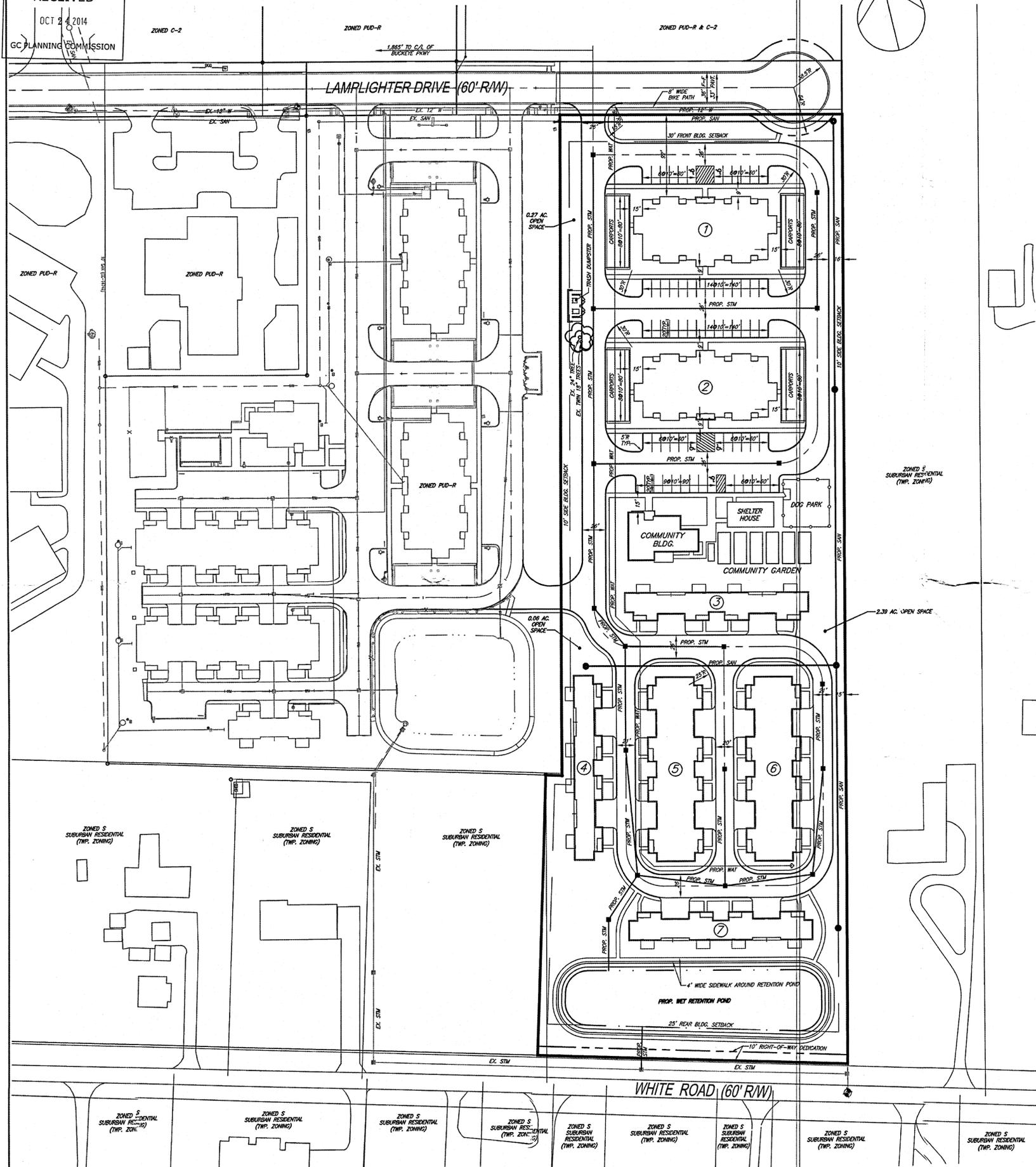
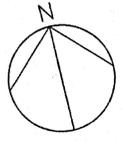


