

I. INTRODUCTION

THIS TEXT AND THE DEVELOPMENT PLAN CONSTITUTE THE PROPOSED DEVELOPMENT STANDARDS FOR THE DEVELOPMENT OF 0.91 ACRES OF LAND LOCATED SOUTH AND EAST OF BUCKEYE PARKWAY IN GROVE CITY, OHIO AND MORE PARTICULARLY DESCRIBED AS OUTLOT 43 OF THE PARKWAY CENTRE EAST DEVELOPMENT PLAN.

AS REQUIRED IN THE APPROVAL OF PARKWAY CENTRE EAST THIS DEVELOPMENT WILL CONTINUE THE THEME FROM THE EXISTING SOUTH AND NORTH CENTERS. SIMILARLY, THE PARKWAY CENTRE EAST OUTLOTS WILL INCORPORATE ARCHITECTURAL FOCAL POINTS, VISUAL LANDMARKS, REASONABLE LANDSCAPE SETBACK BUFFERS AND OPEN SPACES TO PROVIDE VISUAL IMAGE, REFERENCE POINTS AND A THEME IDENTITY.

THE PROPERTY IS BOUNDED BY BUCKEYE PARKWAY ON THE WEST, PARKWAY CENTRE EAST ACCESS DRIVE ON THE EAST AND NORTH AND A VACANT OUTLOT ON THE SOUTH.

THE ZONING USE DISTRICT FOR THIS DEVELOPMENT AND THE SURROUNDING AREAS IS PUD-C RETAIL COMMERCIAL UNLESS OTHERWISE APPROVED BY CITY COUNCIL. THE REQUIREMENTS OF THE C-2 DISTRICT, AS OUTLINED IN THE GROVE CITY CODIFIED ORDINANCES, AS WELL AS THE APPROVED LIMITATION TEXT SHALL APPLY TO THIS DEVELOPMENT. THE FOLLOWING DEVELOPMENT STANDARDS ARE IN ADDITION TO THE REQUIREMENTS OF THE C-2 DISTRICT AND ARE INTENDED TO BE APPLIED TO ALL OF THE OUT-PARCELS OF THE PARKWAY CENTRE EAST DEVELOPMENT.

DEVIATIONS FROM THE MINIMUM REQUIREMENTS OF THE C-2 DISTRICTS NOTED HEREIN MAY BE APPROVED BY THE CITY COUNCIL AS PART OF THIS DEVELOPMENT PLAN.

II. DEVELOPMENT STANDARDS

(1). YARD AND SETBACK REQUIREMENTS:

- (A). MINIMUM SETBACKS FOR OUT-PARCELS ABUTTING BUCKEYE PARKWAY, STRINGTOWN ROAD, AND LAMPLIGHTER DRIVE RIGHT-OF-WAYS, SHALL BE 25' FOR PARKING AND DRIVE AISLES AND 50' FOR BUILDINGS. SETBACKS FOR OUT-PARCELS ABUTTING GROVE CITY PROPERTY ADJACENT TO BUCKEYE PARKWAY RIGHT-OF-WAY (OUTLOTS 40 THROUGH 44) SHALL BE 0' FOR PARKING AND 25' FOR BUILDINGS AS MEASURED FROM THE CITY PROPERTY LINE ENCOMPASSING BUCKEYE PARKWAY. ALL SITE IMPROVEMENTS ARE TO BE CONTAINED ON-SITE AND SHALL NOT ENCRoACH CITY PROPERTY OR RIGHTS-OF-WAY WITH THE EXCEPTION OF WALKWAYS WHICH MAY TIE INTO SIDEWALKS LOCATED ALONG BUCKEYE PARKWAY, STRINGTOWN ROAD, AND LAMPLIGHTER DRIVE.
- (B). MINIMUM SETBACKS FOR ALL OUT-PARCELS FROM THE INTERIOR CENTER ROADS SHALL BE 10' FOR PARKING AND 25' FOR BUILDINGS MEASURED FROM THE BACK OF THE CURB.
- (C). SHARING OF CURB CUTS IS ENCOURAGED.
- (D). SIDEWALKS, FIVE (5) FEET WIDE, SHALL CONNECT ADJACENT OUT-PARCELS AND BE INCORPORATED WITHIN THE DEVELOPMENT PLAN FOR EACH OUT-PARCEL. SIDEWALKS SHALL BE INSTALLED ALONG THE NORTH AND SOUTH SIDES OF THE PRIVATE ACCESS ROADS THAT EXTEND TO BUCKEYE PARKWAY. A SIDEWALK SHALL ALSO BE CONSTRUCTED ALONG THE NORTHERMOST OUTLOT (#40) PARALLEL TO STRINGTOWN ROAD AND ALONG THE SOUTH SIDE OF THE SOUTHERNMOST OUTLOT (#47) PARALLEL TO LAMPLIGHTER DRIVE.
- (E). A MINIMUM OF A 7-1/2 FOOT SIDE-YARD GREEN-SPACE SHALL BE PROVIDED ON THE INTERIOR LOT LINES OF EACH OUT-PARCEL.
- (F). SIDEWALKS CONSISTING OF STAMPED CONCRETE WITH A BRICK SCORING PATTERN SHALL BE INSTALLED FROM THE PRIMARY STRUCTURE'S MAIN ENTRANCE TO THE EXISTING SIDEWALK/BIKE PATH ALONG BUCKEYE PARKWAY. A FIVE (5) FOOT WIDE SIDEWALK IS TO BE INSTALLED ON THE REAR (EAST) SIDE OF EACH OUTLOT. SIMILARLY, A FIVE (5) FOOT SIDEWALK SHALL BE INSTALLED ALONG THE NORTH AND SOUTH SIDE OF EACH PRIVATE ACCESS ROAD.
- (G). ONE PEDESTRIAN WALKWAY FROM THE MAIN STRUCTURE THROUGH THE PARKING LOT AREA SHALL BE CONSTRUCTED OF STAMPED CONCRETE TO RESEMBLE BRICK OR STONE.
- (H). THE MAIN (FRONT) ENTRANCE FOR ALL OUTLOT BUILDINGS SHALL BE ORIENTED WEST TOWARDS BUCKEYE PARKWAY, WHEN FEASIBLE. OUTLOT BUILDINGS WHICH HAVE MULTIPLE FRONTAGES ON BUCKEYE PARKWAY, STRINGTOWN ROAD, LAMPLIGHTER DRIVE, AND PRIVATE ACCESS DRIVES SHALL EXTEND ARCHITECTURAL FEATURES ALONG THE SIDES OF THE BUILDING.

