



Project Narrative: Byers Chevrolet Grove City #201401280003 Development Plan Submittal (Rev. 02/24/2014)

Byers Chevrolet which is currently located on Broad Street in downtown Columbus plans to develop 6.3 acres of the 22.651 acres site located west of North Meadows Drive in Grove City. A new Chevrolet sales, service, parts and car wash building of approximately 47,000 square feet shall be sited with the showroom and entry element facing Interstate Route 71.

Approximately 400 parking spaces are being proposed for the development. 270 spaces will be used for new and pre-owned inventory with the balance of the spaces serving customers, service and employees. Included in the total parking space count are accommodations for 2 Chevy Volt electronic vehicle charging stations.

The exterior building materials are silver ACM (aluminum composite material) panels with blue ACM accents, clear anodized aluminum curtainwall and storefront with clear glass, painted white concrete block, *buff limestone veneer* and white metal building siding as illustrated on the included rendering and elevations.

Site lighting as indicated on the included photometric plan is pole mounted, cut-off LED and building mounted LED fixtures. The proposed LED pole mounted fixtures are attached to 30' high poles and are located outside of the 150' AEP easement indicated on the drawings for the overhead power lines. *Cutsheets are being provided per comment letter.*

~~Decorative 4 rail white fence with masonry pillars is proposed along Interstate Route 71 to replace the existing O.D.O.T. metal mesh fencing. (decorative fence by Grove City per comment letter)~~ Trees are provided at all parking islands with an appropriate lower height tree indicated at islands under the overhead power easement. Additional required trees are provided near the existing retention pond and are spaced to maintain views to and from the site. Irrigation shall be provided for landscaping adjacent to the building and at the display area located along North Meadows Drive.

~~Prototype pylon sign information has been provided to indicate desired Chevrolet brand signage along Interstate Route 71. (Pylon sign not supported by Grove City per comment letter)~~ Chevrolet entry element also includes brand signage and dealer name as indicated on the elevations. Since the main customer entry to the site is from North Meadows Drive additional Chevrolet brand sign and dealer name sign are being proposed at the elevation facing the curb cuts. The signage information included with this development plan is being provided for illustrative purposes. Complete sign package will be submitted *as an amendment to the development plan* at a later date to include all wall, ground, ~~pylon~~ and monument sign dimensions and details. *We would like to seek approval of the building mounted signs under the current development plan submittal and submit all site directional and monuments signs in the future.*

DEVELOPMENT PLAN FOR: BYERS CHEVROLET 5887 NORTH MEADOWS DRIVE THE CITY OF GROVE CITY, OHIO

UNDERGROUND UTILITIES

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 1-800-362-2764
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

GENERAL NOTES

THE REQUIREMENTS OF THE THE CITY OF GROVE CITY, OHIO, TOGETHER WITH THE CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, AND THE CURRENT CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO, IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIAL AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT AS SUCH SPECIFICATIONS ARE MODIFIED BY THE CONSTRUCTION DETAILS SET FORTH ON THE PLANS OR IN THE NOTES.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL FEDERAL STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF GROVE CITY AND/OR THE ENGINEER ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES WHETHER OR NOT SHOWN ON THE PLANS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITY PROTECTION SERVICE (TELEPHONE 1-800-362-2764 - TOLL FREE) AND THE OWNER'S OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE.

SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED EITHER TO CURB OR SUBRAIN OR THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS, COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 1980 WEST BROAD STREET, COLUMBUS, OHIO 43223.

STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.

ALL CONCRETE PIPE, STORM AND SANITARY SEWER STRUCTURES WILL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT SAID PIPE, STORM AND SANITARY SEWER STRUCTURES HAVE BEEN INSPECTED BY THE CITY OF COLUMBUS AND MEETS THEIR SPECIFICATIONS. PIPE AND STRUCTURES WITHOUT PROPER IDENTIFICATION WILL NOT BE PERMITTED FOR INSTALLATION.

ALL TRENCHES UNDER EXISTING OR PROPOSED PAVED AREAS OR DRIVES SHALL BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL, FROM THE TOP OF THE BEDDING MATERIAL TO THE PAVEMENT SUBGRADE OR TO A PLANE SIX (6) INCHES BELOW THE TOP OF THE GROUND, BETWEEN THE LIMITS OF FIVE (5) FEET BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER, OR THE BACK OF CURB, UNLESS OTHERWISE SHOWN. TRENCHES NOT UNDER EXISTING OR PROPOSED PAVED AREAS BUT WITHIN EXISTING OR PROPOSED RIGHT OF WAY OR LAWN AREAS SHALL BE BACKFILLED WITH COMPACTED BACKFILL.

THE DEVELOPER/OWNER/CONTRACTOR SHALL, PRIOR TO ANY CONSTRUCTION OPERATION, DEPOSIT WITH THE CITY OF GROVE CITY THE TOTAL ESTIMATED COSTS FOR INSPECTION.

ANY MODIFICATION TO THE WORK AS SHOWN ON THESE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE ADMINISTRATOR, CITY OF GROVE CITY.

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWERS ARE PROHIBITED.

THE DEVELOPER/OWNER/CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY OF GROVE CITY AND CITY CONSULTING ENGINEER PRIOR TO BEGINNING CONSTRUCTION. IN THE EVENT CONSTRUCTION ACTIVITIES CEASE FOR MORE THAN 72 HOURS, CONTRACTOR IS REQUIRED TO PROVIDE 48 HOURS NOTICE PRIOR TO RESUMING CONSTRUCTION ACTIVITIES.

THE CURRENT PROPERTY OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE TO RESTORE ALL PROPERTY WITHIN THE PERMANENT UTILITY EASEMENT, TO ITS ORIGINAL CONDITION INSOFAR AS PRACTICABLE, AFTER ENTERING UPON SAID PREMISES FOR THE PURPOSES HEREBY SET FORTH, INCLUDING THE CONSTRUCTION, REPAIR, MAINTENANCE, REPLACEMENT, RELOCATION, OPERATION, INSPECTION AND MAINTENANCE OF ALL FACILITIES AND IMPROVEMENTS LOCATED WITHIN SUCH EASEMENTS AND RIGHTS-OF-WAY.

STORM WATER NOTES

ALL SEWERS OUTSIDE OF EASEMENTS AS SHOWN ON THIS DRAWING ARE TO BE CONSTRUCTED AS A PRIVATE STORM WATER SYSTEM. THEREFORE THE CITY WILL NOT ASSUME MAINTENANCE THEREOF AFTER COMPLETION. STANDBY INSPECTION IS MANDATORY DURING CONSTRUCTION.

THE PONDING OR DETENTION AREAS SHOWN ON THIS PLAN ARE PART OF THE STORM SEWER FACILITIES. THE DEVELOPER/OWNER WILL ASSUME THE RESPONSIBILITY TO MAINTAIN THE PONDING OR DETENTION AREA IN A WAY AS NOT TO REDUCE THE CAPACITY OF THE WATER STORAGE AREAS. IF THE OWNER WILL NOT MAINTAIN THE PONDING OR DETENTION AREAS, THIS PLAN WILL BECOME VOID AND THE CITY WILL PLUG THE STORM SEWER OUTLET.

THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT, AND THE OWNERS DO NOT SUBSCRIBE TO A REGISTERED UNDERGROUND UTILITY SERVICE.

| UTILITY | OWNER | TELEPHONE NO. |
|---|--------------------|---------------|
| STORM SEWER & SANITARY SEWER WATER FACILITIES | CITY OF GROVE CITY | 491-7804 |

THE FLOW IN ALL SEWERS, DRAINS AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF HIS WORK THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN COST AND EXPENSE TO A CONDITION SATISFACTORY TO THE GM/GC AND ENGINEER.

ALL PVC SEWER LINES SHALL BE DEFLECTION TESTED AFTER INSTALLATION, IN CONFORMANCE WITH THE REQUIREMENTS OF ITEM 901 OF THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIALS SPECIFICATIONS, CURRENT EDITION.

SANITARY SEWER NOTES

THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT, AND THE OWNERS DO NOT SUBSCRIBE TO A REGISTERED UNDERGROUND UTILITY SERVICE.

| UTILITY | OWNER | TELEPHONE NO. |
|---|--------------------|---------------|
| SANITARY SEWER STORM SEWER & WATER FACILITIES | CITY OF GROVE CITY | |

ALL SANITARY SEWER LINES INSTALLED ON THIS PROJECT USING P.V.C. PIPE WILL BE SUBJECT TO DEFLECTION TESTING BY PULLING AN APPROVED MANDREL EQUAL IN DIAMETER TO 95% OF THE PIPE DIAMETER THROUGH THE PIPE AFTER PIPE IS BACKFILLED AND NO SOONER THAN THIRTY DAYS AFTER COMPLETION OF BACKFILLING AS A MINIMUM TIME ALLOWED FOR WEIGHT TRANSFER OF THE BACKFILL TO THE PIPE AND BEDDING.

SANITARY SEWER NOTES CONT.

UNLESS OTHERWISE INDICATED ON THE PLANS SEWERS AND SERVICES MAY BE SUPPLIED WITH MATERIAL CONFORMING TO THE LATEST SPECIFICATIONS FOR THE FOLLOWING:

- EXTRA STRENGTH CLAY PIPE ASTM C 700 WITH COMPRESSION JOINTS ASTM C 425
- POLYVINYL CHLORIDE PIPE ASTM D 3034 SDR 35;

AN INFILTRATION OR EXFILTRATION TEST SHALL BE MADE IN ACCORDANCE WITH THE CITY OF

COLUMBUS SPECIFICATION 901.20.

NO FOUNDATION DRAIN, ROOF DRAIN OR OTHER STORM WATER DRAIN OF ANY KIND WILL BE ALLOWED TO CONNECT INTO THE SANITARY SEWER.

THE CONTRACTOR SHALL INSTALL A TEMPORARY BULKHEAD WHERE DIRECTED ON THE PLANS PRIOR TO CONSTRUCTION OF THE PROPOSED SEWERS AND MAINTAIN SAME UNTIL SAID SEWERS ARE ACCEPTED BY THE CITY OF GROVE CITY SPECIFICATION PER CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS SECTION 901.20.

SANITARY SEWERS CROSSING WATER LINES SHALL PROVIDE 1'-6" VERTICAL CLEARANCE FROM TOP OF SANITARY SEWER TO BOTTOM OF WATER LINE. 10' OF HORIZONTAL CLEARANCE WITH WATER LINE SHALL BE PROVIDED.

EROSION CONTROL NOTES

THE EROSION CONTROL MEASURES INCLUDED IN THIS PLAN SHALL BE INSTALLED PRIOR TO INITIAL LAND DISTURBANCE ACTIVITIES OR AS SOON AS PRACTICAL. SEDIMENT SHALL BE PREVENTED FROM DISCHARGING FROM THE PROJECT SITE BY INSTALLING AND MAINTAINING SILT FENCE, STRAW BALES, SEDIMENT BASINS, ETC. AS SHOWN ON THIS PLAN. IF SHOWN ON THIS PLAN, ENERGY-DISSIPATION SYSTEM SHALL BE INSTALLED AT THE TIME OF THE CONSTRUCTION OF THE OUTFALL. COMMON INDUSTRY PRACTICES SHALL BE USED TO CONTROL EROSION FROM ALL SITES REMAINING DISTURBED FOR MORE THAN 14 DAYS.

THE CONTRACTOR SHALL CONTROL WASTES, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIALS, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL, IS REQUIRED. COMPLIANCE IS REQUIRED WITH ALL STATE OR LOCAL REGULATIONS REGARDING WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEMS.

PUBLIC ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION.

ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH STRAW BALES, FILTER FABRIC, OR EQUIVALENT BARRIERS AS SHOWN ON THIS PLAN.

EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS, ALL DISTURBED AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED BY SEEDING, SODDING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS. PERMANENT SOIL STABILIZATION SHALL BE PROVIDED WITHIN 7 DAYS AFTER FINAL GRADE IS ESTABLISHED.

THIS EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE. ALL MEASURES INVOLVING EROSION CONTROL PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN EROSION CONTROL, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.

DURING THE PERIOD OF CONSTRUCTION ACTIVITY, ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE TRANSFER OF MAINTENANCE RESPONSIBILITIES, IF REQUIRED, TO THE OWNER. MAINTENANCE SHALL BE IN ACCORDANCE WITH CHAPTER 7 OF THE SOIL CONSERVATION SERVICE MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS".

ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE SOIL CONSERVATION SERVICE MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS".

EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS PRACTICAL OUTSIDE OF CONSTRUCTION LIMITS.

POST CONSTRUCTION STORM WATER MANAGEMENT: THE SITE SHALL HAVE ADEQUATE VEGETATION AND LANDSCAPING TO FILTER POLLUTANTS AS MUCH AS PRACTICAL. LOCAL LAWS REGARDING THE DISCHARGING OF OIL AND OTHER POLLUTANTS INTO STORM SEWERS OR DRAINAGEWAYS SHALL APPLY.

ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED IN ACCORDANCE WITH THE CONDITIONS OF APPLICABLE NPDES PERMITS.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AND DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.

THIS EROSION CONTROL PLAN MUST BE RETAINED ON-SITE AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION.

FIELD ADJUSTMENTS FOR LOCATION AND DIMENSION OF SEDIMENT CONTROL DEVICES MAY BE MADE AS REQUIRED.

EROSION CONTROL DEVICES REMOVED DURING GRADING OPERATIONS SHALL BE PUT BACK IN PLACE AT THE END OF THE DAY OR DURING INCLEMENT WEATHER.