RECEIVED  
OCT 24 2014  
GC PLANNING COMMISSION

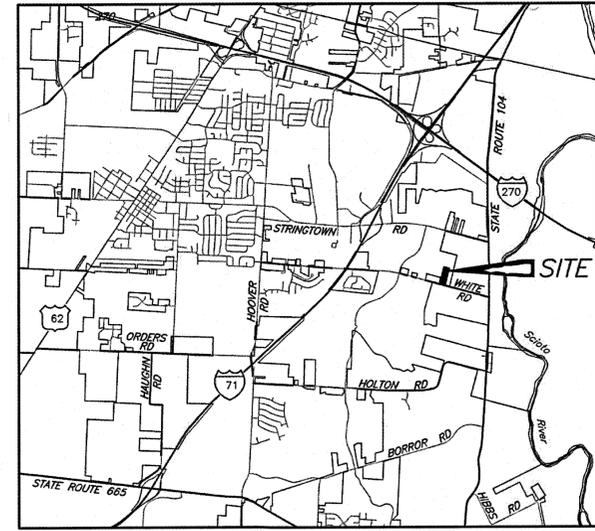
50' 25' 0 50' 100'



**SITE PLAN**  
SCALE: 1"=60'

**TABULATION**

ZONED PUD-R (RESIDENTIAL)  
7.8353 ACRES TOTAL SITE AREA (341,306 S.F.)  
60 - TWO BEDROOM UNITS  
155 TOTAL PARKING SPACES (127 OPEN)  
LOT COVERAGE: 52.08%  
58,484 S.F. BUILDINGS  
97,202 S.F. PAVEMENT  
17,028 S.F. SIDEWALKS  
5,033 S.F. PATIOS  
OPEN SPACE REQUIRED: 2.68 AC.  
OPEN SPACE PROVIDED: 2.72 AC.  
19,765 S.F. LANDSCAPING



**LOCATION MAP**  
NO SCALE

**NARRATIVE**

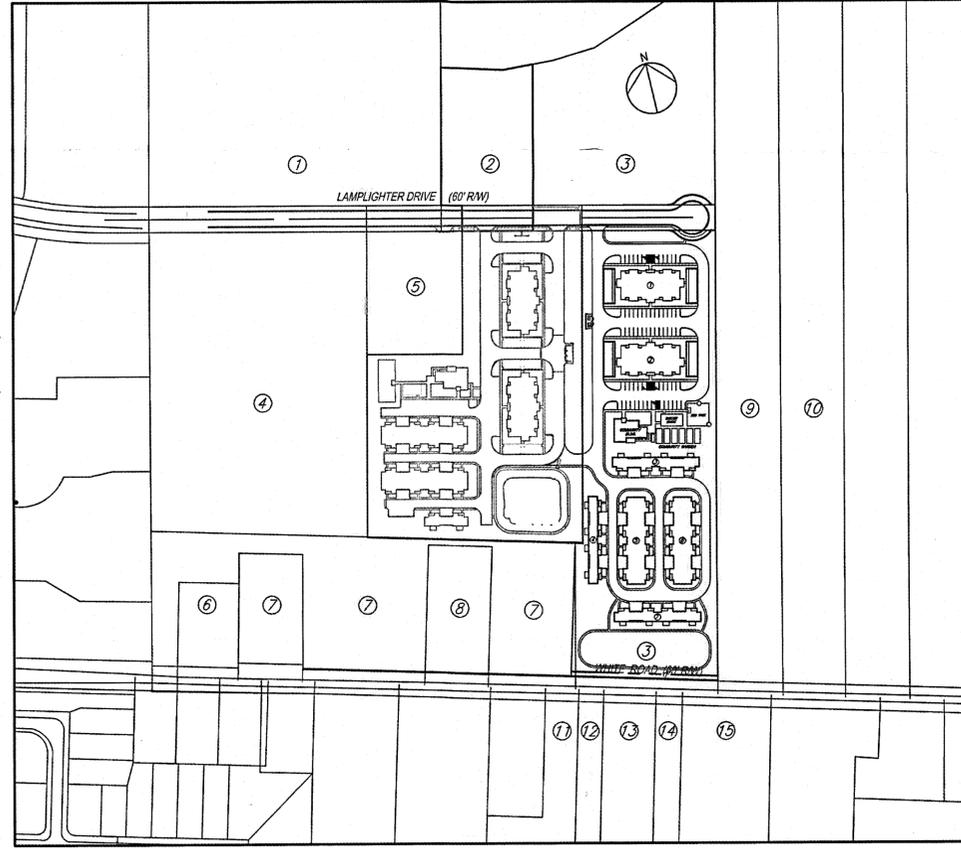
Lamplichter Senior Village Phase 2 consists of 60 two-bedroom apartments for seniors to be located on the South side of Lamplichter Drive. The development consists of a combination of low profile, one-story buildings that have a traditional condominium feel, two two-story buildings, a community building and shelter house. The exterior colors will be comprised of earth tones, and the addition of stone to the facade helps the buildings blend into the surroundings. All units have been designed with 900 square feet to allow seniors who may be downsizing from a larger home to retain their possessions, and will also contain an extra full bath. This development's mission is to provide quality housing for seniors 55 years and older.

