

BUILDING CODE DATA

USE GROUP: A-2 PER CURRENT OBC (RESTAURANT), A-5 PER PREVIOUS OBC IN 1992.

CONSTRUCTION TYPE: EXISTING 2B, SPRINKLED (NO CHANGE)

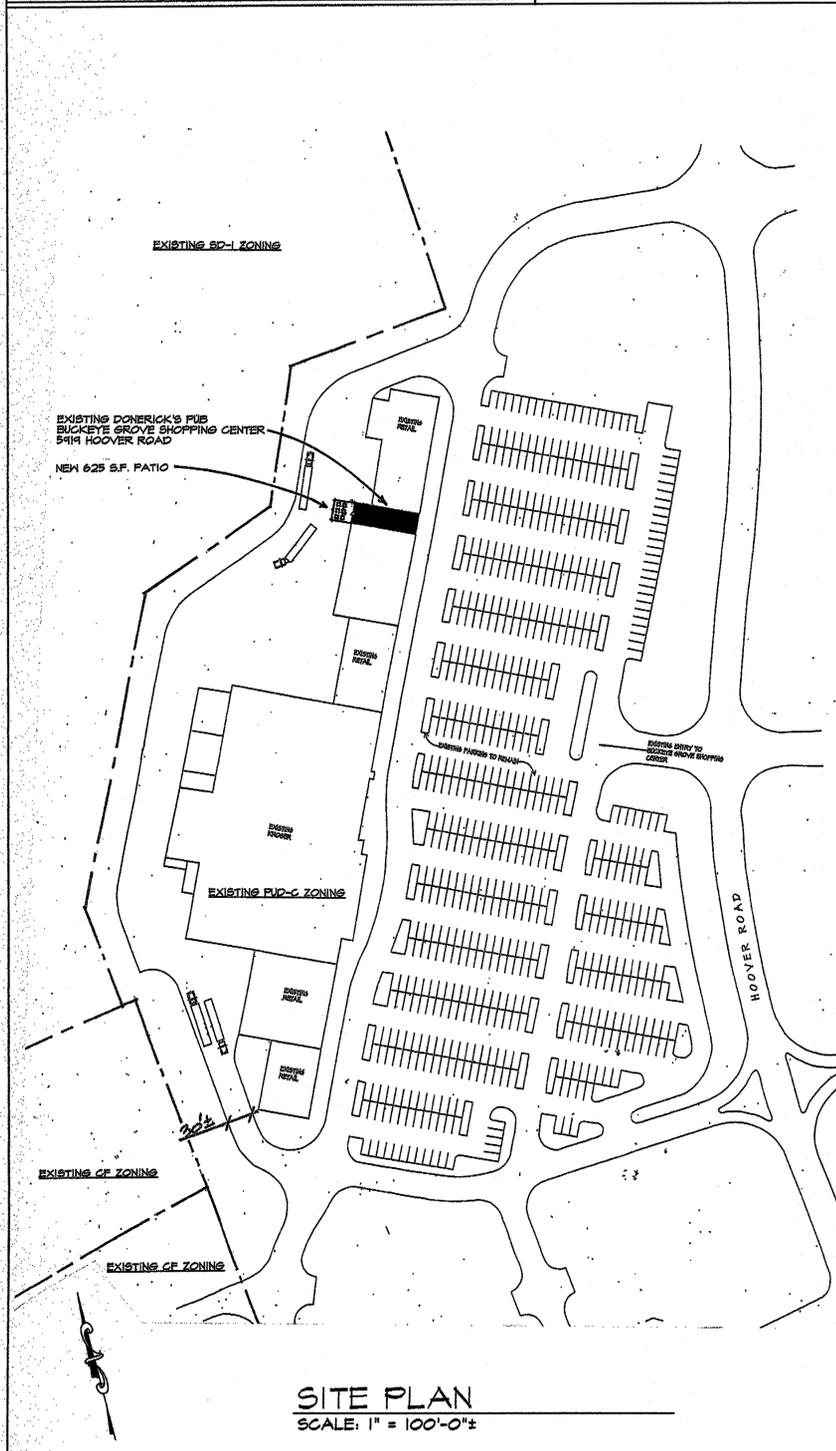
TENANT AREA: 2,000 S.F. EXISTING TENANT SPACE
625 S.F. NEW PATIO

OCCUPANT LOAD: 75 PERSON EXISTING OCCUPANCY (NO CHANGE)
24 PERSONS FOR NEW PATIO
TOTAL OF 99 PERSONS

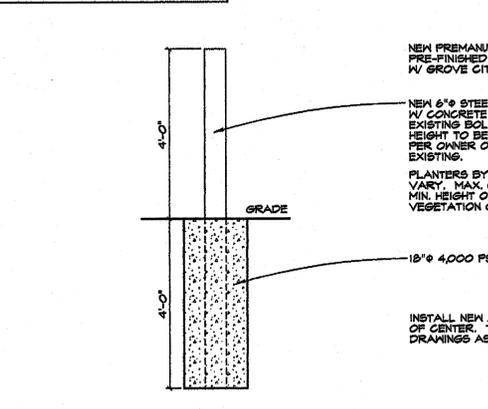
ALL WORK SHALL BE PERFORMED USING THE CURRENT EDITION OF THE 2007 "OHIO BUILDING CODE" AND ALL OTHER APPLICABLE CODES.

CONTRACTOR TO POST A FLAGCARD IN A FORM AND LOCATION AS DESIGNATED BY THE BUILDING DEPARTMENT, SECURELY FASTENED TO THE STRUCTURE, STATING THE OCCUPANCY AS REQUIRED.