(2). PARKING, LOADING AND VEHICULAR ACCESS:

- (A). PARKING SHALL BE CALCULATED IN ACCORDANCE WITH THE CODE (1 PER 200 SQ. FT.) EXCEPT FOR RESTAURANT USES WHICH SHALL BE ONE (1) PARKING SPACE PER EVERY 125 SQUARE FEET OF GROSS FLOOR AREA. NOTWITHSTANDING ZONING CODE PROVISIONS TO THE CONTRARY, PARKING SPACES MAY BE INSTALLED MEASURING 9' X 18'.
- (B). LOADING DOCKS ARE PROHIBITED.
- (C). VEHICULAR ACCESS FOR ALL OUTPARCELS SHALL BE FROM THE UNNAMED SERVICE ROAD LOCATED EAST OF THE OUTPARCEL AREAS.
- (D). ALL PARKING LOT STRIPING SHALL BE WHITE.

(3). BUILDING DESIGN AND MATERIALS:

- (A). NO BUILDING IN SUBAREA A1-AB SHALL EXCEED 24' IN HEIGHT (AS MEASURED FROM THE FINISHED FLOOR ELEVATION TO THE TOP OF ROOF STRUCTURE) EXCEPT FOR BUILDING PARAPETS AND ARCHITECTURAL FEATURES, WHICH SHALL NOT EXCEED 32' IN HEIGHT ON OUTLOTS 43 THROUGH 47 (AS MEASURED PERPENDICULAR FROM THE FINISHED FLOOR ELEVATION TO THE HIGHEST POINT OF ANY ARCHITECTURAL ELEMENT). THE HEIGHT RESTRICTION FOR ARCHITECTURAL ELEMENTS ON ANY BUILDING ON OUTLOTS 40 THROUGH 42 SHALL BE RESTRICTED TO 28 FEET IN HEIGHT. THE WIDTH OF ANY ARCHITECTURAL ELEMENT ACROSS THE STOREFRONT OF ANY BUILDING SHALL BE LIMITED TO NO MORE THAN TEN PERCENT (10%) OF THE LINEAR FEET OF STOREFRONT.
- (B). ALL BUILDINGS CONSTRUCTED ON THE OUT-PARCELS WILL HAVE THEIR OWN CHARACTER, IDENTITY, AND SHALL EMBODY THE "PARKWAY CENTRE" THEME. EACH INDIVIDUAL BUILDING SHALL BE CONSTRUCTED WITH CONSISTENT MATERIALS AND ARCHITECTURAL ELEMENTS ON ALL FOUR SIDES, AND SHALL BE A MINIMUM OF 50 PERCENT BRICK, STUCCO, STONE, EXTERIOR INSULATION AND FINISH SYSTEMS (E.I.F.S.), BRICK, SPLIT-FACE BLOCK (WATER TABLES ONLY) AND GLASS ARE APPROVED BUILDING MATERIALS. ALTERNATIVE BUILDING MATERIALS MAY BE PERMITTED, SUBJECT TO THE APPROVAL OF THE CITY COUNCIL THROUGH THE DEVELOPMENT PLAN PROCESS. WINDOW MULLIONS ON ALL OUTLOT BUILDINGS SHALL BE CONSISTENT WITH THE PARKWAY CENTRE SOUTH, NORTH, & EAST.
- (C). THE CONFIGURATION OF BUILDINGS, STRUCTURES AND APPURTENANCES THERETO SHALL BE SUBJECT TO THE APPROVAL OF THE CITY COUNCIL THROUGH THE DEVELOPMENT PLAN PROCESS.
- (D). OUTDOOR SEATING ASSOCIATED WITH EATING AND DRINKING ESTABLISHMENTS MAY BE PERMITTED, SUBJECT TO THE APPROVAL OF THE CITY COUNCIL THROUGH THE DEVELOPMENT PLAN PROCESS.
- (E). ALL MECHANICALS, INCLUDING ROOF TOP UNITS, SHALL BE SCREENED FROM OFF-SITE VIEWS BY EITHER PARAPET, WALLS, LANDSCAPING OR BUILDINGS, INDIVIDUALLY OR IN COMBINATION THEREOF.
- (F). TRANSFORMERS SHALL BE SCREENED AS PERMITTED BY THE UTILITY COMPANIES. APPLICABLE SECTIONS OF THE GROVE CITY CODE SHALL BE UTILIZED IN LESS RESTRICTIVE SITUATIONS DICTATED BY THE FINAL LOCATION OF THE TRANSFORMER AND COORDINATED WITH ONE OF THE THREE PERMISSIBLE OPTIONS IN COMPLIANCE WITH THE LANDSCAPE CODE. DETAILS ARE SUBJECT TO THE URBAN FORESTER'S APPROVAL.
- (G). NO MATERIALS, SUPPLIES, EQUIPMENT, VENDING MACHINES OR PRODUCTS SHALL BE STORED OR PERMITTED TO REMAIN ON ANY PORTION OF AN OUT-PARCEL OUTSIDE A PERMITTED STRUCTURE.
- (H). EXTERIOR BUILDING DETAILS, INCLUDING BUT NOT LIMITED TO, AWNINGS, GUTTERS AND DOWNSPOUTS, SHUTTERS, CUPOLAS, DORMERS, AND "WALL ART" SHALL BE SUBJECT TO THE APPROVAL OF THE CITY COUNCIL THROUGH THE DEVELOPMENT PLAN PROCESS.