**CONSTRUCTION SEQUENCE**

Lamplichter Drive and the Site Improvements will be completed in one phase.  
Construction Start: November 15, 2015  
Completion: December 31, 2016

**ADJACENT OWNERS**

- ① PARKWAY CENTRE EAST LLC  
150 E BROAD ST STE 800  
COLUMBUS OH 43215
- ② CREATIVE HOUSING INC XIII  
2233 CITYGATE DR  
COLUMBUS OH 43219
- ③ MORBITZER ELIZABETH T TR  
1237 WHITE RD  
GROVE CITY OH 43123
- ④ INN AT GROVE CITY LLC  
3131 ELLIOT AVE STE 500  
SEATTLE WA 98121
- ⑤ LAMPLIGHTER HOLDING LLC  
10501 BLACKLICK E RD 500  
PICKERINGTON OH 43147
- ⑥ MORBITZER JENNIFER J TR  
1080 WHITE RD  
GROVE CITY OH 43123
- ⑦ MORBITZER FAMILY LLC  
1237 WHITE RD  
GROVE CITY OH 43123
- ⑧ GARY L & MARY A MORBITZER  
1260 WHITE RD  
GROVE CITY OH 43123
- ⑨ COSTA GAIL L  
1180 WHITE RD  
GROVE CITY OH 43123
- ⑩ HOOVER ARNOLD D JR & NANCY J  
1140 WHITE RD  
GROVE CITY OH 43123
- ⑪ KELLY DONALD W  
KELLY RONDA A  
1223 WHITE RD  
GROVE CITY OH 43123
- ⑫ MALOSKI ERICA R  
1189 WHITE RD  
GROVE CITY OH 43123
- ⑬ BURGSTALLER CATHERINE M TR  
4485 JACKSON PIKE  
GROVE CITY OH 43123
- ⑭ BURGSTALLER FRANK X  
1179 WHITE RD  
GROVE CITY OH 43123
- ⑮ TORGERSON PATRICK L  
TORGERSON KIMBERLY J  
1171 WHITE RD  
GROVE CITY OH 43123



