was provided to the Fire Dept. that illustrates the maneuverability for the ladder truck throughout the site. An additional copy has been included with this submittal.**

With this submittal we are including the following for your further review:

- 20 – 6 Full size prints of the Final Development Plan
- 20 – 4 Full size prints of the Architectural Plans
- 20 – 3 Full size prints of the Landscape Plans
- 20 – 4 11x17 copies of Color Renderings
- 20 – 2 Revised Project Narrative
- 1 – 2 Stormwater Tributary Area Maps
- 1 – 2 Revised Stormwater Management Narrative
- 1 – 1 Autoturn Exhibit for fire trucking turning movements
- 1 – 1 CD with PDF of materials listed above

Should you have any questions or require additional information, please contact me at your convenience.

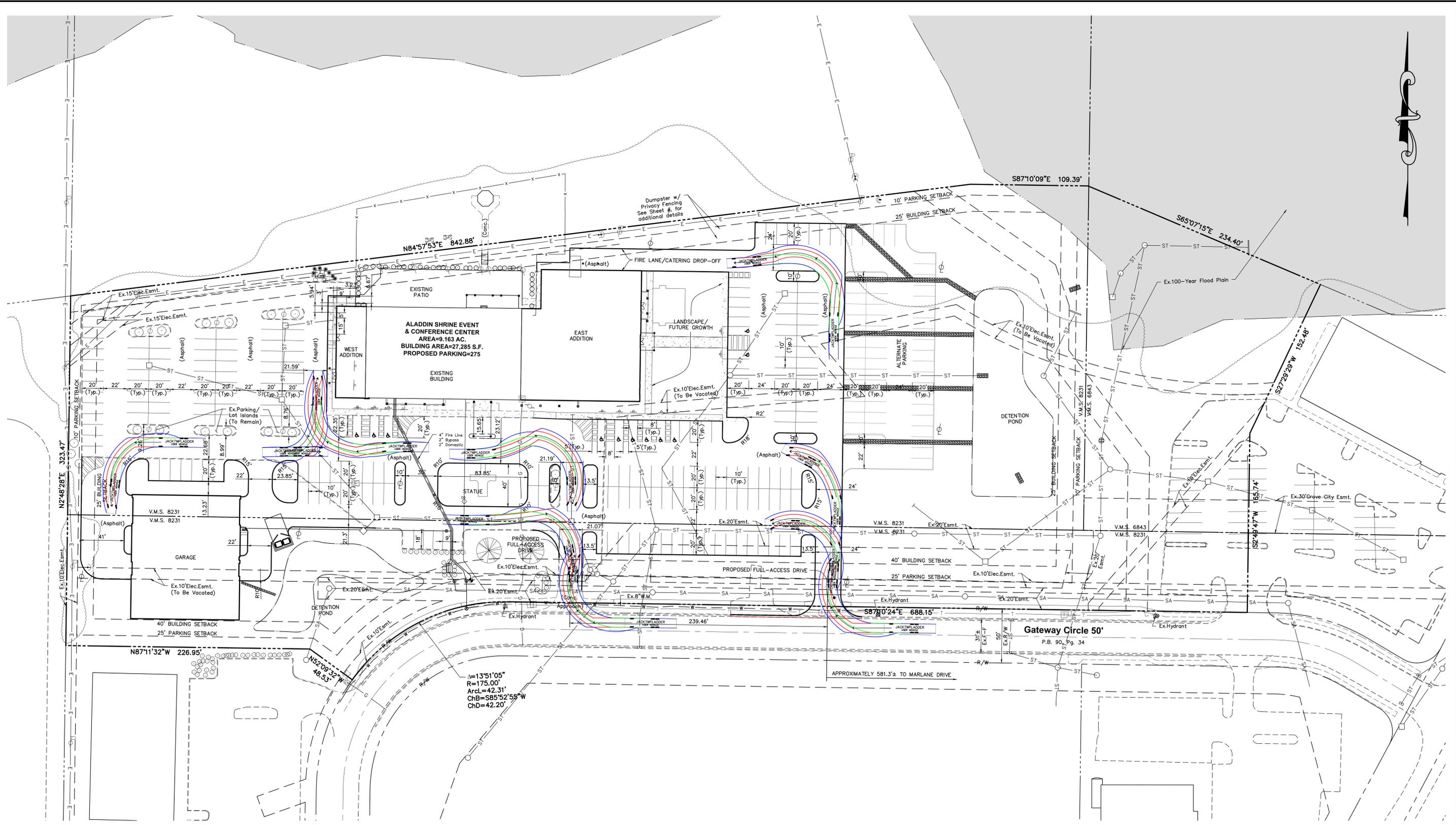
Sincerely,  
ADVANCED CIVIL DESIGN



David D. Denniston, PE  
Senior Project Manager

Cc: Ron Leonard, Aladdin Shriners  
Julie Delos Santos, Davis Wince  
Carlo Burns, Pizutti Companies

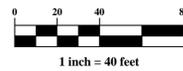
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**LEGEND**

- TRUCK BODY OVERHANG
- FRONT TIRES
- REAR TIRES

**GRAPHIC SCALE**



**CITY OF GROVE CITY, OHIO  
FIRE TRUCK TURNING EXHIBIT  
FOR  
ALADDIN SHRINE CENTER**

PLAN PREPARED BY:

**ADVANCED  
CIVIL DESIGN  
ENGINEERS SURVEYORS**

422 BEECHER ROAD  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

SCALE: 1"=40'  
DATE: 01/23/2015

SHEET 1 / 1