

VICINITY MAP  
N.T.S.

NOTE:

- PROPERTY CURRENTLY ZONED SD-1. NO CHANGE OF ZONING OR USE PROPOSED WITH THIS PLAN.
- IMPERVIOUS AREA INCREASE, 6,170 SF.
- DRIVEWAY TO BE PLACED ON EXISTING GRADE WITH 1/4" PER FOOT CROSS SLOPE. DRIVEWAY TO BE INSTALLED TO MAINTAIN EXISTING SHEET FLOW ACROSS LOT TO EXISTING FLOODWAY.
- PROPOSED TREES/EVERGREENS MAY BE SUBSTITUTED DUE TO NURSERY AVAILABILITY WITH SIMILAR TYPE AFTER APPROVAL OF SUBSTITUTIONS BY CITY LANDSCAPE INSPECTOR.

NOTE: NONE OF THE B&B TREES ARE TO BE STAKED UNLESS INDICATED

TYPICAL B&B TREE

NOTE: ALL TREES SHOULD BE PRUNED ONLY AFTER INSTALLATION AND WATERING-IN THE TREE - PRUNE TO GROWERS SPECIFICATIONS

NOTE: ALL TREES SHALL COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK - INCLUDING TREE PIT DEPTH AND WIDTH

PLASTIC SPIRAL TREE PROTECTION

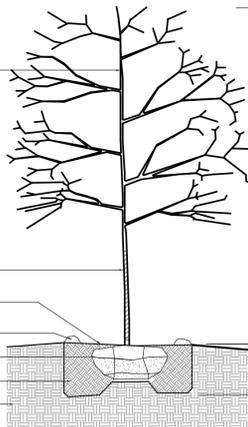
SHREDDED HARDWOOD BARK MULCH

3-4" MUDDLE RING

TREE BALL

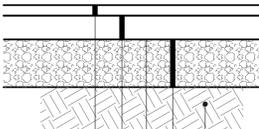
PLANTING SOIL

CONSTRUCTION SOIL



BALLED & BURLAPPED TREE DETAIL

<- 1/4" PER FOOT SLOPE TO SOUTH/WEST



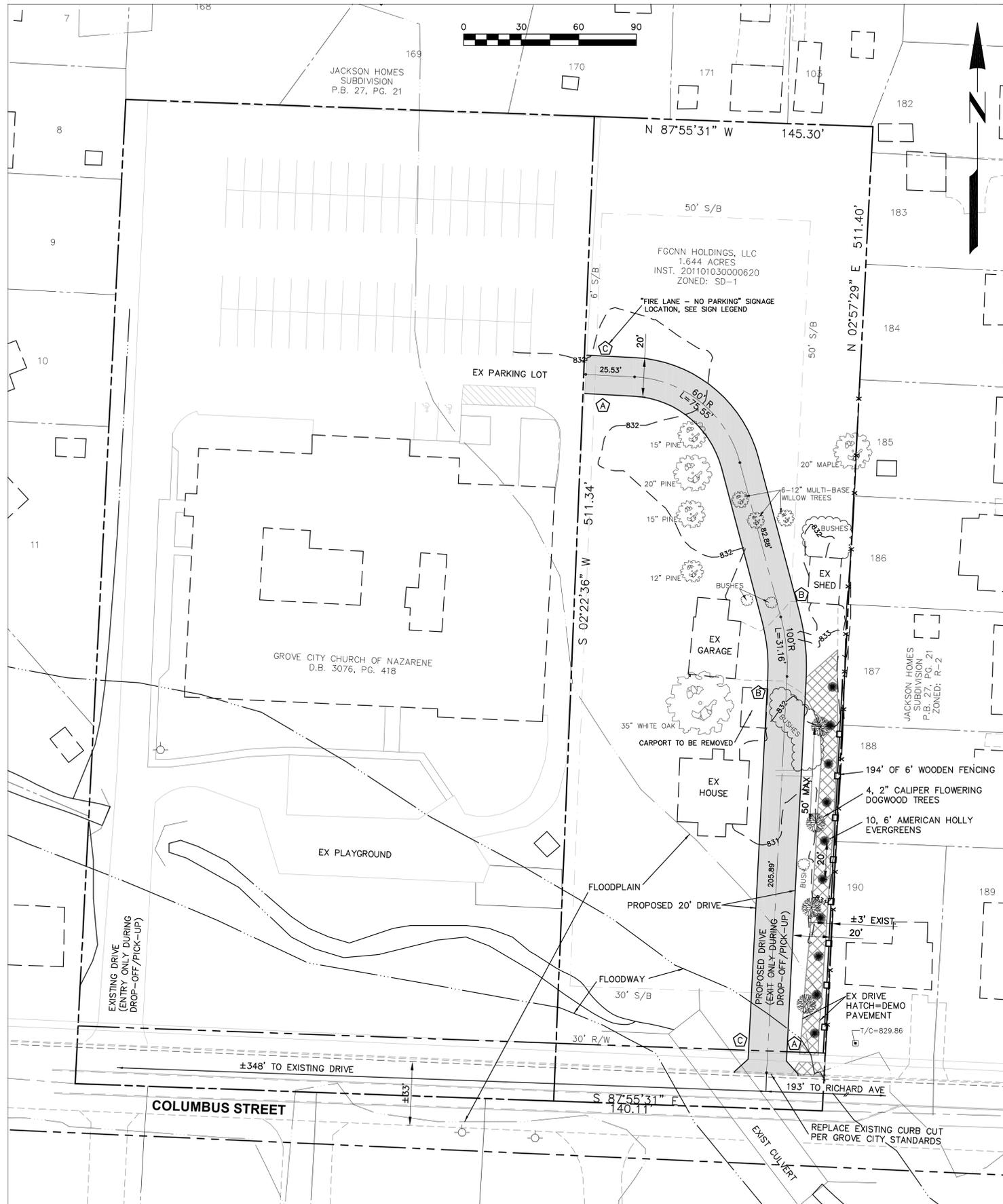
- 1 ITEM 404, 1 1/2" ASPHALT CONCRETE
- 2 ITEM 402, 1 1/2" ASPHALT CONCRETE
- 3 ITEM 408, PRIME COAT (0.15-0.20 GAL/SQ. YD.)
- 4 ITEM 304, 8" CRUSHED AGGREGATE BASE
- 5 ITEM 203, SUBGRADE COMPACTION