**AREA MAP**  
SCALE: 1"=200'

**LAMPLIGHTER SENIOR VILLAGE PHASE II**  
PRELIMINARY DEVELOPMENT PLAN  
GROVE CITY, OHIO

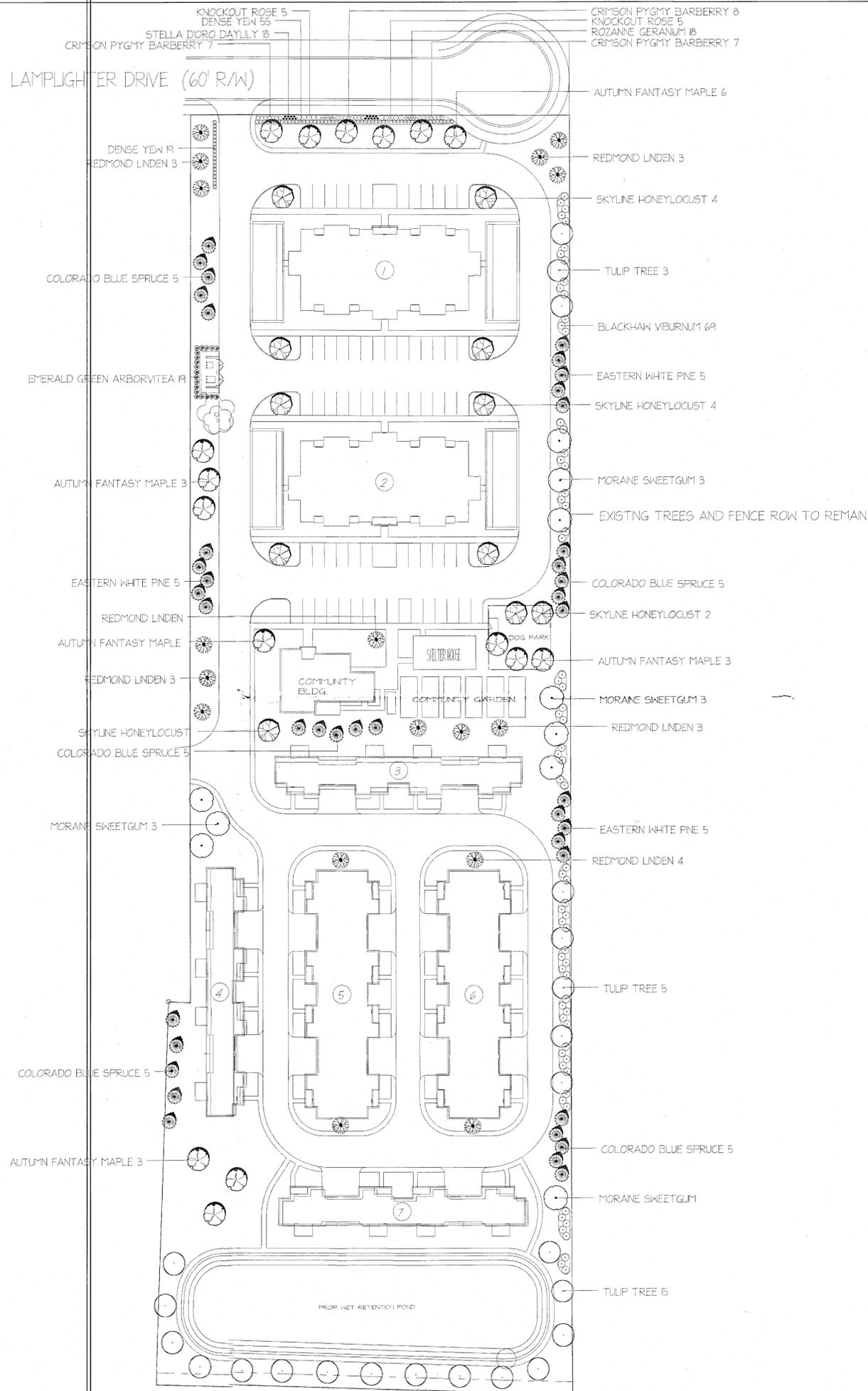
DEVELOPER/CONTRACTOR:  
**L.W. ASSOCIATES, INC.**  
184 WEST MAIN STREET  
ASHVILLE, OHIO 43103  
740-983-4566

SCALE: - AS NOTED  
DATE: OCTOBER, 2014 SHEET: 1 OF 1

COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREES</b>		
AUTUMN FANTASY MAPLE	2"	14
SKYLINE HONEYLOCUST	2"	11
MORANE SWEETGUM	2"	10
TULIP POPLAR	2"	23
REDMOND LINDEN	2"	16
<b>EVERGREEN TREES</b>		
COLORADO BLUE SPRUCE	6'	22
EASTERN WHITE PINE	6'	15
EMERALD GREEN ARBORVITEA	6'	19
<b>SHRUBS</b>		
BLACKHAW VIBURNUM	30"	69
CRIMSON PYGMY BARBERRY	# 3	22
KNOCKOUT ROSE	# 3	10
DENSE YEW	18-24"	74
<b>PERENNIALS</b>		
ROZANNE GERANIUM	# 1	18
STELLA D'ORO DAYLILY	# 1	18
21,320 sq. ft		

### GENERAL PLANTING NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED. ALL PLANT MASSES TO BE INCORPORATED BY CONTINUOUS MULCH BED TO LIMITS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN & PLANTING BED AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT MATERIALS LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
- CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL INCLUDING PLANTS AS VIABLE AND THRIVING.
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR CHANGES TO THE DESIGN SHALL BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- NATIVE OR ADAPTIVE PLANTS HAVE BEEN SELECTED FOR THE ENTIRE PROJECT. NO IRRIGATION WILL BE NECESSARY ONCE THE PLANTS ARE ESTABLISHED.
- SERVICE STRUCTURES INCLUDING BUT NOT LIMITED TO PROPANE TANKS, TRASH DUMPSTERS, GROUND MOUNTED TRANSFORMERS, AIR CONDITIONERS, HEAT PUMPS, UTILITY VAULTS WHICH EXTEND ABOVE GRADE AND OTHER EQUIPMENT AND ELEMENTS PROVIDING SERVICE TO A BUILDING SHALL BE SCREENED ON ALL SIDES OF THE BUILDINGS.