PERMANENT SEEDING SHALL BE DONE BETWEEN MARCH 15 AND SEPTEMBER 15. IF SEEDING IS DONE BETWEEN SEPTEMBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS "TEMPORARY SEEDING". PERMANENT SEED SHALL BE 40% KENTUCKY BLUEGRASS, 40% CREEPING RED FESCUE, 20% ANNUAL RYEGRASS. PERMANENT SEEDING SHALL CONSIST OF FERTILIZING, WATERING AND SEEDING AT THE RATES INDICATED UNDER THE 659 ITEMS.

RATES OF APPLICATION OF 659 ITEMS:

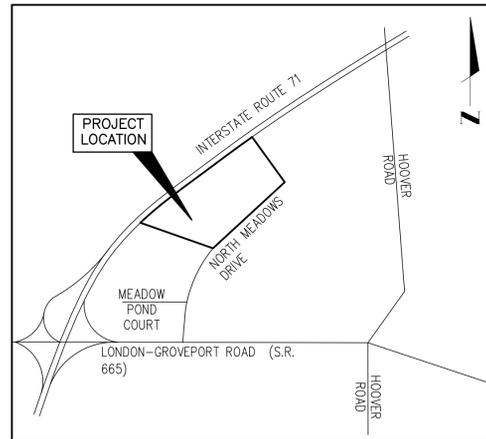
| | |
|---------------|-----------------------|
| SEED | 2 LBS./1,000 SQ. FT. |
| FERTILIZER | 20 LBS./1,000 SQ. FT. |
| MULCH (STRAW) | 2 TONS/ACRE |

TEMPORARY SEEDING SHALL CONSIST OF FERTILIZING, WATERING AND SEEDING AT THE RATES INDICATED UNDER THE 659 ITEMS. SEED SHALL BE DATS FROM DECEMBER 1 TO JUNE 1 AND ANNUAL RYE FROM JUNE 1 TO DECEMBER 1.

IF SHOWN ON THIS PLAN, ENERGY-DISSIPATION DEVICES OR EROSION CONTROL MEASURES AT THE OUTFALL OF THE STORM SEWER SYSTEM SHALL BE INSTALLED AT THE TIME OF THE CONSTRUCTION OF THE OUTFALL. THE PROPOSED DETENTION BASIN SHALL BE UTILIZED AS A SEDIMENT BASIN DURING CONSTRUCTION FOR AS LONG AS PRACTICAL.

STREAMS INCLUDING BED AND BANKS SHALL BE RESTABILIZED IMMEDIATELY AFTER IN-CHANNEL WORK IS COMPLETED, INTERRUPTED, OR STOPPED.

NO SOIL, ROCK, DEBRIS, OR ANY OTHER MATERIAL SHALL BE DUMPED OR PLACED INTO A WATER RESOURCE OR INTO SUCH PROXIMITY THAT IT MAY READILY SLOUGH, SLIP, OR ERODE INTO A WATER RESOURCE UNLESS SUCH DUMPING OR PLACING IS AUTHORIZED BY THE CITY ENGINEER AND, WHEN APPLICABLE, THE U.S. ARMY CORPS OF ENGINEERS, FOR SUCH PURPOSES AS, BUT NOT LIMITED TO, CONSTRUCTION BRIDGES, CULVERTS, AND EROSION CONTROL STRUCTURES.



VICINITY MAP
NO SCALE

ESTIMATE OF QUANTITIES STORM SEWER

| ITEM | UNIT | QUANT | DESCRIPTION |
|-----------------------|------|-------|---|
| 207 | L.F. | X | SILT FENCE |
| 207 | EA. | X | DANDY BAG |
| 207 | EA. | X | BEAVER DAM |
| 601 | C.Y. | X | ROCK CHANNEL PROTECTION, TYPE C |
| 601 | C.Y. | X | ROCK CHANNEL PROTECTION, TYPE D |
| 604 | EA. | X | MANHOLE, TYPE C AA-S102 |
| 604 | EA. | X | CATCH BASIN AA-S133 |
| 604 | EA. | X | CURB & CUTTER INLET AA-S125 |
| 604 | EA. | X | ENDWALL FOR 42" PIPE |
| 604 | EA. | X | ENDWALL FOR 8" PIPE |
| 901 | L.F. | X | 8" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 12" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 15" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 15" CONDUIT W/TYPE 1 BEDDING & WATERTIGHT JOINTS |
| 901 | L.F. | X | 18" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 24" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 30" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 36" CONDUIT W/TYPE 1 BEDDING |
| 901 | L.F. | X | 42" CONDUIT W/TYPE 1 BEDDING |
| SANITARY SEWER | | | |
| 918 | L.F. | X | 6" DIAMETER PIPE, SANITARY HOUSE CONNECTION SERVICE |

ESTIMATED QUANTITIES ARE SHOWN AS REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITIES REQUIRED TO CONSTRUCT ITEMS OF WORK AS SHOWN ON THESE PLANS.

INDEX OF SHEETS

- TITLE SHEET
- TOPOGRAPHICAL SURVEY
- STORM SEWER DRAINAGE PLAN
- STORM SEWER PROFILES
- SEDIMENTATION & EROSION CONTROL PLAN
- SEDIMENTATION & EROSION CONTROL DETAILS
- MISCELLANEOUS UTILITY PLAN
- PAVEMENT & STRIPING PLAN
- STAKING PLAN
- SIDEWALK PLAN

STANDARD DRAWINGS

THE CITY OF GROVE CITY STANDARD DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

| | | |
|---------|----------|---------|
| C-GC-3 | C-GC-24 | C-GC-70 |
| C-GC-4 | C-GC-26 | C-GC-71 |
| C-GC-12 | C-GC-30 | C-GC-72 |
| C-GC-19 | C-GC-31 | C-GC-73 |
| C-GC-20 | C-GC-32 | C-GC-74 |
| C-GC-21 | C-GC-37 | C-GC-75 |
| C-GC-22 | C-GC-38 | C-GC-76 |
| C-GC-23 | C-GC-41B | C-GC-77 |

THE CITY OF COLUMBUS STANDARD DRAWINGS LISTED BELOW SHALL BE CONSIDERED A PART OF THESE PLANS.

| | |
|--------|------------|
| L-6306 | AA-S148 |
| L-6309 | L-6640 |
| L-6310 | L-6637 |
| L-6311 | L-6409 |
| L-6312 | L-7601 |
| L-6316 | 2220 DR. A |
| L-6317 | |
| L-6324 | |

PLAN PREPARED BY:

BRH
Group, Inc.

Engineering & Surveying
751 Northwest Boulevard
Suite 300
Columbus, Ohio 43212-3871
Phone: (614) 220-9122
Email: info@brhgroup.com

By Stu P. Brown
Registered Engineer



2.19.14
Date

Approvals: Signatures on this plan signify only concurrence with the general purposes and general location of project. All technical details remain the responsibility of the engineer preparing the plan.

City Administrator, City of Grove City, Ohio Date

Service Director, City of Grove City, Ohio Date

Review for the City of Grove City Date

Chief, Jackson Township Fire Department Date

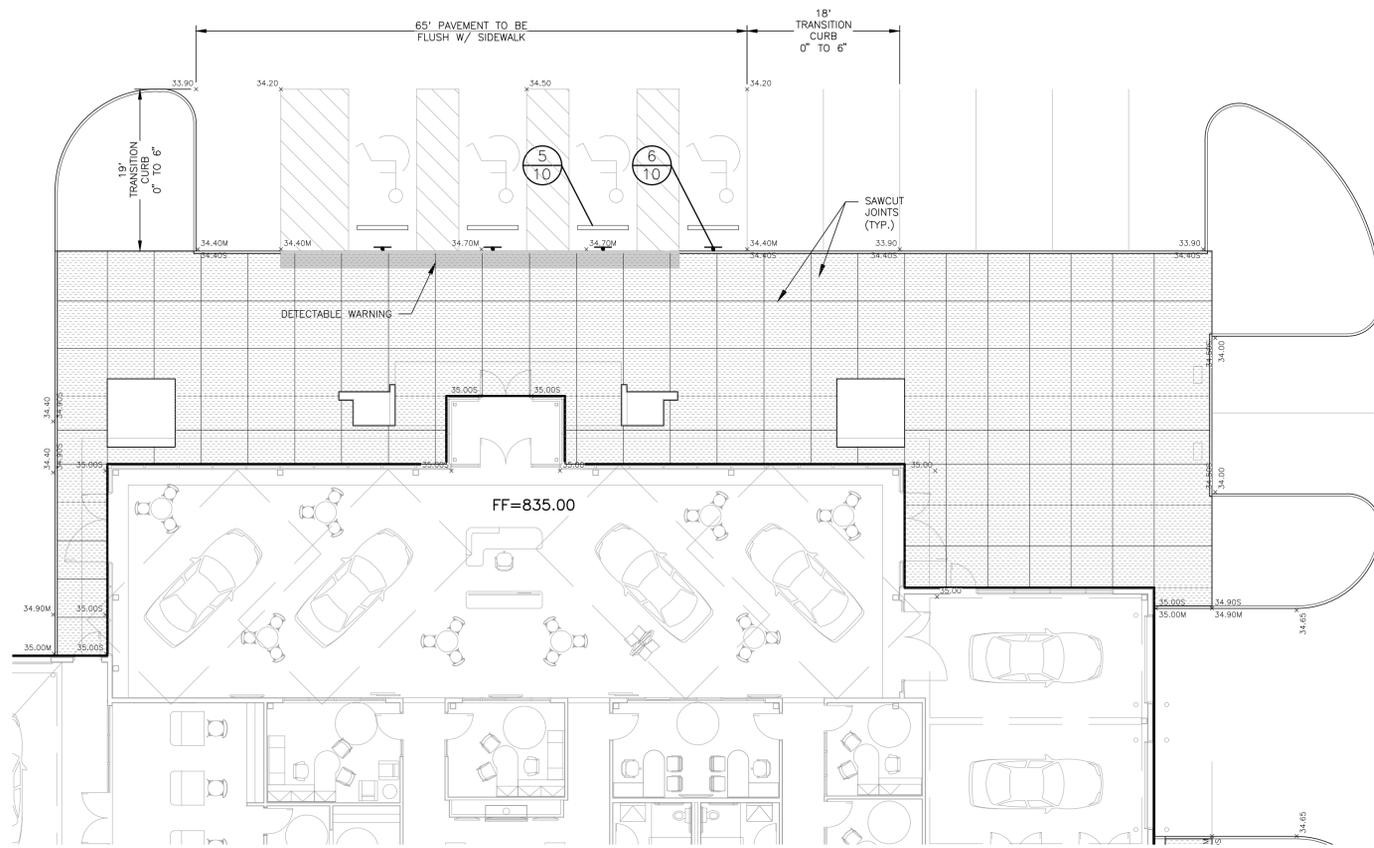
ISSUED: 2-19-14

SHEET

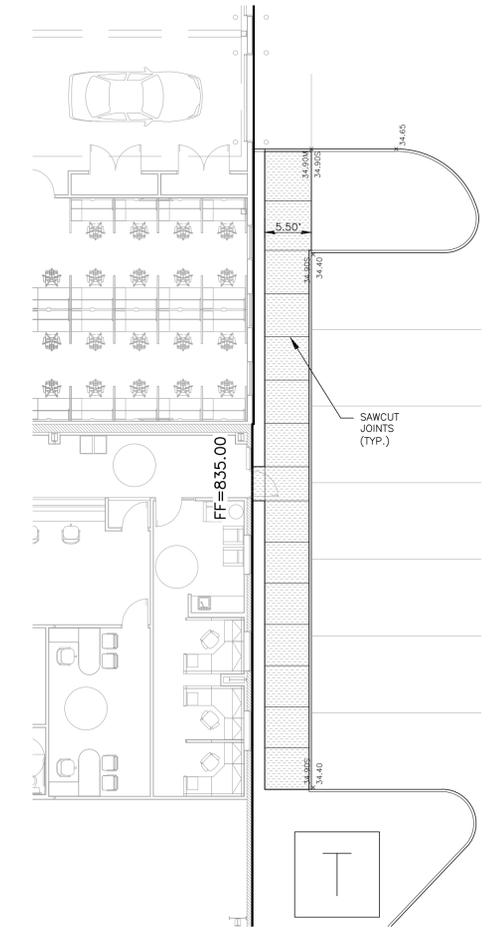
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C-1 OF 10

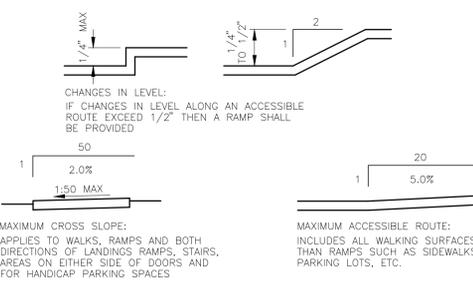
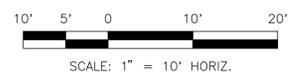
DEVELOPMENT PLAN FOR:
BYERS CHEVROLET
SIDEWALK PLAN
THE CITY OF GROVE CITY, OHIO