NOTE:

- 1) NO SUBSURFACE SOILS ANALYSIS HAS BEEN PERFORMED FOR THE PAVEMENT DESIGN. GEOTECHNICAL ENGINEER SHALL VERIFY SOIL STABILITY PRIOR TO PLACEMENT OF PAVEMENT.
- 2) PRIME COAT MAY BE ELIMINATED IF THE AGGREGATE BASE CAN BE COVERED WITHIN SEVEN DAYS AND NO WET WEATHER IS ENCOUNTERED.
- 3) TYPICAL SECTION SHOWN, SITE TO BE TESTED AND PAVEMENT SECTION TO BE DESIGNED BY GEOTECHNICAL ENGINEER.

STANDARD DUTY PAVEMENT SECTION

(NO SCALE)



SIGN LEGEND



OWNER: GROVE CITY CHRISTIAN CHILD CARE  
2996 COLUMBUS STREET  
GROVE CITY, OHIO 43123  
614 875-1917

ARCHITECT: THE MCKNIGHT GROUP  
3351 MCDOWELL ROAD  
PO BOX 370  
GROVE CITY, OH 43123  
614 875-1689

ENGINEER: CAPITAL CIVIL ENGINEERING  
1011 PEMBERTON HILL RD  
SUITE 203  
APEX, NC, 27502  
919 249-8587

SURVEYOR: BLUE-J SURVEYING, LLC  
14450 STATE ROUTE 56 W  
MT. STERLING, OHIO 43143  
614 774-8577

General notes

The latest addition of the state of Ohio Department of Transportation, construction and material specifications (oadot-cms) together with the codes and requirements of Franklin County shall govern all materials and workmanship involved in the improvements shown on these plans.

When there is a conflict between referenced specifications and/or these drawings the most stringent shall apply.

Each bidder must inform themselves fully to the conditions relating to the construction project. All bids shall be comprehensive including all labor, material and equipment to complete all aspects of the project.

All items of work called for in the construction documents for which no specific estimate of quantities shall be performed by the contractor as required to complete the project to the design intent. The cost of these items shall be included in the price bid for various related or associated items.

Any modification to the project scope must have prior written approval.

The engineer will not be responsible for means, methods, procedures, techniques or sequences of construction.

The contractor shall notify the Church, 614 875-1917 and the City/County inspections a minimum of two (2) days prior to starting construction.

The contractor shall be responsible for obtaining and complying with all Federal, State and Local permits as well as paying all required inspection and construction fees.

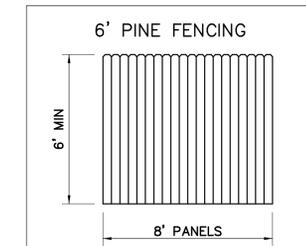
The contractor shall be solely responsible for complying with all Federal, State and Local safety requirements together with exercising precautions at all times for the protection of persons including employees and property. It is also the contractor's responsibility to initiate, maintain, and supervise all safety requirements, precautions and programs in connection with the work.

The contractor shall be solely responsible for securing the site from the general public both during and after working hours. The contractor shall provide, erect and maintain supervise all safety measures to prevent unauthorized personnel from hazardous or dangerous conditions on the project site. The cost of such work shall be included in the various items bid for furnishing and installing materials on this project.