NOTES

No.	Date	Description

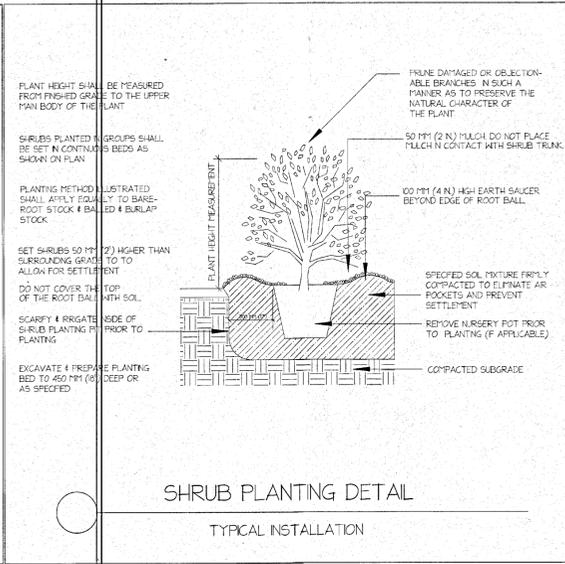
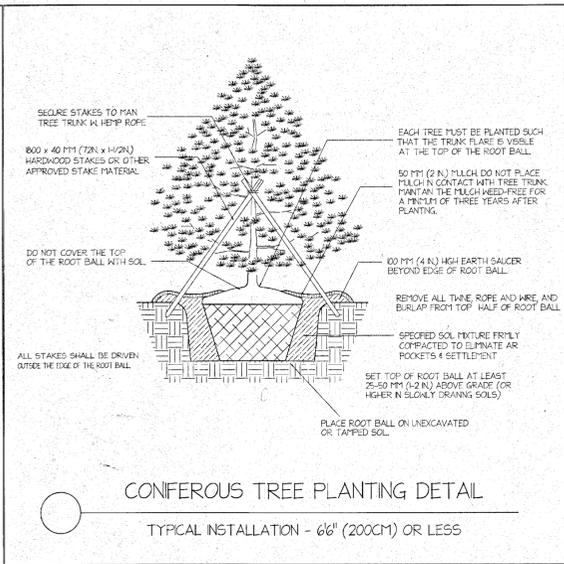
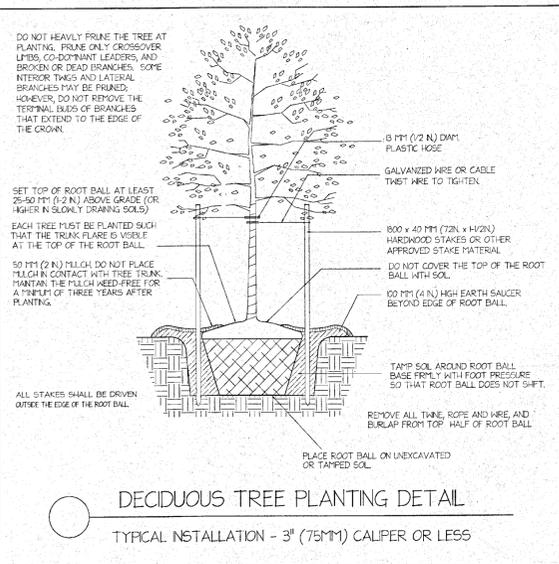
**RHOADS**  
LANDSCAPING