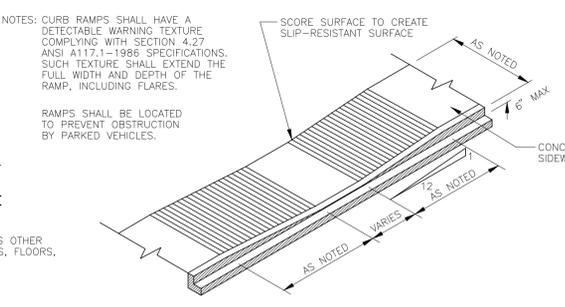
1
10 HANDICAP PARKING
SCALE: 1" = 10'



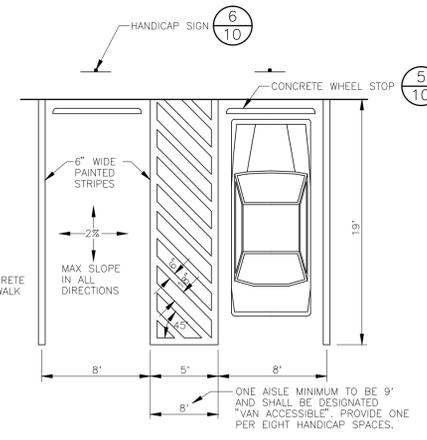
2
10 SIDEWALK PLAN
SCALE: 1" = 10'



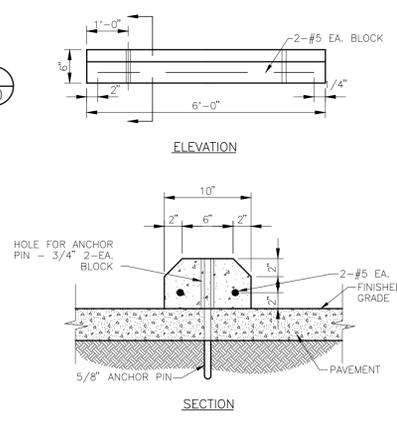
LEVEL CHANGES
NO SCALE



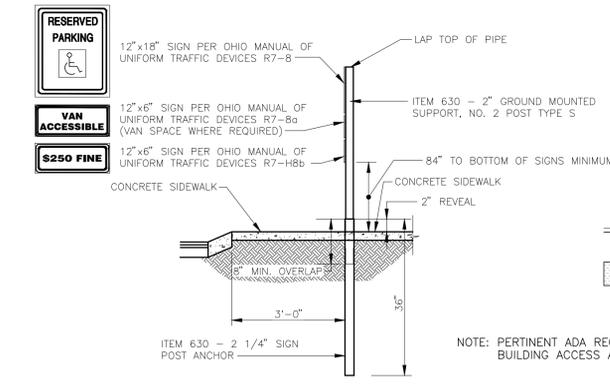
3
10 HANDICAPPED CURB RAMP
NO SCALE



4
10 HANDICAP PARKING
NO SCALE



5
10 CONCRETE BUMPER BLOCK DETAIL
NO SCALE



6
10 HANDICAP SIGN
NO SCALE

LEGEND

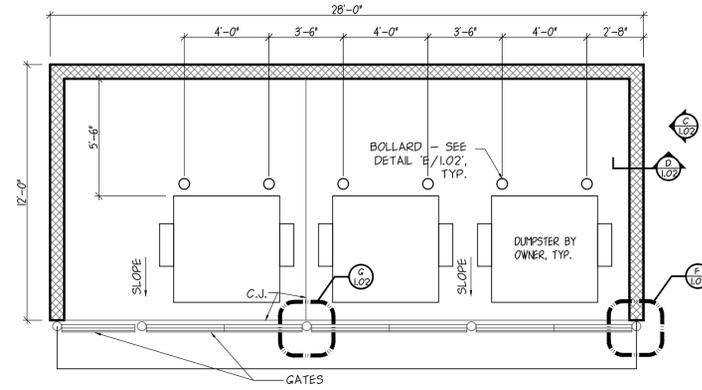
- CURBING
- SIDEWALK
- SPOT ELEVATION

NOTE: PERTINENT ADA REQUIREMENTS SHALL GOVERN BUILDING ACCESS AND EGRESS.

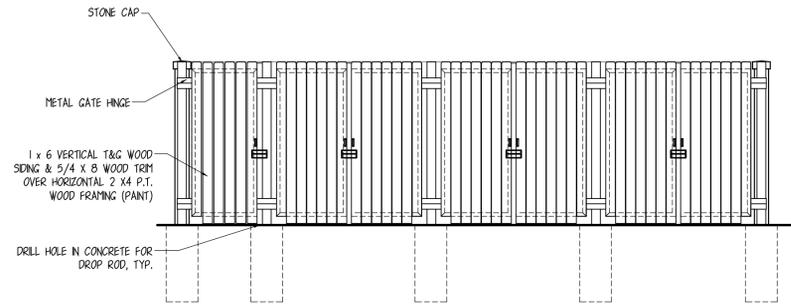
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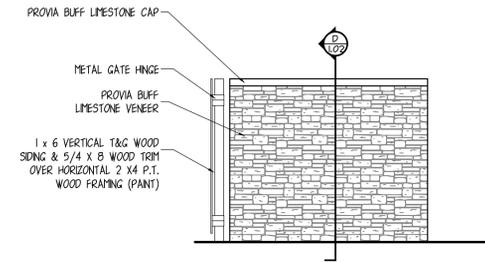
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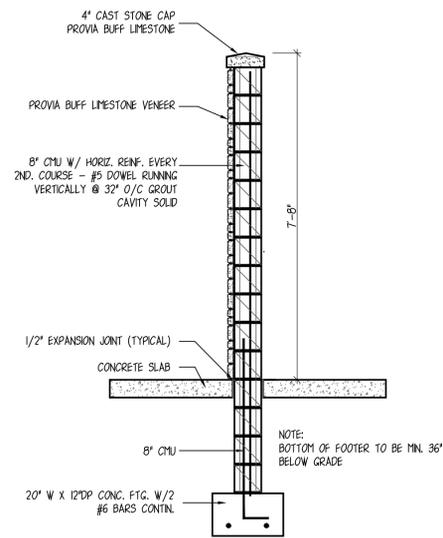
A ENCLOSURE PLAN
SCALE 1/4" = 1'-0"



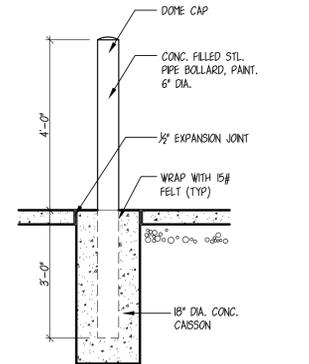
B ENCLOSURE ELEVATION
SCALE 1/4" = 1'-0"



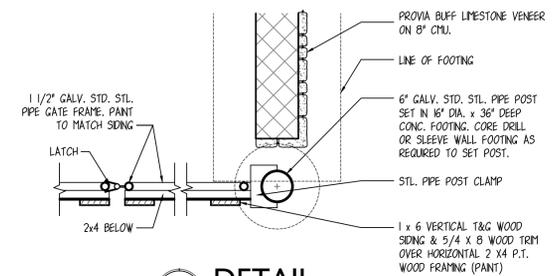
C ENCLOSURE ELEVATION
SCALE 1/4" = 1'-0"



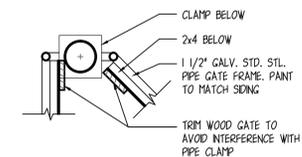
D SECTION
SCALE 1/2" = 1'-0"



E TYPICAL BOLLARD
SCALE 1/2" = 1'-0"



F DETAIL
SCALE 3/4" = 1'-0"



G DETAIL
SCALE 3/4" = 1'-0"

Drawings

| | |
|----------------|------------|
| ■ Preliminary | 02/24/2014 |
| □ Bid Set | |
| □ Permit Set | |
| □ Construction | |

Revisions

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Renier Construction Corporation
CONSTRUCTION

ARCHITECTURAL ALLIANCE
148 NORTH SPYTH STREET | COLUMBUS, OHIO 43215
P. 614.462.7500 | F. 614.462.0000 | www.aacohio.com

Project Number
A13_072

Sheet Title
ARCHITECTURAL SITE DETAILS

Sheet Number

ALTA/ACSM LAND TITLE SURVEY
SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF GROVE CITY,
BEING PART OF VIRGINIA MILITARY SURVEY NUMBER 1434.

SCHEDULE "A" - LEGAL DESCRIPTION

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF GROVE CITY, VIRGINIA MILITARY SURVEY NUMBER 1434, BEING A 22.651 ACRE TRACT OF LAND LOCATED IN LOT 5 AS DELINEATED ON THE PLAT OF "GATEWAY BUSINESS PARK", OF RECORD IN PLAT BOOK 86, PAGE 4 AND BEING PART OF THAT LAND AS DESCRIBED IN A DEED TO GCD EXCHANGE CO., LLC OF RECORD IN INSTRUMENT NUMBER 201310160174691, (ALL REFERENCES TO RECORDS ARE ON FILE IN THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO), SAID 22.651 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" REBAR FOUND (NO CAP) IN THE WESTERLY RIGHT-OF-WAY LINE OF NORTH MEADOWS DRIVE (60 FOOT WIDE), AT THE SOUTHEASTERLY CORNER OF SAID LOT 5, AT THE NORTHEASTERLY CORNER OF LOT 2A AS DELINEATED ON THE PLAT OF "GATEWAY BUSINESS PARK RESUBDIVISION OF LOT NO.2, DEDICATION OF MEADOW POND COURT AND EASEMENTS", OF RECORD IN PLAT BOOK 107, PAGE 8, AND AT THE SOUTHEASTERLY CORNER OF THAT 0.295 ACRE TRACT AS DESCRIBED IN A DEED TO THE CITY OF GROVE CITY, OHIO, (FOR PUBLIC USE AS A RIGHT-OF-WAY) OF RECORD IN INSTRUMENT NUMBER 201308090136984;

THENCE NORTH 88°27'41" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 5, THE NORTHERLY LINE OF SAID LOT 2A, AND THE SOUTHERLY LINE OF SAID 0.295 ACRE TRACT, A DISTANCE OF 10.00 FEET TO AN IRON PIN SET AT A SOUTHWESTERLY CORNER OF SAID 0.295 ACRE TRACT AND BEING THE **TRUE PLACE OF BEGINNING** OF THE 22.651 ACRE TRACT HEREIN DESCRIBED:

THENCE NORTH 88°27'41" WEST, CONTINUING ALONG THE SOUTHERLY LINE OF SAID LOT 5, THE NORTHERLY LINE OF SAID LOT 2A, AND ALONG THE NORTHERLY LINE OF LOT 2B AS DELINEATED ON SAID PLAT "GATEWAY BUSINESS PARK RESUBDIVISION", A DISTANCE OF 841.59 FEET TO AN IRON PIN SET AT THE SOUTHEASTERLY CORNER OF THAT 0.258 ACRE TRACT (PARCEL 19-WL, FRA-71-6.09) AS DESCRIBED IN A JUDGMENT ENTRY ON SETTLEMENT TO THE CITY OF GROVE CITY, OF RECORD IN INSTRUMENT NUMBER 201011040148252;

THENCE NORTH 22°16'44" EAST, ALONG THE EASTERLY LINE OF SAID 0.258 ACRE TRACT, THE NEWLY ESTABLISHED EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 71, A DISTANCE OF 441.02 FEET TO A 3/4" IRON PIPE (WITH A CAP STAMPED "EMH&T") FOUND AT THE NORTHEASTERLY CORNER OF SAID 0.258 ACRE TRACT, IN THE EXISTING EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 71, IN THE EASTERLY LINE OF THAT 14.859 ACRE TRACT (PARCEL 18-WL, FRA-71-6.09) AS DESCRIBED IN A DEED TO THE CITY OF GROVE CITY, OHIO OF RECORD IN INSTRUMENT NUMBER 201005260064706 AND IN THE WESTERLY LINE OF SAID LOT 5;

THENCE NORTH 31°12'06" EAST, ALONG THE WESTERLY LINE OF SAID LOT 5, ALONG THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 71, THE EASTERLY LINE OF SAID 14.859 ACRE TRACT, A DISTANCE OF 1049.60 FEET TO A CONCRETE RIGHT OF WAY MONUMENT FOUND AT A POINT OF CURVATURE;

THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID LOT 5, ALONG THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 71, THE EASTERLY LINE OF SAID 14.859 ACRE TRACT, ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 01°25'24", A RADIUS OF 11704.30 FEET, AN ARC DISTANCE OF 290.75 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT 5, IN THE SOUTHERLY LINE OF LOT 6 AS DELINEATED ON SAID PLAT "GATEWAY BUSINESS PARK", WITNESS A 3/4" IRON PIPE FOUND WITH A CAP STAMPED "POMEROY" LOCATED NORTH 57°02'08" WEST, A DISTANCE OF 0.79 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING NORTH 31°54'48" EAST, A CHORD DISTANCE OF 290.74 FEET;

THENCE SOUTH 57°02'08" EAST, ALONG THE NORTHERLY LINE OF SAID LOT 5, THE SOUTHERLY LINE OF SAID LOT 6, A DISTANCE OF 551.39 FEET TO A MAGNAIL FOUND IN THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH MEADOWS DRIVE, AT THE NORTHEASTERLY CORNER OF SAID LOT 5;

THENCE ALONG THE EASTERLY LINE OF SAID LOT 5, THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH MEADOWS DRIVE, ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 75° 52' 57", A RADIUS OF 64.00 FEET, AN ARC DISTANCE OF 84.76 FEET TO A 3/4" IRON PIPE (WITH A CAP STAMPED "EMH&T") FOUND AT A POINT OF REVERSE CURVATURE, SAID ARC BEING SUBTENDED BY A CHORD BEARING SOUTH 28°10'16" WEST, A CHORD DISTANCE OF 78.70 FEET;