The contractor shall dispose of surplus excavation at his own expense in a legal and professional manner. Disposal within floodplains is not permitted without the written consent of the local regulating agency.

The contractor shall contact the Ohio Utilities Protection Service (OUPS) a minimum of forty eight (48) hours prior to beginning any construction. Non-member utilities must be called directly. All utilities damaged or disturbed during construction shall be restored in accordance with and approval of the affected utility at no additional cost to the owner or project.

Locations and elevations of existing underground utilities are approximate only. It shall be the responsibility of the contractor to determine their exact location and elevation. Where potential grade conflicts might occur with existing utilities the contractor shall uncover such utilities in order to determine adjustments that need to be made. Location, support, protection and restoration of all utility lines, services and appurtenance shall be the responsibility of the contractor. Cost of the above, if any, will be included in the price bid for the pertinent item.



CITY ADMINISTRATOR \_\_\_\_\_

SERVICE DIRECTOR \_\_\_\_\_

REVIEW FOR GROVE CITY \_\_\_\_\_

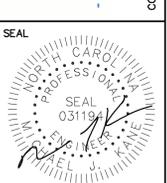
JACKSON TWP FIRE DEPT \_\_\_\_\_



GROVE CITY CHRISTIAN CHILD CARE  
2996 COLUMBUS STREET, GROVE CITY, OHIO 43123

SD1 ZONING - EDUCATIONAL - FRANKLIN COUNTY - CITY PROJECT NO. \_\_\_\_\_

DEVELOPMENT PLAN FOR DRIVEWAY IMPROVEMENTS



DATE: JANUARY 22, 2014  
ISSUED FOR: REVIEW  
SHEET NO. \_\_\_\_\_

DP1



- CAPITAL CIVIL ENGINEERING -

1011 Pemberton Hill Rd, Ste 203, Apex, NC 27502

919 249-8587 ph 919 590-1687 fx

NC License No P-0809, OH Certificate No 03673

January 22, 2014

Grove City  
4035 Broadway  
Grove City, Ohio 43123

Attention: Department of Development

Re: Project Narrative for Grove City Christian Child Care  
Development Plan for Driveway Improvements

To Whom It May Concern:

Included with this project narrative are the required Development Plan application materials for the proposed driveway improvements at the Grove City Christian Child Care site at 2960 and 2996 Columbus Street.

The church currently owns the properties at 2960 and 2996 Columbus Street. Each parcel has a curb cut and driveway. This attached plan proposes to widen the existing driveway on 2960 Columbus Street and connect it to the rear parking lot of 2996 Columbus Street. No change in zoning or building use is proposed with this plan. Proposed limits of disturbance will be isolated to the area of driveway construction only and results in 6,170 square feet of additional impervious area onsite. Additional fencing and plantings per City Code section 1136.06 are proposed where widened driveway abuts adjacent residential subdivision lots. Proposed driveway located twenty feet from property line which is an average seventeen feet greater than the existing driveway. This new driveway connection will allow a more efficient circular traffic pattern and allow in/out traffic movements onto Columbus Street to be separated during high use periods. The child care staff would instruct parents to utilize the existing driveway as entry and the proposed driveway as exit during pick-up and drop-off times. This direction of traffic flow maintains passenger side of vehicles on the building side of the driveway.

Please call me with any questions.

A handwritten signature in blue ink, appearing to read 'Michael J. Kane'.

Michael J. Kane, P.E.  
Capital Civil Engineering, PLLC



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919 249-8587 ph 919 590-1687 fx

NC License No P-0809, OH Certificate No 03673

January 22, 2014

Grove City  
4035 Broadway  
Grove City, Ohio 43123

Attention: Department of Development

Re: Response to Comments, Grove City Christian Child Care  
Development Plan for Driveway Improvements

To Whom It May Concern:

Included with this letter are twenty folded copies of the revised Development Plan for the proposed driveway improvements at the Grove City Christian Child Care site at 2960 and 2996 Columbus Street. Revisions include are as follows;

- Development Department
  - Proposed drive moved to 20' off adjacent residential property line. Screening of adjacent driveway provided with 6' wooden fence, one row of ten 6' evergreens and one row of four 2" caliper small class trees.
  - Proposed driveway to be utilized as exit and existing drive as entry during drop-off and pick-up times. This traffic flow will maintain passenger side of vehicles on the building side of the driveway.
- Urban Forestry
  - Landscape screening (fence, trees and evergreens) added to development plan along with planting detail.
  - Existing tree size, location and type added to development plan.
- Fire Department
  - Striping and "No Parking – Fire Lane" signage added to both sides of proposed driveway per conversation with Tammy Green of the Jackson Township Fire Department.

Please call me with any questions.

A handwritten signature in blue ink, appearing to read 'Michael J. Kane', is written over a light blue horizontal line.

Michael J. Kane, P.E.  
Capital Civil Engineering, PLLC