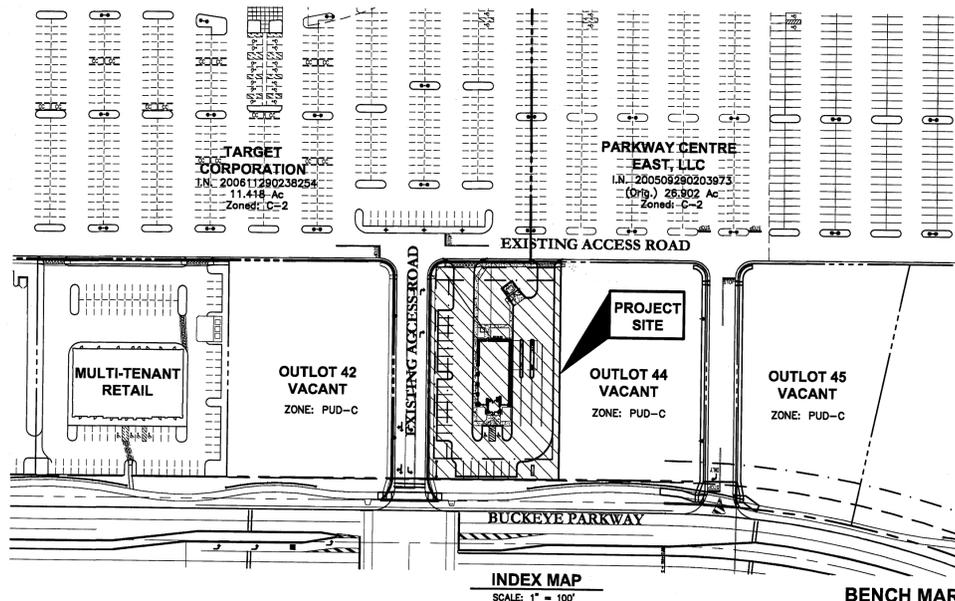
(4). WASTE AND REFUSE:

- (A). ALL WASTE AND REFUSE SHALL BE CONTAINERIZED AND SCREENED FROM VIEW BY A SOLID WALL AND LANDSCAPING ON THREE SIDES AND SHALL HAVE AN ACCESS GATE. ALL DUMPSTER SCREEN WALLS SHALL BE OF THE SAME MATERIAL AS THE BUILDING AND SHALL BE INCORPORATED INTO THE DESIGN OF THE BUILDING, WHERE POSSIBLE.
- (B). ARCHITECTURALLY ATTRACTIVE AND ADEQUATE TRASH CONTAINERS UTILIZING THE "THEME" DESIGN SHALL BE PROVIDED AT THE FRONT ENTRANCE OF EACH BUILDING.

(5). UTILITIES:

- (A). ALL NEW UTILITY LINES INCLUDING WATER SUPPLY, SANITARY SEWER SERVICE, ELECTRICITY, TELEPHONE, GAS, AND FEEDER LINES SHALL BE PLACED UNDERGROUND AND THEIR CONNECTIONS SHALL BE SCREENED.
- (B). SHARING OF UTILITY BOXES IS ENCOURAGED.
- (C). UTILITY METERS ATTACHED TO THE EXTERIOR BUILDING WALLS SHALL BE SCREENED FROM VIEW WITH A WALL THAT MATCHES THE EXTERIOR MATERIALS OF THE PRIMARY STRUCTURE. THE HEIGHT OF THE WALL SHALL BE NO LESS THAN ONE (1) FOOT ABOVE THE HEIGHT OF THE METER.
- (D). EXPOSE UTILITY AND CONDUIT LINES, DOWNSPOUTS, ETC SHALL BE OF THE SAME COLOR TO MATCH THE EXTERIOR SURFACE TO WHICH THEY ARE ATTACHED.

CITY OF GROVE CITY, OHIO TELHIO CREDIT UNION OUTLOT 43 PARKWAY CENTRE EAST SITE DEVELOPMENT PLAN



SITE DATA	
SITE AREA	0.906 ACRES
BUILDING AREA	2,862 S.F.
CURRENTLY ZONED	PUD-C
PARKING DATA	
PARKING SPACES REQUIRED (RETAIL)	15 (1 PER 200 S.F.)
PARKING SPACES PROVIDED	26 SPACES
H/C PARKING SPACES REQUIRED	2 SPACES
H/C PARKING SPACES PROVIDED	2 SPACES
LOT COVERAGE	
BUILDING	7.22%
PAVEMENT	59.34%
LANDSCAPING	33.44%

(6). SIGNAGE AND GRAPHICS:

- (A). SIGNAGE SHALL BE APPROVED AS PART OF THE DEVELOPMENT PLAN APPROVAL PROCESS FOR EACH OUT-PARCEL AND MAY VARY FROM THE REQUIREMENTS OF SECTION 1145 OF THE CODIFIED ORDINANCES, BUT WILL MEET "THEME" SIGNAGE DETAIL AS DEPICTED ON THE NBBJ DRAWINGS.
 - (i). DEVELOPMENTS CONTAINING MULTIPLE TENANTS SHALL INCORPORATE THE FOLLOWING EXTERIOR SIGNAGE GUIDELINES:
 1. WHITE CHANNEL LETTERING WITH WHITE NEON OR L.E.D. ILLUMINATION;
 2. NO EXPOSED RACEWAY;
 3. NO EXPOSED NEON;
 4. MAXIMUM LENGTH OF SIGNAGE SHALL BE 80% OF THE LEASABLE STOREFRONT AND SHALL NOT EXCEED 32 LINEAL FEET.
 5. MAXIMUM HEIGHT OF THE SIGNAGE AREA SHALL NOT EXCEED 36 INCHES.
 6. SIGN LOCATIONS TO BE APPROVED THROUGH THE DEVELOPMENT PLAN PROCESS.
 - (ii). SIGNAGE IS NOT PERMITTED ON WINDOWS OR DOORS. THE ALLOWED EXCEPTIONS ARE AN "OPEN/CLOSE" SIGN OF TWO (2) SQUARE FEET OR LESS AND SIGNAGE SPECIFIC TO PAYMENT METHODS, NAME OF OCCUPANT, AND ADDRESS.
- (B). ONE (1) POLE-MOUNTED "GAS LIGHT-TYPE" FIXTURE SHALL BE LOCATED WITHIN THE FRONT LANDSCAPE SETBACK AREA OF EACH OUTPARCEL, TO ENHANCE THE CENTRE'S "THEME" CONCEPT.
- (C). DIRECTIONAL SIGNAGE SHALL BE INSTALLED AS REQUIRED AND APPROVED THROUGH THE DEVELOPMENT PLAN PROCESS. SUCH SIGNS SHALL NOT BE MORE THAN THREE (3) FEET IN HEIGHT AND FOUR (4) SQUARE FEET IN AREA AND SHALL CONTAIN ONLY THE FOLLOWING TEXT: ENTER, EXIT, DRIVE-THRU OR DO NOT ENTER. DIRECTIONAL SIGNS ARE TO BE PLACED ON BRICK OR STONE BASES WITH SUPPLEMENTAL LANDSCAPING.
- (D). THE DESIGN OF MONUMENT SIGNS SHALL MEET THE "THEME" OF THE OUTLOT MONUMENT SIGNS AT PARKWAY CENTRE NORTH & SOUTH. THE BASE MATERIAL OF THE SIGN SHALL MATCH THE EXTERIOR BUILDING MATERIAL OF THE PRIMARY STRUCTURE UPON THE OUTLOT. THIS CRITERIA SHALL ALSO APPLY TO MENU BOARDS.
- (E). THE BASE OF ALL MONUMENT SIGNS AND MENU BOARDS SHALL BE LANDSCAPED WITH ACCEPTABLE GROUND COVER PLANT MATERIAL IN ACCORDANCE WITH SECTION 1136 OF THE GROVE CITY CODE.
- (F). MENU BOARDS ARE TO BE NO MORE THAN FIVE (5) FEET IN HEIGHT AND NO MORE THAN THIRTY-TWO (32) SQUARE FEET IN AREA. MENU BOARDS ARE TO BE LOCATED AND ORIENTED SUCH THAT THEY DO NOT BLOCK VISIBILITY FROM ANY POINTS OF INGRESS OR EGRESS. MENU BOARDS SHALL ALSO BE ORIENTED IN A MANNER TO MINIMIZE THEIR VISIBILITY FROM PUBLIC RIGHTS OF WAY.
- (G). TRAFFIC CONTROL SIGNAGE SHALL BE MOUNTED ON A BLACK BACKER BOARD AND ATTACHED TO A BLACK POST.
- (H). GROUND SIGNS ARE PERMITTED TO HAVE A MAXIMUM OF FIFTY (50) SQUARE FEET OF SIGN AREA AND A MAXIMUM HEIGHT OF TEN (10) FEET ABOVE GRADE AS MEASURED TO THE TALLEST ELEMENT OF THE SIGN FROM FINISHED GRADE.

(7). LIGHTING:

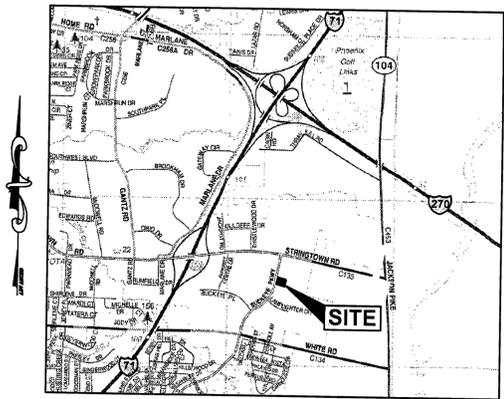
- (A). PARKING LOT LIGHTING SHALL BE CONSISTENT WITH THE LIGHT POLE AND FIXTURE APPROVED FOR PARKWAY CENTRE SOUTH AND NORTH. ALL LIGHT POLES SHALL BE LOCATED WITHIN A LANDSCAPE AREA, AND BE A MAXIMUM OF 28' IN HEIGHT.
- (B). ALL LIGHTS SHALL BE ARRANGED TO REFLECT LIGHT AWAY FROM ANY STREET OR ADJACENT PROPERTY.
- (C). DIRECT OR INDIRECT GLARE INTO THE EYES OF MOTORISTS OR PEDESTRIANS SHALL BE PROHIBITED.
- (D). CUT-OFF TYPE LANDSCAPE AND BUILDING UP LIGHTING SHALL BE PERMITTED, AND SHALL BE FROM CONCEALED SOURCES.
- (E). ACCENT LIGHTING, INCLUDING BUT NOT LIMITED TO, NEON, MAY BE PERMITTED ON THE BUILDING SUBJECT TO THE APPROVAL OF CITY COUNCIL THROUGH THE DEVELOPMENT PLAN PROCESS.
- (F). THE USE OF WALL PACK LIGHTING THAT CASTS LIGHT HORIZONTALLY SHALL BE PROHIBITED. ALL LIGHTING SHALL BE DIRECTED EITHER IN AN UPWARD OR DOWNWARD MANNER.