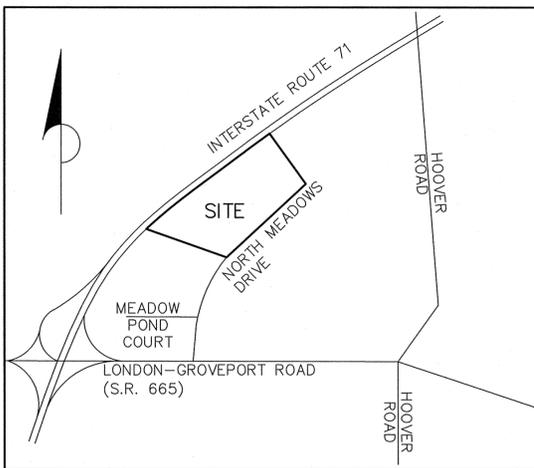
THENCE CONTINUING ALONG THE EASTERLY LINE OF SAID LOT 5, THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH MEADOWS DRIVE, ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 101°25'24", A RADIUS OF 64.00 FEET, AN ARC DISTANCE OF 11.48 FEET AN IRON PIN SET AT THE NORTHERLY CORNER OF SAID 0.295 ACRE TRACT AS DESCRIBED IN SAID DEED TO THE CITY OF GROVE CITY, OF RECORD IN INSTRUMENT NUMBER 201308090136984, SAID ARC BEING SUBTENDED BY A CHORD BEARING SOUTH 04°37'33" EAST, A CHORD DISTANCE OF 11.47 FEET;

THENCE SOUTH 32°58'37" WEST, ALONG THE WESTERLY LINE OF SAID 0.295 ACRE TRACT, THE NEW RIGHT OF WAY LINE OF NORTH MEADOWS DRIVE, A DISTANCE OF 437.50 FEET TO AN IRON PIN SET AT A POINT OF CURVATURE;

THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID 0.295 ACRE TRACT, THE NEW RIGHT OF WAY LINE OF NORTH MEADOWS DRIVE, ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 24°50'07", A RADIUS OF 1040.00 FEET, AN ARC DISTANCE OF 450.79 FEET TO AN IRON PIN SET AT A POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING SOUTH 20°33'34" WEST, A CHORD DISTANCE OF 447.27 FEET;

THENCE SOUTH 08°08'32" WEST, CONTINUING ALONG THE WESTERLY LINE OF SAID 0.295 ACRE TRACT, THE NEW RIGHT OF WAY LINE OF NORTH MEADOWS DRIVE, A DISTANCE OF 332.76 FEET TO AN IRON PIN SET AT A POINT OF CURVATURE;

THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID 0.295 ACRE TRACT, THE NEW RIGHT OF WAY LINE OF NORTH MEADOWS DRIVE, ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 05°35'46", A RADIUS OF 815.00 FEET, AN ARC DISTANCE OF 79.60 FEET TO THE **TRUE PLACE OF BEGINNING** AND CONTAINING 22.651 ACRES, SAID ARC BEING SUBTENDED BY A CHORD BEARING SOUTH 05°20'38" WEST, A CHORD DISTANCE OF 79.57 FEET;



LOCATION MAP

SURVEYOR'S REPORT

THE PREMISES HAS DIRECT ACCESS TO THE PUBLIC RIGHT OF WAY OF NORTH MEADOWS DRIVE (60 FEET IN WIDTH).

THERE ARE NO BUILDINGS ON THE SUBJECT PREMISES.

THERE WERE NO OBSERVABLE EVIDENCE OF ENCROACHMENTS FROM A VISUAL INSPECTION ON 10/18/2013.

THERE WAS NO OBSERVABLE EVIDENCE THAT THE SITE WAS USED AS A CEMETERY FROM A VISUAL INSPECTION ON 10/18/2013.

AS PER ITEM 16 OF TABLE "A": THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK OR BUILDING CONSTRUCTION ON THE SUBJECT PREMISES FROM A VISUAL INSPECTION ON 10/18/2013.

AS PER ITEM 17 OF TABLE "A": THERE WAS OBSERVABLE EVIDENCE OF CURRENT STREET CONSTRUCTION FOR THE EXTENSION OF NORTH MEADOWS DRIVE NORTH OF THE SUBJECT PREMISES FROM A VISUAL INSPECTION ON 10/18/2013. CONSTRUCTION PLANS FOR THE WIDENING OF NORTH MEADOWS DRIVE FROM A 60 FOOT RIGHT OF WAY TO AN 80 FOOT RIGHT OF WAY ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PREMISES WAS PROVIDED BY THE CITY OF GROVE CITY.

AS PER ITEM 18 OF TABLE "A": THERE WAS NO OBSERVABLE EVIDENCE THAT THE SUBJECT PREMISES WAS USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL FROM A VISUAL INSPECTION ON 10/18/2013.

AS PER ITEM 19 OF TABLE "A": THERE WAS NO OBSERVABLE EVIDENCE FROM A VISUAL INSPECTION ON 10/18/2013 THAT APPROPRIATE AUTHORITIES HAVE MADE ANY DETERMINATION IF THERE MAY BE WETLANDS AFFECTING THE SUBJECT PREMISES.

SOURCE DOCUMENTS

- PLAT BOOK 86, PAGE 4
- PLAT BOOK 107, PAGE 8
- INSTRUMENT NUMBER 200607070133355
- INSTRUMENT NUMBER 200506220121351
- INSTRUMENT NUMBER 201005260064706
- INSTRUMENT NUMBER 201011040148252
- INSTRUMENT NUMBER 201303200046814
- INSTRUMENT NUMBER 201303200046817
- INSTRUMENT NUMBER 201308090136984
- INSTRUMENT NUMBER 201310160174691

BASIS OF BEARING

BEARINGS ARE BASED ON NORTH 32°58'37" EAST ALONG THE CENTERLINE OF NORTH MEADOWS DRIVE, AS DELINEATED ON THE PLAT "GATEWAY BUSINESS PARK", OF RECORD IN PLAT BOOK 86, PAGE 4, ON FILE IN THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

FLOOD ZONE

BY GRAPHICAL PLOTTING ONLY, THE SUBJECT PREMISES IS LOCATED IN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL FLOODPLAIN), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AND SHOWN ON THE FLOOD INSURANCE RATE MAP, 39049C0402 K, EFFECTIVE DATE: JUNE 17, 2008 AND FLOOD INSURANCE RATE MAP, 39049C0404 K, EFFECTIVE DATE: JUNE 17, 2008

UTILITY STATEMENT

THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AS SHOWN HEREON. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN APPROXIMATELY PLOTTED BASED ON LOCATIONS FROM AN ACTUAL FIELD SURVEY, AND/OR INFORMATION OBTAINED FROM RECORD UTILITY PLANS AND ATLAS MAPS AS MAY BE AVAILABLE FROM LOCAL MUNICIPALITIES OR PUBLIC AND QUASI-PUBLIC UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE OHIO REVISED CODE, SECTIONS 3781.25 THROUGH 3781.32 REQUIRES THAT THE CONTRACTOR NOTIFY THE UTILITY PROTECTION SERVICE AND LOCAL UTILITY FACILITIES TWO WORKING DAYS PRIOR TO EXCAVATION.

SCHEDULE "B" - EXCEPTIONS FROM COVERAGE

NOTES PERTAINING TO EXCEPTION ITEMS FROM SCHEDULE B, SECTION II, THAT MAY AFFECT THE TITLE TO THE SUBJECT PREMISES AS DESCRIBED IN SCHEDULE A, FROM A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: NCS-606233-CH12, EFFECTIVE DATE: OCTOBER 16, 2013 AT 9:14 A.M.

ITEM 6. EASEMENT FOR HIGHWAY PURPOSES FROM DONALD S. SEELY AND EMMA B. SEELY TO THE STATE OF OHIO, DATED FEBRUARY 20, 1958, FILED FOR RECORD APRIL 15, 1958 AND RECORDED IN VOLUME 2095, PAGE 222 OF FRANKLIN COUNTY RECORDS. (THIS EASEMENT IS LOCATED ALONG STATE ROUTE 665 AND DOES NOT AFFECT THE SUBJECT PREMISES).

ITEM 7. RIGHT OF WAY AND EASEMENT FROM OSCAR W. BAUSCH AND HELEN P. BAUSCH TO COLUMBUS AND SOUTHERN OHIO ELECTRIC COMPANY, DATED MARCH 8, 1968, FILED FOR RECORD MARCH 19, 1968 AND RECORDED IN VOLUME 2880, PAGE 533 OF FRANKLIN COUNTY RECORDS. (150' WIDE EASEMENT FOR ELECTRIC TRANSMISSION LINES, THE EASEMENT AFFECTS THE SUBJECT PREMISES AND IS SHOWN HEREON).

ITEM 8. EASEMENT FROM IRONWOOD PROPERTIES II, LTD. TO THE OHIO BELL TELEPHONE COMPANY, DATED JANUARY 23, 1997, FILED FOR RECORD FEBRUARY 14, 1997 AND RECORDED IN VOLUME 34301, PAGE B10 OF FRANKLIN COUNTY RECORDS. (15' WIDE EASEMENT FOR UNDERGROUND COMMUNICATION SYSTEM ALONG THE EXISTING WESTERLY RIGHT OF WAY OF NORTH MEADOWS DRIVE, IS NOW LOCATED IN THAT 10 FOOT STRIP TRANSFERRED TO THE CITY OF GROVE CITY AND DOES NOT AFFECT THE SUBJECT PREMISES, THE EASEMENT AND THE COMMUNICATION LINES MAY BE RELOCATED WHEN NORTH MEADOWS DRIVE IS WIDENED).

ITEM 9. EASEMENT & RIGHT OF WAY FROM IRONWOOD PROPERTIES II, LTD. TO COLUMBUS SOUTHERN POWER COMPANY, DATED JANUARY 23, 1997, FILED FOR RECORD FEBRUARY 18, 1997 AND RECORDED IN VOLUME 34310, PAGE F16 OF FRANKLIN COUNTY RECORDS. (15' WIDE EASEMENT FOR UNDERGROUND ELECTRIC, OTHER ENERGY OR COMMUNICATION PURPOSES ALONG THE EXISTING WESTERLY RIGHT OF WAY OF NORTH MEADOWS DRIVE, IS NOW LOCATED IN THAT 10 FOOT STRIP TRANSFERRED TO THE CITY OF GROVE CITY AND DOES NOT AFFECT THE SUBJECT PREMISES, THE EASEMENT AND THE COMMUNICATION LINES MAY BE RELOCATED WHEN NORTH MEADOWS DRIVE IS WIDENED).

ITEM 10. DECLARATION OF RECIPROCAL ACCESS EASEMENTS BY AND BETWEEN IRONWOOD PROPERTIES II, LTD. AND RUSCILLI DEVELOPMENT CO., LTD., DATED MARCH 7, 1997, FILED FOR RECORD MARCH 7, 1997 AND RECORDED IN VOLUME 34487, PAGE D02 OF FRANKLIN COUNTY RECORDS. (TWO 20 FOOT WIDE ACCESS EASEMENTS, THE FIRST ALONG THE NORTH LINE OF LOT 5 FOR THE BENEFIT OF LOT 6 FOR INGRESS AND EGRESS, THE SECOND ALONG THE SOUTH LINE OF LOT 6 FOR THE BENEFIT OF LOT 5 FOR INGRESS AND EGRESS, AFFECT THE SUBJECT PREMISES AND IS SHOWN HEREON).

ITEM 11. DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR GATEWAY BUSINESS PARK, GROVE CITY, FRANKLIN COUNTY, OHIO, DATED OCTOBER 1, 1997, AND FILED FOR RECORD NOVEMBER 6, 1997 AS FRANKLIN COUNTY RECORDER'S INSTRUMENT NO. 199711060138178. (UNDER ARTICLE VI, 6.4 YARD AND SETBACK REQUIREMENTS, 25 FEET ALONG NORTH MEADOWS DRIVE FOR PAVEMENT SETBACKS AND 50 FEET ALONG NORTH MEADOWS DRIVE FOR BUILDING SETBACKS ARE SHOWN ON THE SURVEY, SETBACKS SHOWN HEREON ARE OFFSET FROM THE NEW RIGHT OF WAY LINE; AND 6.6 HEIGHT REQUIREMENTS, NO BUILDING OR STRUCTURE SHALL NOT EXCEED 50 FEET IN HEIGHT OR EXCEED 4 STORIES).

ITEM 12. DEED OF EASEMENT FROM METROPOLITAN LIFE INSURANCE COMPANY TO THE CITY OF GROVE CITY, OHIO, DATED JANUARY 3, 2000, AND FILED FOR RECORD FEBRUARY 3, 2000 AS FRANKLIN COUNTY RECORDER'S INSTRUMENT NO. 200002030024096. (A 30 FOOT WIDE EASEMENT FOR A WATER MAIN AFFECTS THE SUBJECT PREMISES AND IS SHOWN HEREON).

ITEM 13. EASEMENT FROM METROPOLITAN LIFE INSURANCE COMPANY TO COLUMBIA GAS OF OHIO, INC. DATED MARCH 22, 2000, AND FILED FOR RECORD APRIL 18, 2000 AS FRANKLIN COUNTY RECORDER'S INSTRUMENT NO. 200004180075731. (A 20 FOOT WIDE EASEMENT FOR A GAS MAIN AFFECTS THE SUBJECT PREMISES AND IS SHOWN HEREON).