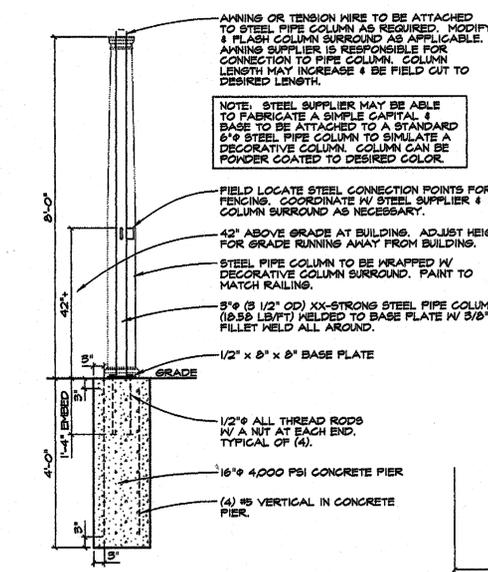
- GENERAL NOTES**
1. PLACE "EXIT" SIGN ON INSIDE OF NEW GATE(S). NEW EXIT SIGN TO BE UL 924 COMPLIANT PHOTOLUMINESCENT EXIT SIGN, SINGLE FACE W/ RED OR GREEN LETTERS.
 2. 56" WIDE GATE TO BE COORDINATED W/ OWNER. GATES MAY HAVE A SPRING CLOSER OR A HINGE CLOSER. GATES ARE TO BE A NON-OPERABLE FROM THE EXTERIOR OF PATIO & AN EGRESS PASSAGE LATCH TO BE INSTALLED AT THE INTERIOR PORTION OF THE PATIO. ALL REQUIRED HARDWARE TO BE ADAAS COMPLIANT & MOUNTING HEIGHTS OF 54" MINIMUM TO 48" MAXIMUM.
 3. PATCH & REPAIR EXISTING ASPHALT & CONCRETE WALKS AS REQUIRED.
 4. LIGHTING PROVIDED BY EXISTING HALL PACKS ON BUILDING & EXISTING SITE LIGHTING.