(8). LANDSCAPING:

- (A). A LANDSCAPE TREATMENT ALONG STRINGTOWN ROAD SHALL BE IN COMPLIANCE WITH THE NBBJ TYPICALS, AND IN ACCORDANCE WITH CITY'S APPROVED "THEME" (SEE EXHIBIT "1").
- (B). LANDSCAPE AREAS SHALL BE IRRIGATED.
- (C). LANDSCAPING WITHIN EACH OUT-PARCEL SHALL, AT A MINIMUM, COMPLY WITH CHAPTER 1136 OF THE GROVE CITY CODE ENTITLED "LANDSCAPING," UNLESS OTHERWISE SPECIFIED. APPROVAL OF THE LANDSCAPING SHALL BE INCORPORATED IN THE DEVELOPMENT PLAN PROCESS.
- (D). ITEMS SUCH AS PAVERS, SCORED CONCRETE, BENCHES, BOLLARDS, PLANTERS AND LIGHTING FIXTURES SHALL BE INCORPORATED IN THE SITE PLAN TO LINK THE "THEME" CONCEPT OF THE ENTIRE PARKWAY CENTRE. RAISED BRICK PLANTERS WITH A STONE CAP SHALL BE INSTALLED ALONG THE FRONT SIDEWALK BETWEEN THE FACE OF THE MAIN STRUCTURE AND BACK OF CURB.
- (E). ANY PORTION OF A LOT UPON WHICH A BUILDING OR PARKING AREA IS NOT CONSTRUCTED SHALL BE COVERED WITH LANDSCAPED MATERIALS, SOD OR OTHER GROUND COVER. GRASS OR OTHER GROUND COVER SHALL BE PLANTED IN AREAS AWAITING DEVELOPMENT.
- (F). MINIMUM TREE SIZES AT INSTALLATION SHALL BE TWO INCHES IN CALIPER FOR SHADE AND ORNAMENTAL TREES AND FIVE FEET IN HEIGHT FOR EVERGREENS.
- (G). COORDINATED LANDSCAPING WITH ADJOINING OUT-PARCELS IS REQUIRED.
- (H). ANY AREA NOT DEVELOPED IS TO BE MAINTAINED IN A NEAT AND ORDERLY FASHION. STORAGE OF SOIL AND OTHER BUILDING MATERIALS IS NOT PERMITTED.

III. PENALTY

VIOLATION OF ANY OF THE ABOVE SHALL BE DEEMED A VIOLATION PER THE PROVISIONS OF SECTION 1131.99 OF THE CODIFIED ORDINANCES.



LOCATION MAP
NO SCALE

INDEX OF SHEETS

TITLE SHEET	1
SITE DIMENSION PLAN	2
SITE GRADING & UTILITY PLAN	3
SITE DETAILS	4
SITE PHOTOMETRIC PLAN	5



REGISTERED ENGINEER NO. 69278
DATE: 06-23-10

CITY OF GROVE CITY APPROVALS
"City of Grove City" signatures on this plan signify only concurrence with the purpose and general location of the project. All technical details remain the responsibility of the Engineer preparing the plans.

CITY ADMINISTRATOR, CITY OF GROVE CITY DATE

SERVICE DIRECTOR, CITY OF GROVE CITY DATE

REVIEWER FOR CITY OF GROVE CITY DATE

JACKSON TOWNSHIP FIRE DEPARTMENT DATE

OWNER/DEVELOPER
Telhio Credit Union
96 N. 4th Street
Columbus, OH 43215
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PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS & SURVEYORS
422 Beecher Road, Columbus, Ohio 43230, PH 614.428.7700, FAX 614.428.7755

PLAN PREPARED FOR: TELHIO CREDIT UNION
CITY OF GROVE CITY, FRANKLIN COUNTY
FINAL DEVELOPMENT PLAN FOR TELHIO CREDIT UNION
TITLE SHEET

Issue Date: 06/04/10; Development Plan Submitted 06/23/10; Development Plan Submitted

Date: 06/23/2010
Scale: 1" = 20'

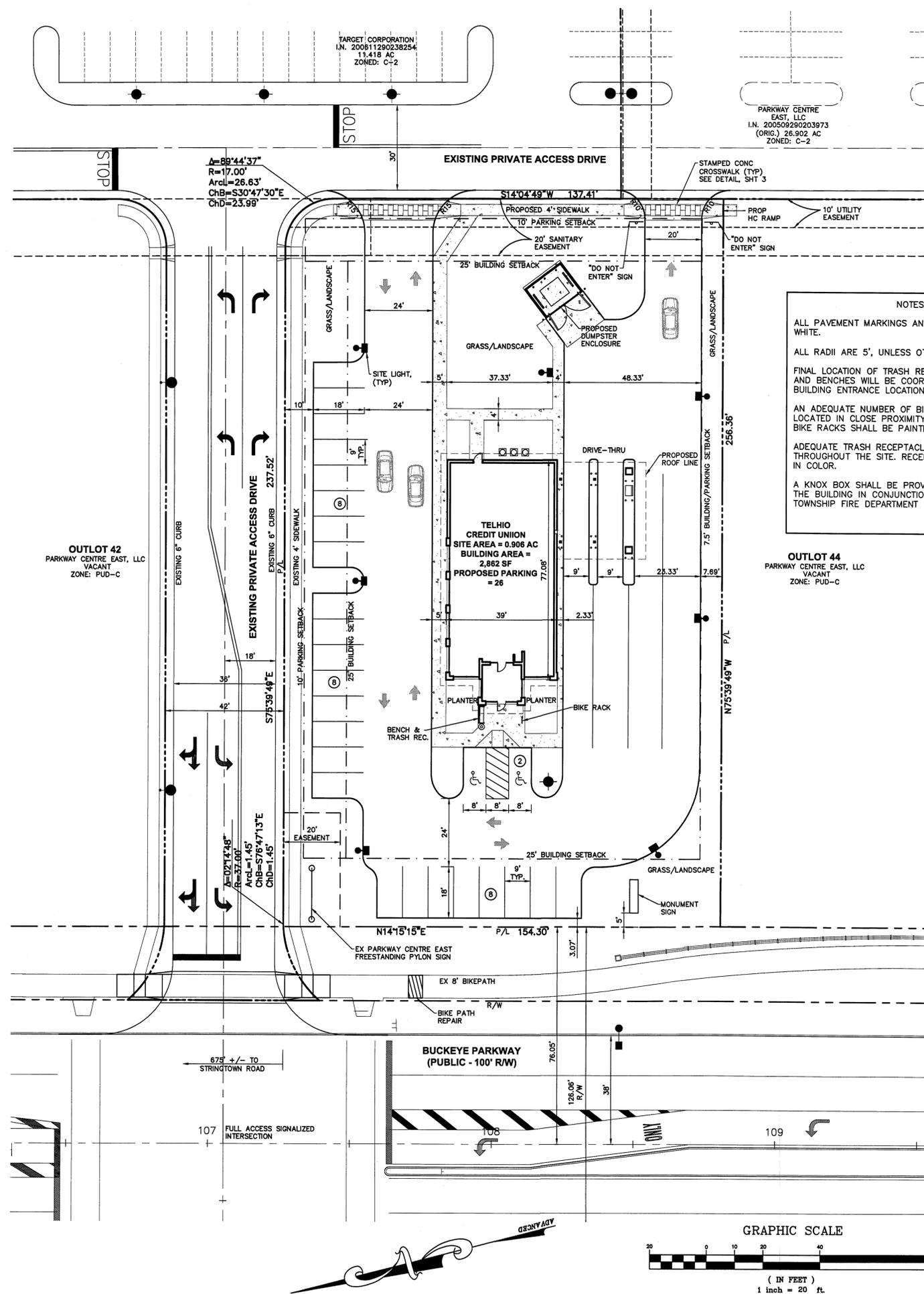
Drawn By: HGG, Checked By: JOW
Project Number: 10-0001-388
Drawing Number: 1/5