NOT INCLUDED IN TITLE REPORT:

AN EXISTING EASEMENT FROM IRONWOOD PROPERTIES II, LTD. TO COLUMBIA GAS OF OHIO, INC., DATED JANUARY 23, 1997, FILED FOR RECORD FEBRUARY 4, 1997 AND RECORDED IN VOLUME 34215, PAGE C18 OF FRANKLIN COUNTY RECORDS. (AN EASEMENT, PART 13 FEET WIDE AND PART 20 FEET WIDE FOR UNDERGROUND PIPELINE PURPOSES ALONG THE NORTHERLY LINE OF LOT 5, AFFECTS THE SUBJECT PREMISES AND IS SHOWN HEREON).

SURVEYOR'S CERTIFICATION

TO: GCD EXCHANGE CO., LLC, AN OHIO LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPSM AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11(A), 13, 14, 16, 17, 18 & 19 OF TABLE A THEREOF; THE FIELD WORK WAS COMPLETED IN OCTOBER, 2013.

John L. Price
JOHN L. PRICE,
PROFESSIONAL SURVEYOR No. 7159

01/23/2014
DATE



ALTA/ACSM LAND TITLE SURVEY
22.651 ACRES
NORTH MEADOWS DRIVE
GROVE CITY, OHIO

| DATE | REVISIONS |
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| No. | JOB NO. |
|-----|--------------------|
| | 40214 |
| | DRAWN BY JLP |
| | DESIGNED BY |
| | CHECKED BY JLP |
| | FIELD CREW RDG/CRB |
| | FIELD BOOK |
| | DATE 01-23-2014 |
| | SCALE 1" = 60' |

SHEET
1
OF 2



| REVISIONS | |
|-----------|--|
| | |
| | |
| | |

ILLUSTRATIVE
PLAN

BYERS CHEVROLET
PREPARED FOR
 ARCHITECTURAL ALLIANCE
165 NORTH FIFTH STREET
 COLUMBUS, OHIO 43215

Faris Planning & Design
LAND PLANNING LANDSCAPE ARCHITECTURE
243 N. 5th Street Columbus, OH 43215
Suite 401 P (614) 487-1964
www.farisplanninganddesign.com

| | |
|---------|---------|
| DATE | 2/20/14 |
| PROJECT | 13108 |
| SHEET | |

L-1a

BUILDING PERIMETER PLANTINGS

SEE ENLARGEMENT PLAN 2, SHEET L-2

FRONTAGE PLANTINGS

SEE ENLARGEMENT PLAN - DETAIL 5, SHEET SD-1

LANDSCAPE REQUIREMENTS(*1)

| N. MEADOWS FRONTAGE - 210 LF | REQUIRED | PROVIDED |
|---|----------|----------|
| ONE (1) TREE PLANTED FOR EVERY 35 LINEAL FEET OF FRONTAGE | 7 | 7 |
| OPAQUE SCREEN (EV. SHRUBS) | 240 LF | 240 LF |

| RETENTION PERIMETER - 1016 LF | REQUIRED | PROVIDED |
|---|----------|----------|
| ONE (1) TREE PLANTED FOR EVERY 50 LINEAL FEET OF ON-SITE RETENTION PERIMETER (*3) | 21 | 21 |

| SOUTHERN SIDE YARD - 840 LF | REQUIRED | PROVIDED |
|--|-----------------------|-----------------------|
| ONE (1) TREE AND TWO (2) 18" HGT. DECIDUOUS SHRUBS PLANTED FOR EVERY 40 LINEAL FEET OF PROPERTY LINE | 21 TREES 42 SHRUBS | 21 TREES 49 SHRUBS |

| NORTHERN SIDE YARD - 552 LF | REQUIRED | PROVIDED |
|--|-----------------------|-----------------------|
| ONE (1) TREE AND TWO (2) 18" HGT. DECIDUOUS SHRUBS PLANTED FOR EVERY 40 LINEAL FEET OF PROPERTY LINE | 14 TREES 28 SHRUBS | 14 TREES 28 SHRUBS |

| I-71 FRONTAGE - 465 LF | REQUIRED | PROVIDED |
|---|----------|----------|
| ONE (1) TREE PLANTED FOR EVERY 35 LINEAL FEET OF FRONTAGE | 14 | 14 |
| OPAQUE SCREEN (PROVIDED BY FREEWAY ELEVATION) | N/A | N/A |

*1 SEE ENLARGEMENT PLAN, SHEET L-2, FOR BUILDING PERIMETER REQUIREMENTS

*2 - TREES UNDERNEATH POWER LINE ARE SUBJECT TO APPROVAL OF SPECIES AND LOCATION BY AMERICAN ELECTRIC POWER. IF NOT ALLOWED IN EASEMENT, WILL BE LOCATED ELSEWHERE ON SITE.

*3 - APPLICANT ASKS FOR WAIVER OF 20' SETBACK REQUIREMENT FROM BANK OF POND TO PROVIDE ROOM FOR PLANTING AND ACCOMMODATE EXISTING ELECTRIC EASEMENT.

CONSTRUCTION NOTES:

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ NOT USED
- ④ PROPOSED MASONRY PILLAR - SEE DETAIL 1, SHEET SD-1-PER GROVE CITY ROADWAY IMPROVEMENTS PLAN FOR NORTH MEADOWS DRIVE EXTENSION PART 2, SHEETS 65 AND 66-BY CITY-
- ⑤ EXISTING FENCE - REMOVE AND REPLACE WITH DECORATIVE 4-RAIL FENCE AND MASONRY PILLARS PER GROVE CITY ROADWAY IMPROVEMENTS PLAN FOR NORTH MEADOWS DRIVE EXTENSION PART 2, SHEETS 65 AND 66-BY CITY
- ⑥ DECORATIVE 4-RAIL FENCE - SEE DETAIL 2, SHEET SD-1-PER GROVE CITY ROADWAY IMPROVEMENTS PLAN FOR NORTH MEADOWS DRIVE EXTENSION PART 2, SHEETS 65 AND 66-BY CITY
- ⑦ ORANGE SNOW FENCE- INSTALL AT DRIP LINE OF EXISTING TREES PRIOR TO EARTHWORK AND OTHER SITE CONSTRUCTION ACTIVITIES-

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED / SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. ALL SERVICE STRUCTURES, INCLUDING BUT NOT LIMITED TO A/C UNITS, ELECTRICAL TRANSFORMERS, AND TRASH DUMPSTERS SHALL BE SCREENED PER 1136.08

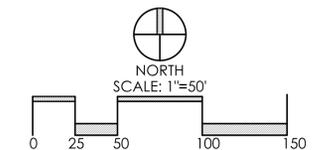
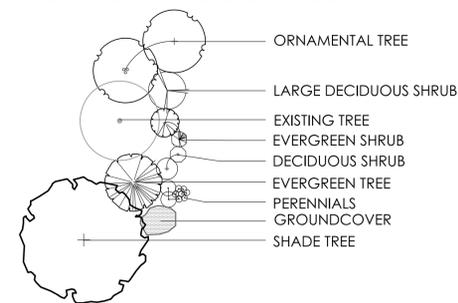
PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

| QTY | KEY | BOTANICAL NAME | COMMON NAME | SIZE | COND. | REMARKS |
|--------------------------------------|-----|--|----------------------------------|-------------|-------|------------|
| TREES | | | | | | |
| 25 | GIN | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY GINKGO | 2" CAL. | B&B | MATCH FORM |
| 67 | SYR | SYRINGA RETICULATA 'IVORY SILK' | JAPANESE TREE LILAC | 2" CAL. | B&B | MATCH FORM |
| 42 | MET | METASEQUOIA GLYPTOSTROBIODES | DAWN REDWOOD | 2" CAL. | B&B | MATCH FORM |
| 13 | CAR | CARPINUS BETULUS 'FRANS FONTAINE' | COLUMNAR HORNBEAM | 2" CAL. | B&B | MATCH FORM |
| SHRUBS | | | | | | |
| 24 | CAL | CALLICARPA DICHOTOMA | PURPLE BEAUTYBERRY | 24" HGT | B&B | |
| 65 | EJO | EUONYMUS KIAUTSCHOVICUS 'MANHATTAN' | MANHATTAN EUONYMUS | 24" HGT | B&B | |
| 77 | FOR | FORSYTHIA X'NORTHERN SUN' | NORTHERN SUN FORSYTHIA | 18" HGT | B&B | |
| 29 | FOT | FOTHERGILLA MAJOR 'MOUNT AIRY' | MOUNT AIRY FOTHERGILLA | 24" | B&B | |
| 5 | JUN | JUNIPERUS CHINENSIS 'SPARTAN' | SPARTAN JUNIPER | 4-5' HGT | B&B | |
| 93 | PIC | PICEA ABIES 'NIDIFORMIS' | DWARF BIRD'S NEST SPRUCE | 18-24" SPR. | B&B | |
| PERENNIALS/ORNAMENTAL GRASSES | | | | | | |
| 149 | HEM | HEMEROCALLIS 'HYPERION' | HYPERION DAY LILY | NO. 1 | CONT. | |
| 146 | LIR | LIRIOPE MUSCARI 'SILVERY SUNPROOF' | SUNPROOF LIRIOPE | NO. 1 | CONT. | |
| 69 | CAK | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | NO. 2 | CONT. | |

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



| REVISIONS | |
|-----------|--|
| | |
| | |
| | |

OVERALL LANDSCAPE PLAN

PREPARED FOR
BYERS CHEVROLET
ARCHITECTURAL ALLIANCE
165 NORTH FIFTH STREET
COLUMBUS, OHIO 43215

Faris Planning & Design
LAND PLANNING
243 N. 5th Street
P (614) 487-1964

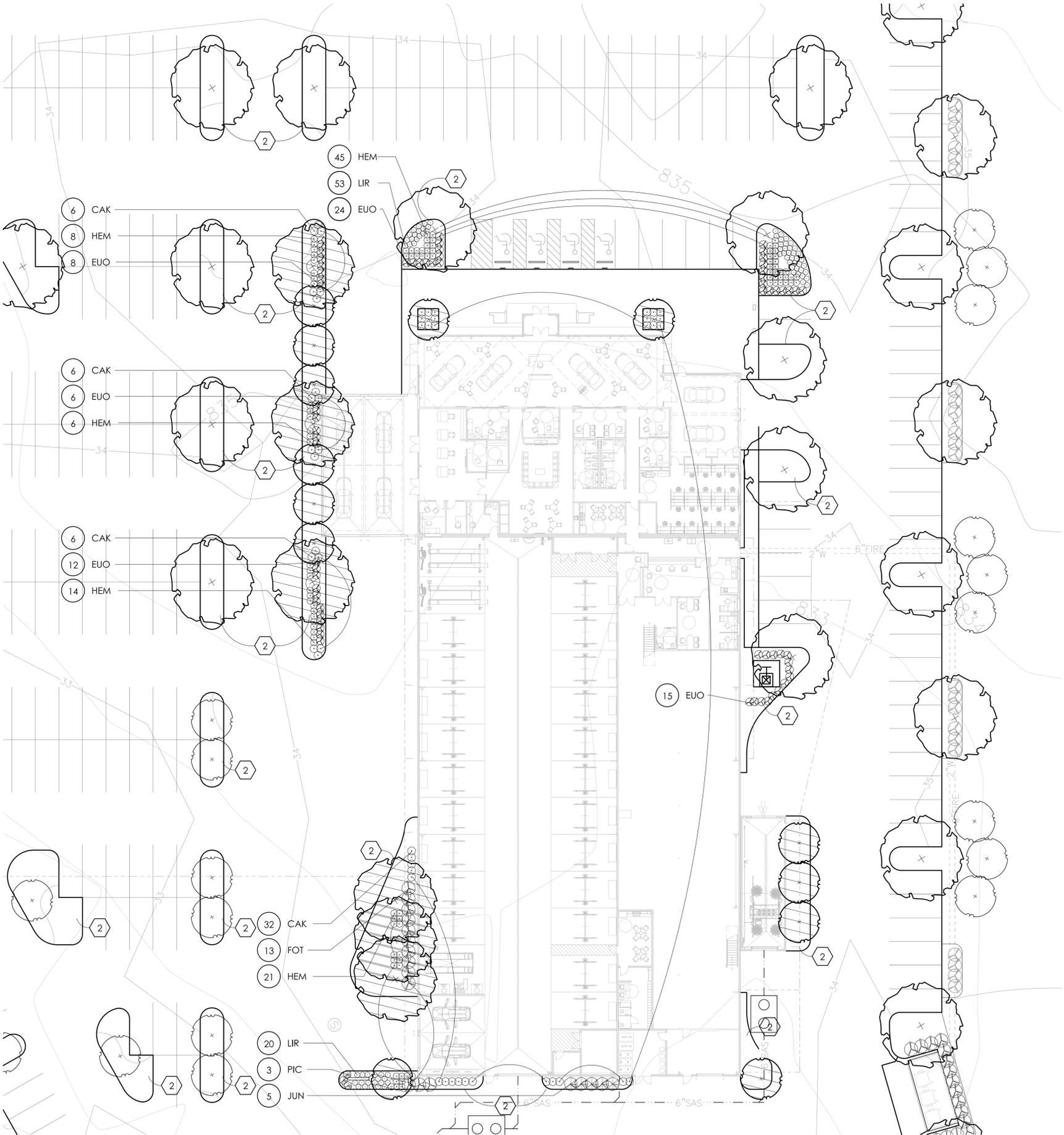
LANDSCAPE ARCHITECTURE
Columbus, OH 43215
Suite 401
www.farisplanninganddesign.com