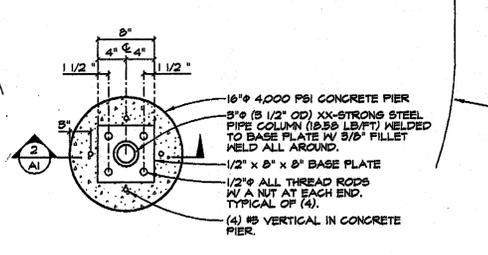
SITE PLAN
SCALE: 1" = 100'-0"±



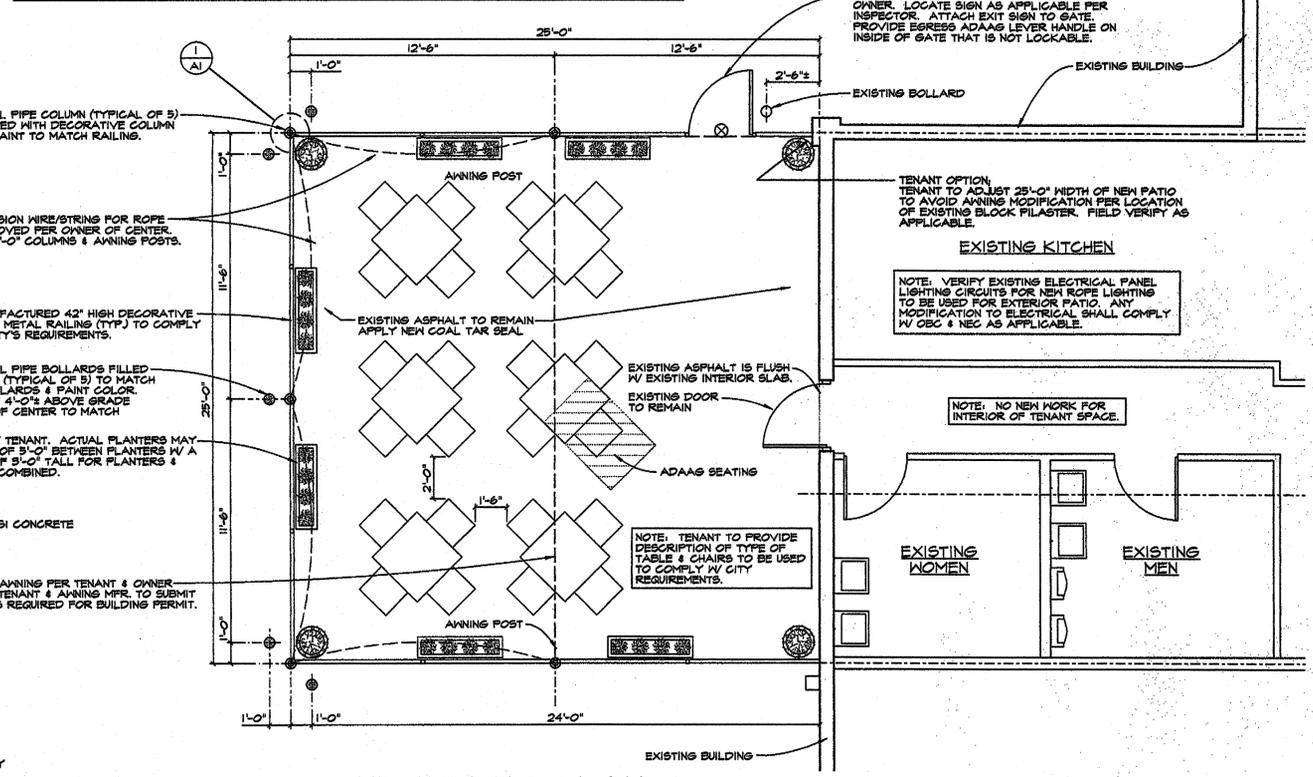
BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



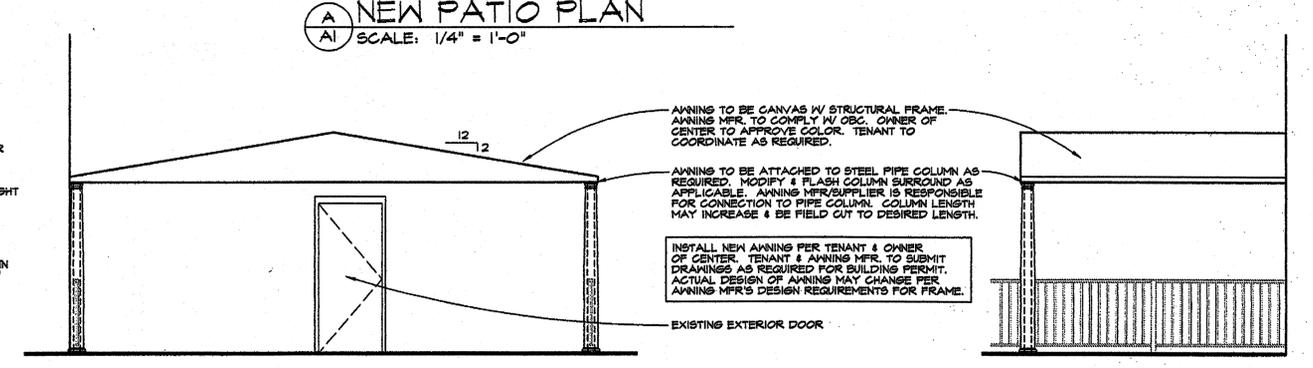
2 COLUMN DETAIL
AI SCALE: 1/2" = 1'-0"