Z:\10-0001-388\Draw\10001-388_ZCI.dwg SHEET 1 Jun 22, 2010 4:17:59pm hgucker

DEVELOPMENT PLAN REQUIREMENTS

- Title block in the lower right hand corner containing:
 - Final Development Plan
 - Project Title and City Project No.
 - Name and address of Owner
 - Date
- TITLE BLOCK SHOWN ON ALL SHEETS WITH REQUIRED INFORMATION PROVIDED.**
- Location Map.
 - LOCATION MAP PROVIDED IN THE UPPER RIGHT CORNER OF SHEET 1.
- North Arrow (up or to the left)
 - NORTH ARROW PROVIDED ON ALL SHEETS.
- The property dimensions and boundary lines of the site, including total acreage and/or total square footage of site, and approximate distance to the nearest cross street.
 - THE PROPERTY BOUNDARY IS SHOWN AND LABELED ON SHEET 2. A SITE DATA TABLE IS PROVIDED WITH SITE AREA. ALL ADJACENT CROSS-STREETS ARE SHOWN AND LABELED ON THE PLAN.
- All existing or proposed building locations on or adjacent to the property, existing structures per the BOCA and Ohio Fire Code and access points on and adjacent to the property. (Chap. 1511)
 - ALL EXISTING ACCESS POINTS AND PARKING AREAS ARE SHOWN ON SHEET 2.
- All setbacks and building lines. (Chap. 1135.10)
 - BUILDING AND SETBACK LINES ARE SHOWN ON SHEET 2.
- All existing public streets or private drives with street name, right-of-way and pavement width, median openings, and left turn lanes. (Chap. 901)
 - ALL EXISTING ROADWAYS, BOTH PUBLIC AND PRIVATE, ARE SHOWN ON SHEET 2. RIGHT-OF-WAY WIDTHS, LANE CONFIGURATION AND PAVEMENT WIDTHS ARE ALL LABELED.
- All railroad and utility right-of-ways, or easements, parks or other public/open spaces and corporation lines within or adjacent to the tract.
 - NO PARKS OR PUBLIC OPEN SPACES ARE TO BE DEDICATED AS A PART OF THIS DEVELOPMENT.
- Proposed areas of dedication, if necessary, including streets, alleys, easements, or reserves by deed covenant with the condition proposed to the tract (Chap. 1141.01a)
 - NOT APPLICABLE
- Points of ingress and egress to the property including design and spacing of driveways in accordance with Chapter 1105 of the Codified Ordinances.
 - ALL INGRESS AND EGRESS POINTS ON THE PROPERTY ARE SHOWN AND LABELED ON SHEET 2.
- Existing ground configuration, drainage channels, wooded areas, watercourses, and other significant physical features. (Chap. 1136)
 - EXISTING GROUND CONTOURS ARE SHOWN ON SHEET 3. THERE ARE CURRENTLY NO WOODED AREAS OR WATERCOURSES ON THE PROPOSED SITE.
- Parking area including number and layout of spaces, aisle width, garbage pick-up location (including privacy fencing around dumpster, area, with gates), per Ohio Fire Code and handicapped parking spaces. Calculations of the parking spaces required up. (Chap. 1136, 1511)
 - PROPOSED PARKING IS SHOWN AND LABELED ON SHEET 2. AISLE WIDTHS AND NUMBER OF SPACES ARE CLEARLY LABELED.
 - PROPOSED DUMPSTER LOCATIONS AND SCREENING IS ALSO SHOWN ON SHEET 2.
 - PARKING SPACES REQUIRED AND PROVIDED ALONG WITH HANDICAP SPACE CALCULATIONS ARE SHOWN IN THE SITE DATA TABLE PROVIDED ON SHEET 1.
- Screening walls and location, type of screening wall, either living, masonry, or privacy fencing. (Chap. 1136.08)
 - SITE SCREENING IS SHOWN ON THE SITE LANDSCAPING PLAN.
- Indicate all areas to be landscaped, type of landscaping, and total square footage of landscaped areas in accordance with Chapter 1136 of the Codified Ordinances.
 - SEE SITE LANDSCAPING PLAN FOR DETAILS OF ALL PROPOSED LANDSCAPING FEATURES.
- Show all mechanical equipment to be located on exterior of buildings (HVAC, Exhaust Vents, Hoods, etc.) (Chap. 1341)
 - EXTERIOR MECHANICAL EQUIPMENT AND PROPOSED SCREENING IS SHOWN AS PART OF THE ARCHITECTURAL PLANS.
- Existing sewers, water mains, culverts and other underground facilities within the tract, adjacent to the tract, or that will be used in developing the tract, indicating pipe sizes, grades, and locations including fire hydrants existing and proposed. (Chap. 953, 939, 1101)
 - REFERENCE SHEET 3 FOR EXISTING STORM SEWER, WATERLINE AND SANITARY SEWER.
- All proposed water and sewer lines with sizes indicated and location of valves, fire hydrants, manholes, and other appurtenances or structures shown. (Chap. 953, 939, 1101)
 - PROPOSED WATER AND SEWER LINES ALONG WITH VALVES, HYDRANTS, MANHOLES AND OTHER APPURTENANCES ARE SHOWN ON SHEET 3.