DATE 02/20/14

PROJECT 13108

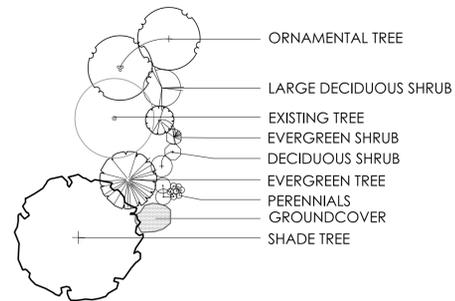
SHEET

L-1



PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



LANDSCAPE REQUIREMENTS

| BUILDING PERIMETER - 935 LF | REQUIRED | PROVIDED |
|---|----------|----------|
| ONE (1) TREE PLANTED FOR EVERY 50 LINEAL FEET OF BUILDING PERIMETER | 19 TREES | 19 TREES |

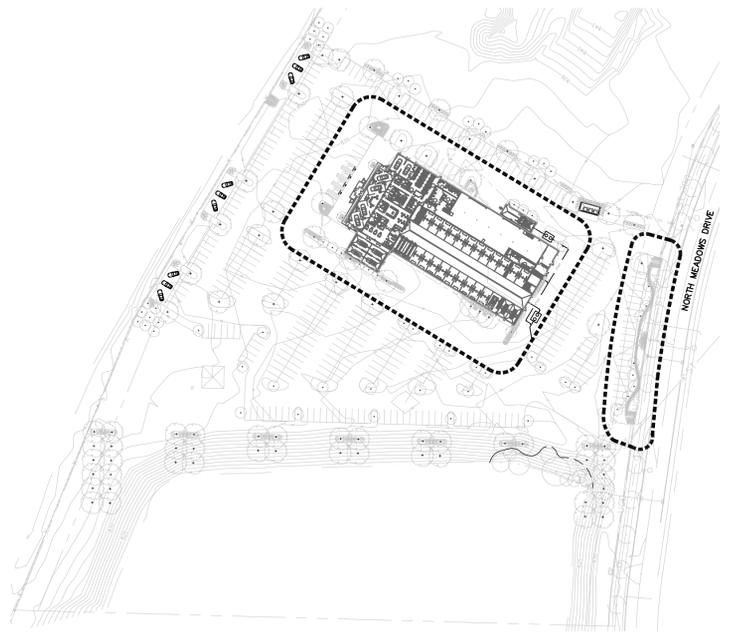


CONSTRUCTION NOTES:

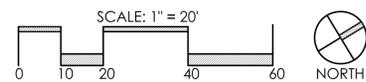
- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ NOT USED THIS SHEET
- ④ NOT USED THIS SHEET
- ⑤ NOT USED THIS SHEET
- ⑥ NOT USED THIS SHEET

GENERAL PLANTING NOTES:

- 1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- 2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- 3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- 5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- 6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- 7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- 8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED / SODDED.
- 10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 11. ALL SERVICE STRUCTURES, INCLUDING BUT NOT LIMITED TO A/C UNITS, ELECTRICAL TRANSFORMERS, AND TRASH DUMPSTERS SHALL BE SCREENED PER 1136.08



② BUILDING PERIMETER ENLARGEMENT PLAN
 SCALE: 1" = 20'



① IRRIGATION LIMITS
 N.T.S.



| REVISIONS | |
|---|----------|
| | 01/23/14 |
| | |
| BUILDING PERIMETER AND IRRIGATION PLAN | |
| PREPARED FOR BYERS CHEVROLET ARCHITECTURAL ALLIANCE 165 NORTH FIFTH STREET COLUMBUS, OHIO 43215 | |
| Faris Planning & Design LAND PLANNING LANDSCAPE ARCHITECTURE 243 N. 5th Street Columbus, OH 43215 Suite 401 P (614) 487-1964 www.farisplanninganddesign.com | |
| DATE | 02/20/14 |
| PROJECT | 13108 |
| SHEET | |
| L-2 | |

Light Fixture Cut-Sheets

archall

ARCHITECTURAL ALLIANCE

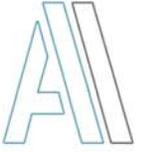
165 NORTH FIFTH STREET

COLUMBUS OHIO 43215

P. 614.469.7500

F. 614.469.0500

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CSX2 LED LED Area Luminaire



Catalog
Number

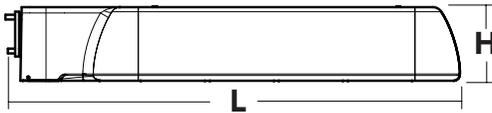
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

| | |
|----------------------|---|
| EPA: | 1.2 ft ² (0.11 m ²) |
| Length: | 35-3/8" (89.7 cm) |
| Width: | 18-1/2" (46.9 cm) |
| Height: | 5-7/8" (14.9 cm) |
| Weight (max): | 59 lbs (26.8 kg) |



Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

The CSX2 combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing traditional metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSX2 LED 120C 1000 40K T5M MVOLT SPA DDBXD

| CSX2 LED | 120C | | | | | | | | | |
|----------|---------------|----------------------------------|------------------------|--|--|--|---|--|--|--|
| Series | LEDs | Drive current | Color temperature | Distribution | Voltage | Mounting | Options | Finish (required) | | |
| CSX2 LED | 120C 120 LEDs | 700 700 mA 1000 1000 mA (1 A) | 40K 4000K 50K 5000K | T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw | MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480 | Shipped included SPA Square pole mounting RPA Round pole mounting Shipped Separately² SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor | Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ³ DMG 0-10V dimming driver (no controls) ⁴ HS House-side shield ² SF Single fuse (120, 277, 347V) ⁵ DF Double fuse (208, 240, 480V) ⁵ DS Dual switching ^{6,7} WTB Utility terminal block ⁸ UT Utility terminal block and closing screws ⁸ BL30 Bi-level switched dimming, 30% ^{7,9} BL50 Bi-level switched dimming, 50% ^{7,9} | DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white | | |
| | | | | | | | Shipped separately² VG Vandal guard BS Bird-deterrent spikes | | | |

Accessories

Ordered and shipped separately.

| | |
|--------------------|---|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) ¹⁰ |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) ¹⁰ |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) ¹⁰ |
| SC U | Shorting cap ¹⁰ |
| SPUMBA DDBXD U | Square pole universal mounting bracket adaptor (specify finish) |
| RPUMBA DDBXD U* | Round pole universal mounting bracket adaptor (specify finish) |
| CSX2HS U | House-side shields (includes 4 shields) |
| CSX2VG U | Vandal guard accessory |
| CSX2BS U | Bird-deterrent spikes accessory |

For more control options, visit [DTL](#) and [ROAM](#).

Drilling

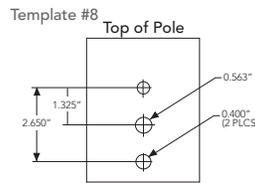
CSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles.

- DM19AS Single unit
- DM29AS 2 at 90°*
- DM28AS 2 at 180°
- DM39AS 3 at 90°*
- DM49AS 4 at 90°*
- DM32AS 3 at 120°**

Example: SSA 20 4C DM19AS DDBXD

* Round pole requires 3.25" O.D. minimum.

** For round pole mounting (RPA) only.



Tenon Mounting Slipfitter**

| Tenon O.D. | Single Unit | 2 at 180° | 2 at 90° | 3 at 120° | 3 at 90° | 4 at 90° |
|------------|-------------|-----------|-----------|-----------|-----------|-----------|
| 2-3/8" | AST20-190 | AST20-280 | N/A | N/A | N/A | N/A |
| 2-7/8" | AST25-190 | AST25-280 | N/A | AST25-320 | N/A | N/A |
| 4" | AST35-190 | AST35-280 | AST35-290 | AST35-320 | AST35-390 | AST35-490 |

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Not available with 347 or 480V.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50% dimming capability via two independent drivers, each operating half the luminaire. N/A with PER, DCR, DMG, WTB or UT.
- Requires an additional switched line.
- Not available with BL30 or BL50.
- Dimming driver standard. MVOLT only. Not available with WTB, UT or DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. For 1000mA 347V or 480V PER, must order DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) as the receptacle is wired after the stepdown transformer.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

| LEDs | Drive Current (mA) | Performance Package | System Watts | Dist. Type | 40K (4000K, 70 CRI) | | | | | 50K (5000K, 67 CRI) | | | | |
|--------------------|--------------------|---------------------|--------------|------------|---------------------|---|---|---|-----|---------------------|---|---|---|-----|
| | | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW |
| 120C (120 LEDs) | 700 mA | 120C 700 --K | 268W | T2M | 26,094 | 3 | 0 | 4 | 97 | 28,107 | 3 | 0 | 4 | 105 |
| | | | | T3M | 27,757 | 3 | 0 | 4 | 104 | 29,897 | 3 | 0 | 4 | 112 |
| | | | | T4M | 27,658 | 3 | 0 | 4 | 103 | 29,792 | 3 | 0 | 5 | 111 |
| | | | | T5M | 28,025 | 5 | 0 | 4 | 105 | 30,186 | 5 | 0 | 4 | 113 |
| | | | | TFTM | 28,304 | 3 | 0 | 4 | 106 | 30,487 | 3 | 0 | 4 | 114 |
| | 1000 mA | 120C 1000 --K | 416W | T2M | 34,700 | 4 | 0 | 4 | 83 | 37,406 | 4 | 0 | 5 | 90 |
| | | | | T3M | 36,910 | 4 | 0 | 5 | 89 | 39,789 | 4 | 0 | 5 | 96 |
| | | | | T4M | 36,780 | 3 | 0 | 5 | 88 | 39,649 | 4 | 0 | 5 | 95 |
| | | | | T5M | 37,267 | 5 | 0 | 4 | 90 | 40,174 | 5 | 0 | 5 | 97 |
| | | | | TFTM | 37,638 | 3 | 0 | 5 | 90 | 40,574 | 3 | 0 | 5 | 98 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | | Lumen Multiplier |
|-------------|-------------|------------------|
| 0°C | 32°F | 1.02 |
| 10°C | 50°F | 1.01 |
| 20°C | 68°F | 1.00 |
| 25°C | 77°F | 1.00 |
| 30°C | 86°F | 1.00 |
| 40°C | 104°F | 0.99 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **CSX2 LED 120C** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | 0.94 | 0.90 | 0.83 |

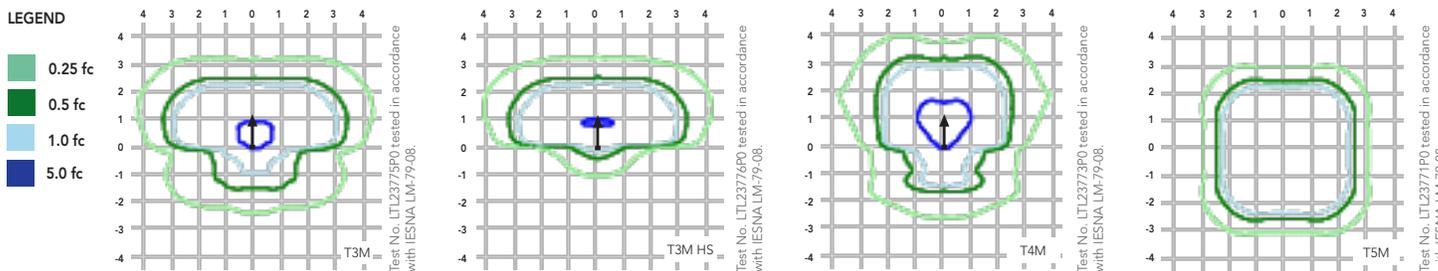
Electrical Load

| Number of LEDs | Drive Current (mA) | System Watts | Current (A) | | | | | |
|----------------|--------------------|--------------|-------------|-------|-------|-------|-------|-------|
| | | | 120 | 208 | 240 | 277 | 347 | 480 |
| 120C | 700 | 268W | 2.643 | 1.511 | 1.318 | 1.159 | 0.923 | 0.674 |
| | 1000 | 416W | 4.135 | 2.397 | 2.111 | 1.886 | 1.527 | 1.210 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSX2 homepage](#).

Isofootcandle plots for the CSX2 LED 120C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series LED area luminaire is ideal for streets, walkways, parking lots, and surrounding areas that call for high-performance LED lighting in a transitional dayform.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A metallic screen covers the top of the housing, preventing debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver(s) and electronics are thermally isolated from the light engines, ensuring long life. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSX2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engines consist of 120 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver designed to have a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The CSX2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engines are IP66 rated. Luminaire is IP65 rated. **U.S. Patent No. D632830. U.S. Patent No. D653,382 S.**

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.