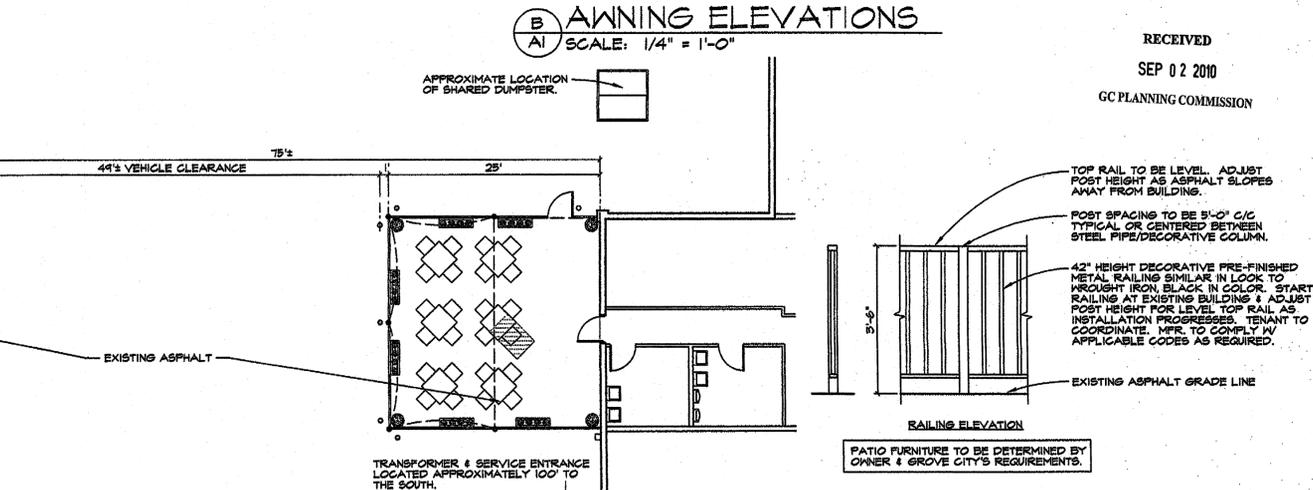
1 COLUMN DETAIL
AI SCALE: 1" = 1'-0"



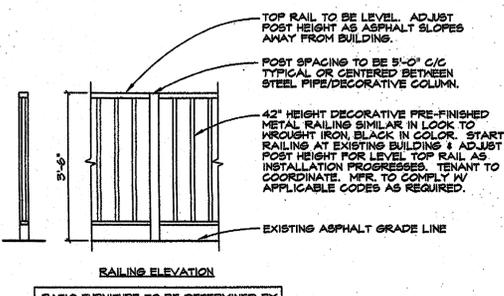
A NEW PATIO PLAN
AI SCALE: 1/4" = 1'-0"



B ANNING ELEVATIONS
AI SCALE: 1/4" = 1'-0"

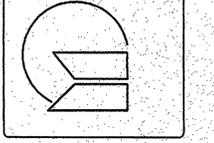


C VEHICLE CLEARANCE PLAN
AI SCALE: 1" = 10'-0"



TYPICAL FENCING
SCALE: N.T.S.

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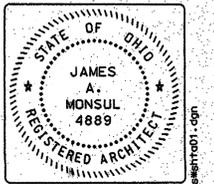
NEW PATIO PLANS & DETAILS

NEW EXTERIOR PATIO
FOR
DONERICK'S PUB
BUCKEYE GROVE SHOPPING CENTER
5919 HOOVER ROAD
GROVE CITY, OHIO 43123

PROJECT NO. 10006

DRAWER NO.

NO.	REVISION



DATE ISSUED
AUGUST 31, 2010

A1
SHEET NUMBER

2-11-10-35 PH 6/21/2010 C:\pwork\1811\1811040666.dwg (sheet1) 10/21/2010

**JAMES A. MONSUL & ASSOC.
ARCHITECTS, INC.**

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July 6, 2010

Re: Donerick's Pub - Patio addition
Buckeye Grove Shopping Center
5919 Hoover Road
Grove City, Ohio OHIO43123

Special Use Permit Application

The following is a narrative explaining Tenant's request for an exterior patio.

The business is a bar/restaurant type use and is open daily from 11 AM – 2:30 AM. The new patio will remove the smoking customers to the rear exterior of the building and eliminating any inconvenience to customers of other tenants located at the Center. Existing businesses surrounding Donerick's include; Great Clips, Tammy's Pizza, Smokes for Less, Dental office, Tanning, Curves and Kroger.

There will be no speakers or live entertainment outside. There will be no sales outside. All sales will be made by the main service located in Donerick's. The loading zones and dumpsters are shared by tenants and will not impede traffic access behind the Center. See drawings for fencing details, size, etc...

Please call with any questions or clarifications.

Thank you.

Jim Monsul
JAMES A. MONSUL & ASSOCIATES, INC.