- All proposed or existing water and sewer connections, meter locations, size of meters, with meter and/or detector check valve vaults indicated. (Chap. 1101, 1103, 1133, 1307)
 - ALL EXISTING AND PROPOSED CONNECTIONS AND METERS ARE SHOWN ON SHEETS 3.
- Finished floor elevation of proposed or existing structures on the site referenced to sea level datum. (Chap. 1101, 1103, 1133, 1307)
 - PROPOSED FINISHED FLOOR ELEVATIONS ARE SHOWN ON SHEET 3. ALL ELEVATIONS SHOWN HEREON ARE BASED ON FRANKLIN COUNTY NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- Existing and proposed contours of the tract in intervals of one foot or less, referenced to sea level datum. (Chap. 1101.05g)
 - EXISTING & PROPOSED CONTOURS ARE SHOWN AT ONE FOOT INTERVALS ON SHEET 3.
- Proposed or existing on and off site inlets, culverts or other drainage structures. (Chap. 1322, 1323)
 - ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES ARE SHOWN ON SHEET 3.
- Proposed signage for the entire site to include permitted square footage of all signs and permitted height and location of pole signs (However, separate application for signage must be approved and sign permit issued.) (Chap. 1101.08)
 - THE PROPOSED SIGN LOCATIONS AND HEIGHT ARE SHOWN ON THE SIGNAGE PLAN AS PART OF THE ARCHITECTURAL PLANS.
- Proposed area lighting showing detail of each fixture and height (on building and/or around parking area). (Chap. 1139.03)
 - PROPOSED LIGHT LOCATIONS AND FIXTURE DETAILS ARE SHOWN ON THE SITE PHOTOMETRIC PLAN.
- Zoning of the property as it now stands and the zoning proposed, if it is being requested to be changed. (Chap. 1101)
 - THE SITE IS CURRENTLY ZONED PUD-C
 - THE ZONING LIMITATION TEXT IS SHOWN ON SHEET 1.
- Proposed use of the site or buildings. (Chap. 1101.08)
 - ALL PROPOSED BUILDINGS WILL BE USED AS A CREDIT UNION.
- Storm water retention in accordance with section. (Chap. 1135.10)
 - A STORM WATER RETENTION BASIN IS LOCATED ON THE SOUTHEAST SIDE OF THE PARKWAY CENTRE EAST DEVELOPMENT TO ACCOMMODATE STORM WATER REQUIREMENTS FOR THIS DEVELOPMENT.
- Size of the building (square footage). See Table 1135.10-I. 1135.12-II and 1135.14-III.
 - THE BUILDING SIZES ARE SHOWN ON SHEET 2.
- Height of all structures including site lighting. (Chap. 1101)
 - THE BUILDING HEIGHT IS SHOWN ON THE ARCHITECTURAL ELEVATIONS PROVIDED.
- Number of living units, by number of bedrooms, if applicable. (Chap. 1135.10g(7))
 - THE ARE NO RESIDENTIAL LIVING UNITS PROPOSED FOR THIS DEVELOPMENT.
- A certificate by a registered land surveyor or engineer that the premises covered by the plan have been surveyed, that the plan is correct, and that the monuments shown on the plot will be set in accordance with Section 1101.051.
 - A LOT SPLIT HAS BEEN APPROVED BY THE CITY OF GROVE CITY PLANNING COMMISSION FOR THIS DEVELOPMENT. THE LOT LINES REFLECT THE APPROVED LOT SPLIT DIMENSIONS.
- Color rendering of building(s), complete with listing of all colors, including Pantone 999-2000 Reference Numbers or if Pantone is not available, the manufacturer's reference/serial number with sample, and materials, with samples to be used. (c-39-00; passed 5/12/00)
 - COLOR RENDERINGS ARE INCLUDED.
- Compliance to National Flood Insurance Program Community Panels No. 390173-0001 through 4. Show 100-year flood plain. (Chap. 1329)
 - THE PROPOSED SITE LIES WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN PER FEMA PANEL #39049C0243, DATED AUGUST 2, 1995.
- Site plan to be signed by an engineer or surveyor registered in the State of Ohio. (Chap. 1101.05)
 - REGISTERED ENGINEER SIGNATURE PROVIDED ON SHEET 1.
- Signature block.
 - SIGNATURE BLOCK PROVIDED ON SHEET 1 WITH REQUIRED MUNICIPAL SIGNATURE BLOCKS.
- Compliance with Historical Preservation Area requirements, if applicable, Chapter 1138 of the Codified Ordinances.
 - NOT APPLICABLE
- A narrative description of the project of at least one paragraph in length.
 - THE PROJECT COMPRISES OF THE CONSTRUCTION OF A SINGLE-STORY CREDIT UNION BUILDING AND ASSOCIATED SITE IMPROVEMENT WORK. THE SITE COMPONENT CONSISTS OF PARKING AREAS, LANDSCAPING, TRASH ENCLOSURE, SIGNAGE AND PEDESTRIAN WALKS AS SHOWN ON THE LAYOUT.