CSXW LED LED Wall Luminaire



CONTOUR
SERIES

Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

| | |
|----------------------|----------------------|
| Height: | 7-1/8" (29.2 cm) |
| Width: | 16-3/8" (41.6cm) |
| Depth: | 9-5/16" (23.6 cm) |
| Weight (max): | 30 lbs (13.6 kg) |



Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

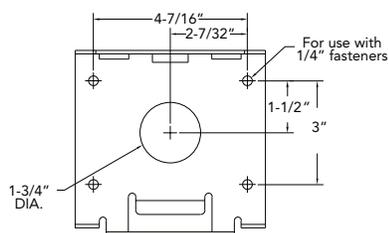
The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT DDBXD

| Series | LEDs | Drive current | Color temperature ¹ | Distribution | Voltage | Mounting | Options | Finish <i>(required)</i> |
|----------|-------------|----------------------------|--------------------------------|---|--|--|--|--|
| CSXW LED | 30C 30 LEDs | 700 700 mA 1000 1000 mA | 40K 4000K 50K 5000K | T2M Type II, medium T3M Type III, medium T4M Type IV, medium TFTM Type forward throw, medium | MVOLT ² 120 ² 208 ² 240 ² 277 ² 347 ³ 480 ³ | Shipped included (blank) Surface mount Shipped separately BBW Surface-mounted back box (for conduit entry) ⁴ | Shipped installed PE Photoelectric cell, button type ^{5,6} DMG 0-10V dimming driver (no controls) SF Single fuse (120, 277, 347V) ⁷ DF Double fuse (208, 240, 480V) ⁷ Shipped separately⁴ VG Vandal guard WG Wire guard | DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white |

Mounting Detail



Accessories

Ordered and shipped separately.

| | |
|-----------------|-------------------------------------|
| CSXWBBW DDBXD U | Back box accessory (specify finish) |
| CSXWWVG U | Wire guard accessory |
| CSXWVG U | Vandal guard accessory |

NOTES

- Configured with 4000K (/40K) provides the shortest lead times. Consult factory for 5000K (/50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE option).
- Available with 700 mA options only (30C 700).
- Also available as a separate accessory; see Accessories information at left.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Must be ordered with fixture; cannot be field installed.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

| LEDs | Drive Current (mA) | Performance Package | System Watts | Dist. Type | 40K (4000K, 70 CRI) | | | | | 50K (5000K, 67 CRI) | | | | |
|------------------|--------------------|---------------------|--------------|------------|------------------------|---|---|---|-----|------------------------|---|---|---|-----|
| | | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW |
| 30C (30 LEDs) | 700 mA | 30C 700 -K | 69W | T2M | 6,695 | 2 | 0 | 2 | 97 | 7,183 | 2 | 0 | 2 | 104 |
| | | | | T3M | 7,068 | 2 | 0 | 2 | 102 | 7,582 | 2 | 0 | 2 | 110 |
| | | | | T4M | 7,017 | 2 | 0 | 2 | 102 | 7,528 | 2 | 0 | 2 | 109 |
| | | | | TFTM | 7,158 | 2 | 0 | 2 | 104 | 7,679 | 2 | 0 | 2 | 111 |
| | 1000 mA | 30C 1000 -K | 104W | T2M | 8,868 | 2 | 0 | 2 | 85 | 9,560 | 2 | 0 | 2 | 92 |
| | | | | T3M | 9,361 | 2 | 0 | 2 | 90 | 10,091 | 2 | 0 | 2 | 97 |
| | | | | T4M | 9,293 | 2 | 0 | 2 | 89 | 10,018 | 2 | 0 | 2 | 96 |
| | | | | TFTM | 9,481 | 2 | 0 | 2 | 91 | 10,220 | 2 | 0 | 2 | 98 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|-------------|------------------|
| 0°C | 1.02 |
| 10°C | 1.01 |
| 20°C | 1.00 |
| 25°C | 1.00 |
| 30°C | 1.00 |
| 40°C | 0.99 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSXW LED platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | 0.94 | 0.91 | 0.85 |

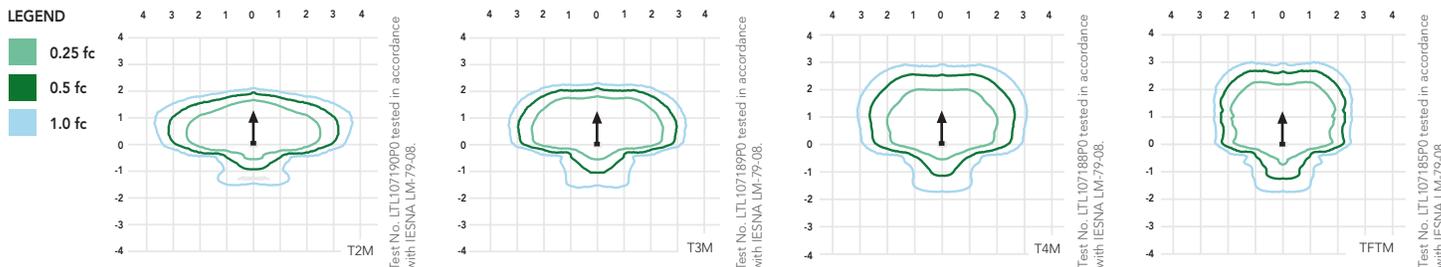
Electrical Load

| Number of LEDs | Drive Current (mA) | System Watts | Current (A) | | | | | |
|----------------|--------------------|--------------|-------------|-------|-------|-------|-------|-------|
| | | | 120 | 208 | 240 | 277 | 347 | 480 |
| 30C | 700 | 70W | 0.695 | 0.412 | 0.367 | 0.331 | 0.247 | 0.186 |
| | 1000 | 104W | 1.034 | 0.599 | 0.528 | 0.472 | 0.382 | 0.302 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's CSXW homepage.

Isofootcandle plots for the CSXW LED 30C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series Wall LED luminaire is ideal for commercial building mounted applications from over-the-door to 20 ft mounting heights.

CONSTRUCTION

Rugged, die-cast, single-piece aluminum housing. Unique flow-through design for optimized thermal management. Modularity allows for ease of maintenance and potential for future system upgrades. Metallic screen covers the top of the housing, preventing debris build-up while allowing for air flow. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with every installation.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engine is IP66 rated. Luminaire is IP65 rated.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.



Preliminary Stormwater Calculations



www.archall.com

F. 614.469.0500

P. 614.469.7500

COLUMBUS OHIO 43215

165 NORTH FIFTH STREET

ARCHITECTURAL ALLIANCE

archall

BRH Group, Inc.
STORM SEWER DESIGN SHEET

JOB NAME: Byers Grove City

JOB NO. 40214

DESIGN STM= 5 YEAR

N= 0.013

File:

DATE: 1/27/2014

| M.H. or C.B. No. | STA. | DRAINAGE AREA | | | | TIME | | RAIN-FALL INTEN-SITY in/hr | DIS-CHARGE Q cfs | LENGTH OF PIPE ft | SLOPE OF PIPE ft/ft | SIZE OF PIPE in | MEAN VELOCITY fps | CAPACITY FLOWING FULL cfs | INVERTS | | T.C. ELEV ft |
|------------------|---------|---------------|-------------|------|----------|--------------|-------|----------------------------|------------------|-------------------|---------------------|-----------------|-------------------|---------------------------|-----------|-------|--------------|
| | | A Acres | Sum A Acres | C | CA Acres | Sum CA Acres | t Min | | | | | | | | Sum t Min | in | |
| 4 | 6+86.43 | 1.70 | 1.70 | 0.90 | 1.53 | 1.53 | 10.00 | 10.00 | 7.3 | 161.43 | 0.0020 | 24 | 3.2 | 10.1 | 825.32 | 833.7 | |
| 3 | 5+25.00 | 10.40 | 1.70 | 0.90 | 9.36 | 10.89 | 0.84 | 10.84 | 50.6 | 192.00 | 0.0014 | 48 | 4.3 | 53.7 | 822.95 | 833.2 | |
| 2 | 3+33.00 | 2.50 | 12.10 | 0.90 | 2.25 | 10.89 | 0.74 | 11.58 | 59.3 | 180.00 | 0.0018 | 48 | 4.8 | 60.9 | 822.68 | 833.0 | |
| 1 | 1+53.00 | 0.00 | 14.60 | 0.90 | 0.00 | 13.14 | 0.63 | 12.21 | 57.8 | 153.00 | 0.0018 | 48 | 4.8 | 60.9 | 822.36 | 834.2 | |
| EW1 | +0.00 | | 14.60 | | | 13.14 | | | | | | | | | 822.08 | | |
| 7 | +80.00 | 7.65 | 7.65 | 0.90 | 6.89 | 6.89 | 10.00 | 10.00 | 33.0 | 80.00 | 0.0012 | 42 | 3.6 | 34.8 | 823.05 | 835.7 | |
| 3 | +0.00 | | 7.65 | | | 6.89 | | | | | | | | | 822.95 | 833.2 | |
| 5 | 1+06.00 | 2.10 | 2.10 | 0.90 | 1.89 | 1.89 | 10.00 | 10.00 | 9.1 | 106.00 | 0.0400 | 15 | 10.5 | 12.9 | 826.32 | 830.1 | |
| EW2 | +0.00 | | 2.10 | | | 1.89 | | | | | | | | | 822.08 | | |
| 6 | +87.00 | 1.80 | 1.80 | 0.90 | 1.62 | 1.62 | 10.00 | 10.00 | 7.8 | 87.00 | 0.0500 | 15 | 11.7 | 14.4 | 826.43 | 831.8 | |
| EW3 | +0.00 | | 1.80 | | | 1.62 | | | | | | | | | 822.08 | | |



444 South Front Street
Columbus, Ohio 43215
Phone: (614) 220-9122
Fax: (614) 224-6607

Engineering & Surveying

Project No. _____ Sheet No. _____ Of _____

Calculated By SRB Date 1.26.14

Checked By _____ Date _____

Subject BYERS GROVE CITY

DRAINAGE AREA TO 30" STORM - WEST SIDE NORTH MEADOWS DRIVE

LENGTH 30" STORM FROM POND \approx 1183ft

SLOPE 30" STORM \approx 0.25%

$Q_{30"} \approx 20.5$ cfs

VELOCITY 30" \approx 4ft/SEC

$$T_L = \frac{1183}{4} \left(\frac{1}{60} \right) = 4.92 \text{ min} + 10 \text{ min} = 14.92 \text{ min}$$

USE 15min (5Yr)

IG 15min \approx 3.2 in/in (5Yr)

$$Q = CIA$$

$$20.5 = (0.9)(3.2)A$$

$$A = 7.12 \text{ ACRES (CAPACITY 30" - 5Yr)}$$

AREA NORTH OF DEALERSHIP \approx 11.1 ACRES

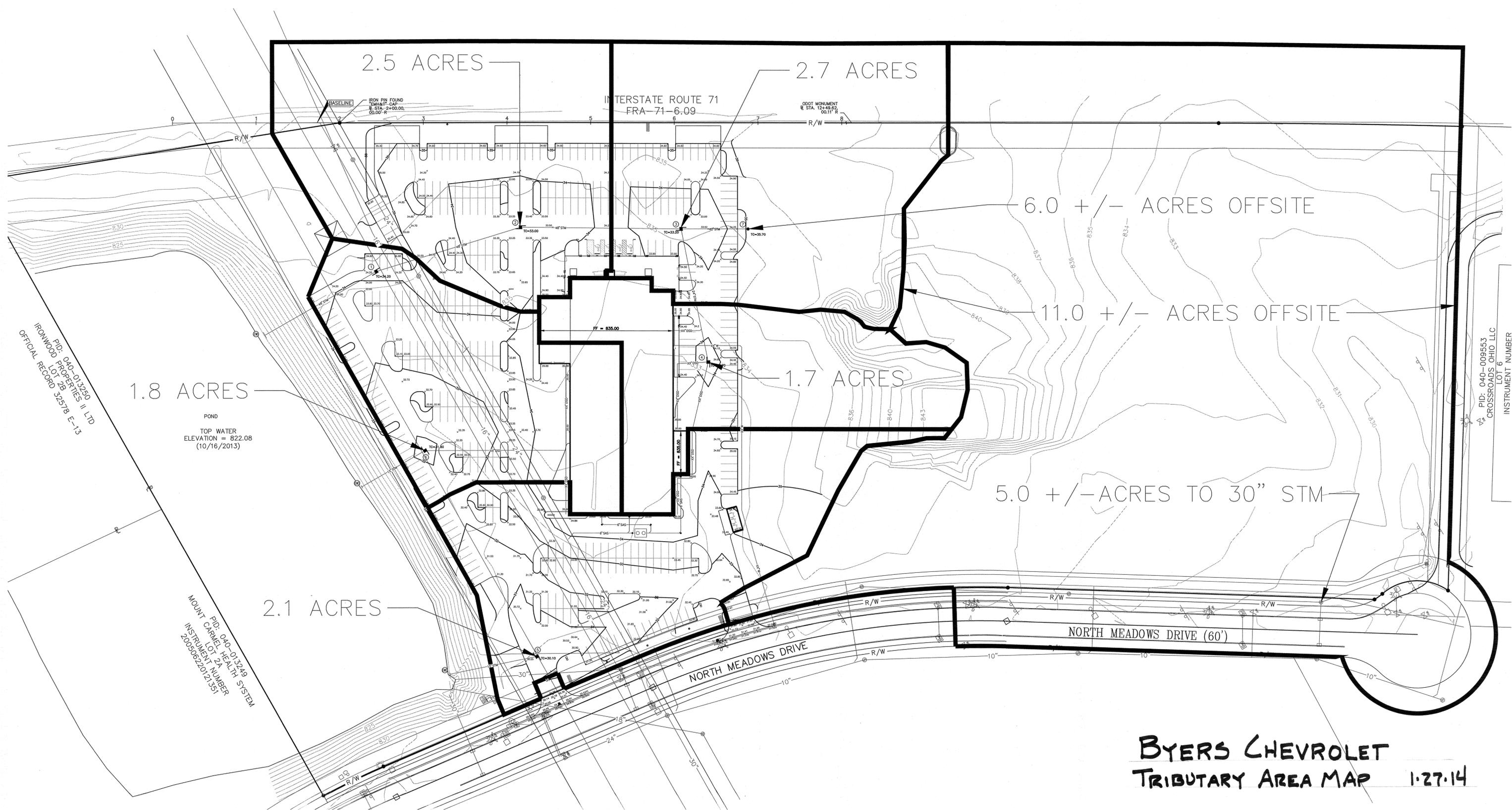
AREA STILL NEEDING STORM SETWILE

$$11.1 \text{ AC} - 7.12 \text{ AC} \approx 3.98 \text{ AC} \approx 4 \text{ AC}$$