1051 STATE ROUTE 56 EAST  
CIRCLEVILLE, OH 43113  
(740) 474-2028  
(800) 378-8934

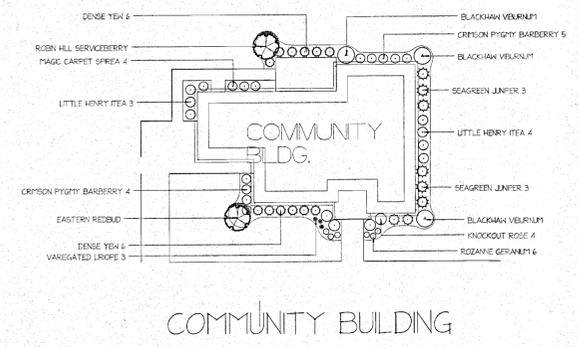
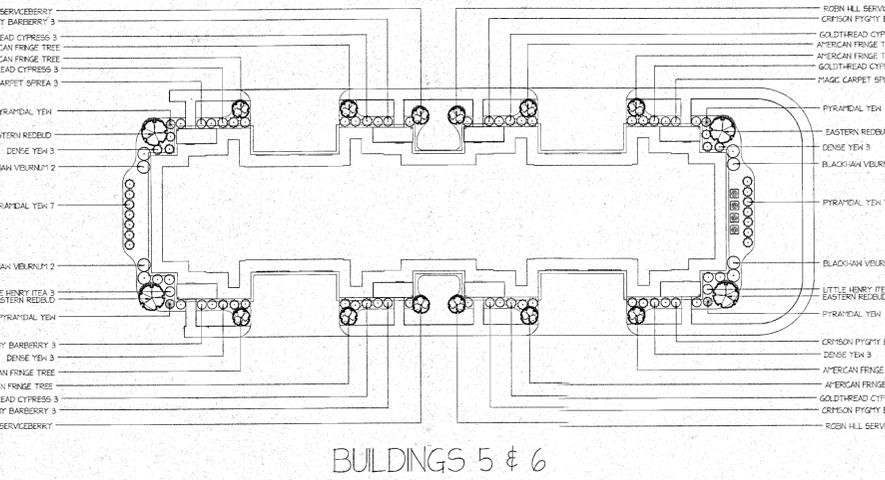
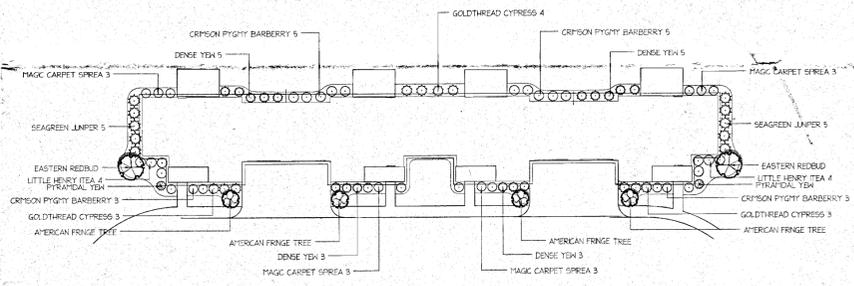
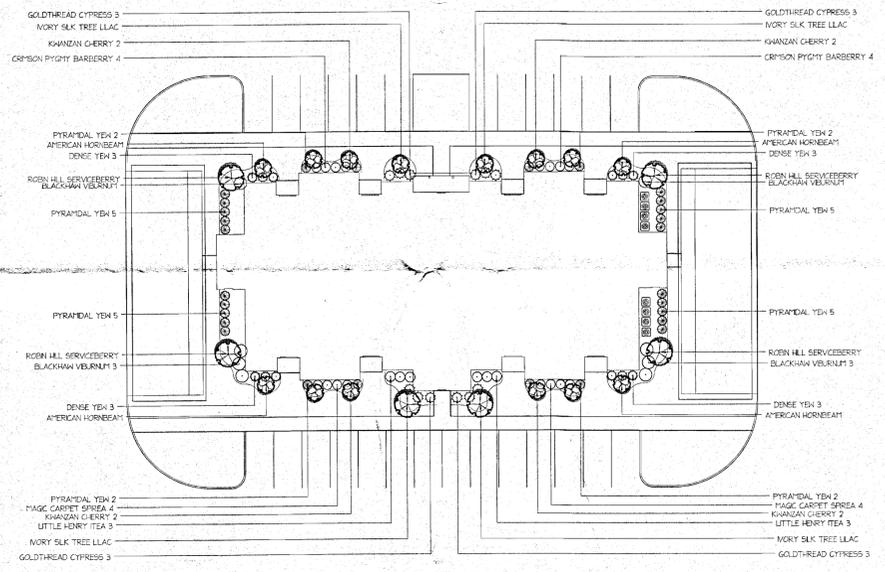
LAMPLIGHTER SENIOR VILLAS  
PHASE 2

GROVE CITY, OHIO

SCALE: 1" = 50'	PROJECT NO.
DRAWN BY: ERN PANCAKE	SHEET NO.
CHECKED BY: JEREMY NEFF	L 1
DATE: 10/22/2014	
DATE OF PRINT:	



COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREES</b>		
ROBIN HILL SERVICEBERRY	2"	9
AMERICAN HORNBEAM	2"	4
EASTERN REDBUD	2"	11
AMERICAN FRINGE TREE	2"	20
KWANZAN CHERRY	2"	8
IVORY SILK JAPANESE LILAC TREE	2"	4
<b>SHRUBS</b>		
CRIMSON PYGMY BARBERRY	# 3	83
GOLDTHREAD CYPRESS	# 3	60
LITTLE HENRY ITEA	# 3	43
SEA GREEN JUNPER	# 3	36
KNOCKOUT ROSE	# 3	4
MAGIC CARPET SPIREA	# 3	54
DENSE YEW	24"	84
PYRAMIDAL YEW	3'	52
BLACKHAW VIBURNUM	# 5	19
<b>PERENNIALS</b>		
ROZANNE GERANUM	# 1	6
VAREGATED LIRIOPE	# 1	3
19,765 SQ FT		



NOTES

No.	Date	Description

**RHOADS**  
LANDSCAPING

1051 STATE ROUTE 56 EAST  
CIRCLEVILLE, OH 43113  
(740) 474-2028  
(800) 378-8934

LAMPLIGHTER SENIOR VILLAS  
PHASE 2

GROVE CITY, OH

SCALE: 1" = 30'	PROJECT NO.
DRAWN BY: ERN PANCAKE	SHEET NO.
CHECKED BY: JEREMY NEFF	L2
DATE: 10/22/2014	
DATE OF PRINT:	

Below are the responses to the Review letter Dated October 15, 2014 for Application # 201409290055.

**Development Department (Kimberly Shields, 614-277-3007)**

1. Based on the number of units proposed, 2.68 acres of open space will be required in this development. The proposed open space should be delineated on plans. Community areas shown such as the community building, shelter house and dog park can count towards the open space calculation.

**Open Space Calculation has been added to the plans. (Todd Valentine)**

2. The proposed pond will be required to comply with the city's Pond Design Standards, including aerator, walkway around the perimeter, and landscaping. The pond will need to be a wet pond with permanent normal pool.

**The Detention Pond will comply with all standards. Walking Path as well as note for the wet pond has been added. Aerator will also be included on the final design. (Todd Valentine)**

3. The setback along the east property line should be increased and more landscaping should be installed along the eastern property line to separate the proposed development from the rural residential property to the east.

**The Setback has been increase to 15 feet and additional landscaping has been added to the plan. (Todd Valentine)**

4. The proposed 4' sidewalk on the south side of the proposed Lamplighter Drive extension should be amended to an 8' bike path.

**This has been corrected on the plan. (Todd Valentine)**

5. The proposed extension of Lamplighter Drive will require a plat to create the unique parcel for development and right-of-way for dedication.

**Acknowledged (Todd Valentine)**

6. Staff is not supportive of the proposed dead-end extension of Lamplighter Drive. A potential solution could be installing a bulb at the terminus and eliminating the second (eastern) proposed curb-cut.

**Plan has been revised to include bulb as requested and the eastern connection has been removed. (Todd Valentine)**

**Urban Forestry (Jodee Lowe, 614-277-1103)**

7. Plans will need a note stating that all service structures will be screened per code 1136.08.

**This note has been added to the plan. (Todd Valentine)**

8. Notes on the Typical Tree Plantings need to delete the part that states that wire cages on rootballs can be cut in 4 places and folded down into the planting hole.

**This has been corrected as requested. (Todd Valentine)**

**Franklin County Engineer's Office (Brent Welch, 614-525-3054)**

9. The Franklin County Engineer's Office is requesting an additional 10' of right-of-way along White Road to match the requirements of the Franklin County 2020 Thoroughfare Plan.

**This has been corrected as requested. (Todd Valentine)**

Todd D. Valentine



LW Associates Inc.