ASSUME CAPACITY TO SERVE 6AC
FOR ADDITIONAL STORM OUTLET
(STRUCTURE #7 PLANS).

$$\text{REMAINING TO 30" } 11.1 - 6 = 5.1 \approx \underline{5 \text{ AC}}$$

1" = 50'



IRONWOOD LOT 25
OFFICIAL RECORD 32578 E-13
PID: 040-013250
PROPERTY OF II LTD

POND
TOP WATER
ELEVATION = 822.08
(10/16/2013)

MOUNT CARMEL HEALTH SYSTEM
INSTRUMENT NUMBER
200906220121351
PID: 040-013249

CROSSROADS OHIO LLC
LOT 6
INSTRUMENT NUMBER

BYERS CHEVROLET
TRIBUTARY AREA MAP 1-27-14

Legal Description of Property

archall

ARCHITECTURAL ALLIANCE

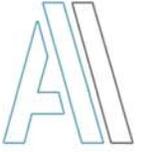
165 NORTH FIFTH STREET

COLUMBUS OHIO 43215

P. 614.469.7500

F. 614.469.0500

www.archall.com



DESCRIPTION OF 22.651 ACRES OF LAND
NORTH OF LONDON-GROVEPORT ROAD (S.R. 665)
WEST OF NORTH MEADOWS DRIVE
GROVE CITY, OHIO

Situated in the State of Ohio, County of Franklin, City of Grove City, Virginia Military Survey Number 1434, being a 22.651 acre tract of land located in Lot 5 as delineated on the plat of "Gateway Business Park", of record in Plat Book 86, Page 4 and being part of that land as described in a deed to GCD Exchange Co., LLC of record in Instrument Number 201310160174691, (all references to records are on file in the Recorder's Office, Franklin County, Ohio), said 22.651 acre tract being more particularly described as follows:

Commencing at a 5/8" rebar found (no cap) in the westerly right-of-way line of North Meadows Drive (60 foot wide), at the southeasterly corner of said Lot 5, at the northeasterly corner of Lot 2A as delineated on the plat of "Gateway Business Park Resubdivision of Lot No.2, Dedication of Meadow Pond Court and Easements", of record in Plat Book 107, Page 8, and at the southeasterly corner of that 0.295 acre tract as described in a deed to the City of Grove City, Ohio, (for public use as a right-of-way) of record in Instrument Number 201308090136984;

Thence North 88°27'41" West, along the southerly line of said Lot 5, the northerly line of said Lot 2A, and the southerly line of said 0.295 acre tract, a distance of 10.00 feet to an iron pin set at a southwesterly corner of said 0.295 acre tract and being the **True Place of Beginning** of the 22.651 acre tract herein described:

Thence North 88°27'41" West, continuing along the southerly line of said Lot 5, the northerly line of said Lot 2A, and along the northerly line of Lot 2B as delineated on said plat "Gateway Business Park Resubdivision", a distance of 841.59 feet to an iron pin set at the southeasterly corner of that 0.258 acre tract (Parcel 19-WL, FRA-71-6.09) as described in a Judgment Entry on Settlement to the City of Grove City, of record in Instrument Number 201011040148252;

Thence North 22°16'44" East, along the easterly line of said 0.258 acre tract, the newly established easterly limited access right-of-way line of Interstate 71, a distance of 441.02 feet to a 3/4" iron pipe (with a cap stamped "EMH&T) found at the northeasterly corner of said 0.258 acre tract, in the existing easterly limited access right-of-way line of Interstate 71, in the easterly line of that 14.859 acre tract (Parcel 18-WL, FRA-71-6.09) as described in a deed to the City of Grove City, Ohio of record in Instrument Number 201005260064706 and in the westerly line of said Lot 5;

Thence North 31°12'06" East, along the westerly line of said Lot 5, along the easterly limited access right-of-way line of Interstate 71, the easterly line of said 14.859 acre tract, a distance of 1049.60 feet to a concrete right of way monument found at a point of curvature;

Thence continuing along the westerly line of said Lot 5, along the easterly limited access right-of-way line of Interstate 71, the easterly line of said 14.859 acre tract, along the arc of a curve to the right, having a central angle of 01°25'24", a radius of 11704.30 feet, an arc distance of 290.75 feet to a point in the northerly line of said Lot 5, in the southerly line of Lot 6 as delineated on said plat "Gateway Business Park", witness a 3/4" iron pipe found with a cap stamped "Pomeroy" located North 57°02'08" West, a distance of 0.79 feet, said arc being subtended by a chord bearing North 31°54'48" East, a chord distance of 290.74 feet;

Thence South 57°02'08" East, along the northerly line of said Lot 5, the southerly line of said Lot 6, a distance of 551.39 feet to a magnail found in the westerly right-of-way line of said North Meadows Drive, at the northeasterly corner of said Lot 5;

Thence along the easterly line of said Lot 5, the westerly right-of-way line of said North Meadows Drive, along the arc of a non-tangent curve to the left, having a central angle of 75° 52' 57", a radius of 64.00 feet, an arc distance of 84.76 feet to a 3/4" iron pipe (with a cap stamped "EMH&T) found at a point of reverse curvature, said arc being subtended by a chord bearing South 28°10'16" West, a chord distance of 78.70 feet;

Page two
22.651 acres

Thence continuing along the easterly line of said Lot 5, the westerly right-of-way line of said North Meadows Drive, along the arc of a curve to the right, having a central angle of $10^{\circ}16'56''$, a radius of 64.00 feet, an arc distance of 11.48 feet an iron pin set at the northerly corner of said 0.295 acre tract as described in said deed to the City of Grove City, of record in Instrument Number 201308090136984, said arc being subtended by a chord bearing South $04^{\circ}37'33''$ East, a chord distance of 11.47 feet;

Thence South $32^{\circ}58'37''$ West, along the westerly line of said 0.295 acre tract, the new right-of-way line of North Meadows Drive, a distance of 437.50 feet to an iron pin set at a point of curvature;

Thence continuing along the westerly line of said 0.295 acre tract, the new right-of-way line of North Meadows Drive, along the arc of a curve to the left, having a central angle of $24^{\circ}50'07''$, a radius of 1040.00 feet, an arc distance of 450.79 feet to an iron pin set at a point of tangency, said arc being subtended by a chord bearing South $20^{\circ}33'34''$ West, a chord distance of 447.27 feet;

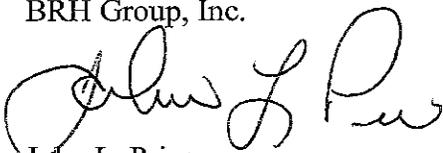
Thence South $08^{\circ}08'32''$ West, continuing along the westerly line of said 0.295 acre tract, the new right-of-way line of North Meadows Drive, a distance of 332.76 feet to an iron pin set at a point of curvature;

Thence continuing along the westerly line of said 0.295 acre tract, the new right-of-way line of North Meadows Drive, along the arc of a curve to the left, having a central angle of $05^{\circ}35'46''$, a radius of 815.00 feet, an arc distance of 79.60 feet to the **True Place of Beginning** and containing 22.651 acres, said arc being subtended by a chord bearing South $05^{\circ}20'38''$ West, a chord distance of 79.57 feet;

Bearings are based on North $32^{\circ}58'37''$ East along the centerline of North Meadows Drive as delineated on the plat "Gateway Business Park", of record in Plat Book 86, Page 4, on file in the Recorder's Office, Franklin County, Ohio.

The foregoing description has been prepared from an actual field survey of the premises on October 08, 2013 by BRH Group, Inc., under the direct supervision of John L. Price, Professional Surveyor No. 7159. Iron pins referenced as being set are 5/8" rebar, 30" long with a plastic cap stamped "BRH GROUP".

BRH Group, Inc.



John L. Price

Professional Surveyor No. 7159 01/23/2014





Comment Responses: Byers Chevrolet of Grove City #201401280003 **Development Plan Response Submittal (02/24/2014)**

The following is a summary of the clarifications and modifications made to drawings in response to comments/recommendations letter dated February 11, 2014.

1. We request a deviation in the setback requirements for North Meadows Drive. The current right-of-way has been widened by 10-feet for the road improvements currently underway. Our proposed pavement is currently 16-feet from the new right-of-way. We are 26-feet from the original right-of-way.
2. The proposed display areas are very close to existing grade so there should be no impact to the proposed ODOT right-of-way fencing. There will be no breaks or voids in the proposed fencing by the city. Landscaping is being located to highlight the display areas.
3. The typical car parking arrangement (3-4 cars per display area) is shown on the plans for the display area. The display areas are paved roughly at existing grade. There are no metal lifts or ramps proposed.
4. Plan sheet number 3 shows the parking space count. There is also a map showing the different parking areas (inventory, employee, customer, etc...)
5. All spaces on the plan area now 180 square feet minimum.
6. Limestone veneer has been added to the building and is present on all elevations.
7. The height of the building has been indicated on the revised elevations. The total height is less than 35 feet.
8. All rooftop equipment is being located such that it will be screened by raised parapets. A note indicating such has been added to the elevations.
9. Details on the proposed dumpster enclosure are being provided. The enclosure materials match that utilized on the main structure as indicated.
10. Proposed monument sign on stone base and all proposed site signage will be submitted at a later date as an amendment to the development plan. All proposed building signage has been dimensioned and should be considered for approval under this application.
11. A comprehensive sign package for all monument, ground, directional and site signage will be submitted at a later date as an amendment to the development plan. Proposed wall mounted building signage has been dimensioned and is indicated on the revised elevations.
12. All proposed ground mounted signs that will be submitted as a future amendment to the development plan will incorporate a stone base.



13. Regarding signage, no over-sized inflated displays, whirligigs, window paints, spinners, spot lights, or other attention getting devices shall be permitted on any vehicle, building or anywhere on premises. Additionally, signs on the vehicles for sale shall be limited to only one side window, containing price, description and warranty information and shall not be legible from public rights-of-way.
14. An 8.5x11 sheet listing the material, color and manufacturer for all proposed exterior materials is being provided.
15. A material sample board with samples of all proposed exterior materials is being provided.
16. Aluminum composite materials (ACM) are a manufacturer (Chevrolet) required material for all new dealerships. We have, at your recommendation included a limestone veneer watertable to break up the horizontal mass of the structure and to better match the architecture of area development.
17. Excavated material that is not utilized in the new construction will be neatly mounded and seeded in the undeveloped area for future use.
18. Continuous fencing provided by Grove City per item #2, display pads area roughly at existing grade.
19. The southern drive approach has been aligned with the existing drive on the east side of the road.
20. We mentioned this in early meetings. We were told on a previous project just south of the pond that the existing pond was suitable for detention for the drainage area. There are currently no fountains planned for the existing pond.
21. There are no proposed fueling areas, oil storage containers, etc. that would require additional screening.
22. A limestone veneer has been introduced on all elevations.
23. A comprehensive sign package for all monument, ground, directional and site signage will be submitted at a later date as an amendment to the development plan.
24. The code states that tree planting around detention areas be placed 20' from bank. Given the site constraints between the pond and electric easement, we are requesting that tree be allowed closer than 20' to bank of detention.
25. Cutsheets for proposed exterior lighting are being provided. All fixtures are cut-off type and cast light downward only.
26. SE1.0 has been updated to include lighting levels to the property lines.



27. Sheet SE1.0 has been updated to denote fixtures proposed to be located on site.
28. The applicant is requesting a divergence from the required vehicular screening along I-71 frontage. This request is justified due to the fact that I-71 is 6' higher than proposed display area, that the decorative fencing installed by the city effectively screens vehicular display, and that the cars that are displayed along the frontage are not 'driven' by customers, as they are inventory, and headlight glare at the highway is not be an issue. Landscaping requirements related to quantities of trees has been fulfilled, and shrubs have been located alongside display areas to accentuate them. Mounding, hedges, or walls would serve no screening purposes given all these factors.
29. Note has been added that states all service structures including but not limited to A/C units, electrical transformers, & trash dumpsters shall be screened per 1136.08
30. Detail has been modified to state that 50% of the wire cage and burlap are to be removed when planting trees along with all twine and trunk wrap.
31. Note has been added- trees will be protected with orange snow fence prior to construction activities commencing.
32. We have sealed the Development Plan.
33. We have changed the title to, "Development Plan".
34. We have revised the signature block.
35. We have shown the existing easements on plan sheet number 7.
36. We have added sizes of all utilities to the plans.
37. We have provided the appropriate elevations to the plans.
38. We will continue to coordinate on the North Meadows Improvements.
- 39-61. We have completed some of the comments on these items. We have not completed everything since these items were noted that they did not need to be completed until Construction Plans are submitted. All items listed from 39-61 will be completed and addressed when Construction Plans are submitted.