NOTES:

ALL PAVEMENT MARKINGS AND STRIPING SHALL BE WHITE.

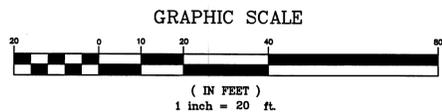
ALL RADII ARE 5', UNLESS OTHERWISE NOTED.

FINAL LOCATION OF TRASH RECEPTACLES, BIKE RACKS AND BENCHES WILL BE COORDINATED WITH THE BUILDING ENTRANCE LOCATION AND OWNER APPROVAL.

AN ADEQUATE NUMBER OF BIKE RACKS SHALL BE LOCATED IN CLOSE PROXIMITY TO THE BUILDING. ALL BIKE RACKS SHALL BE PAINTED BLACK.

ADEQUATE TRASH RECEPTACLES SHALL BE LOCATED THROUGHOUT THE SITE. RECEPTACLES SHALL BE BLACK IN COLOR.

A KNOX BOX SHALL BE PROVIDED AND LOCATED UPON THE BUILDING IN CONJUNCTION WITH THE JACKSON TOWNSHIP FIRE DEPARTMENT



Z:\10-0001-388\dwg\0001-388_202.dwg SHEET 1 Jun 22, 2010 4:27:13pm hgusker

PLAN PREPARED BY: 422 Beecher Road, Gahanna, Ohio 43230, ph 614.428.7790, fax 614.428.7795

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR: CITY OF GROVE CITY/FRANKLIN COUNTY

TELHIO CREDIT UNION - PARKWAY CENTRE EAST
 FINAL DEVELOPMENT PLAN
 FOR
 TELHIO CREDIT UNION
 SITE DIMENSION PLAN

Issue Dates:
 06/04/10: Development Plan Submittal
 06/23/10: Development Plan Submittal

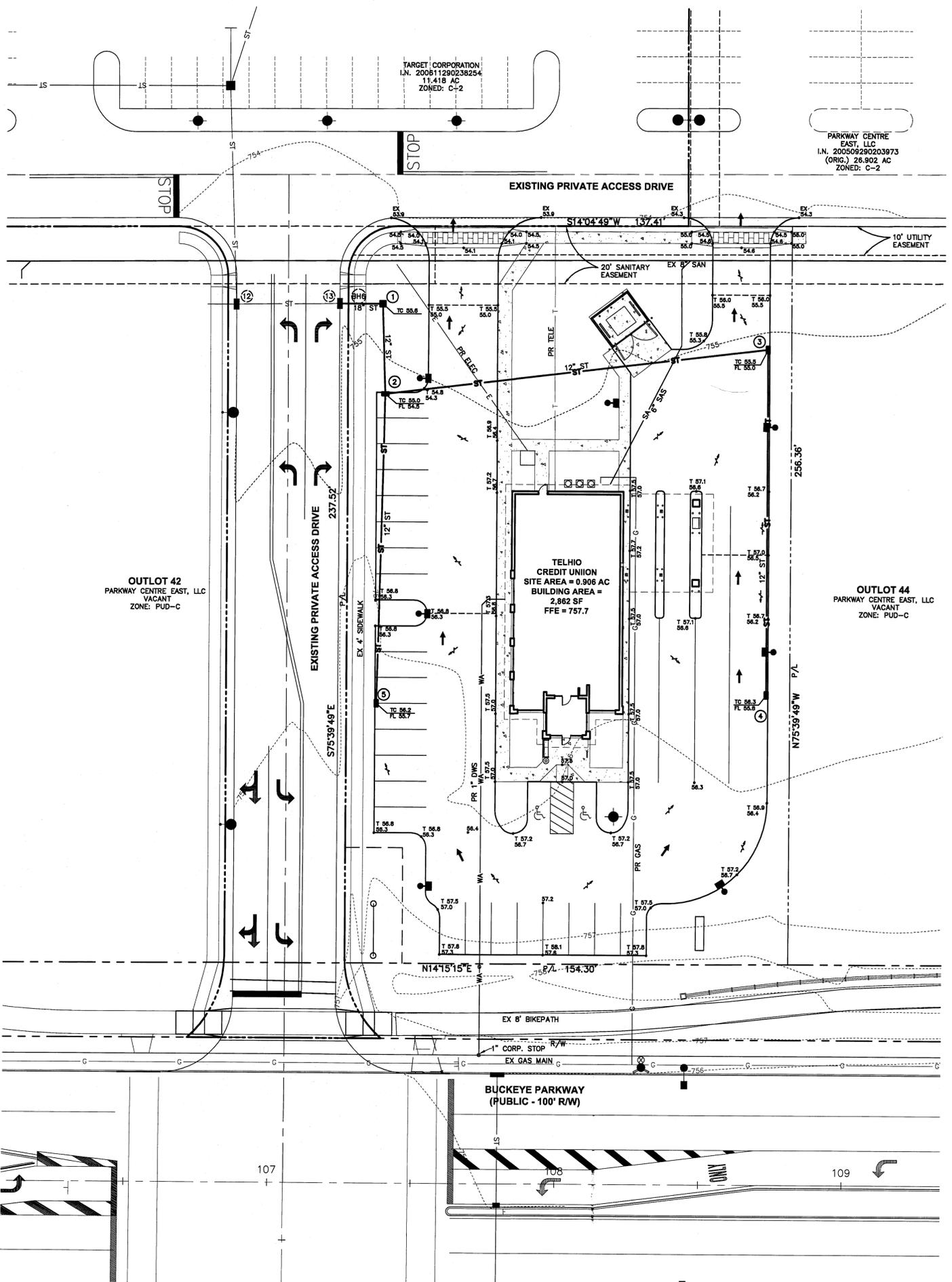
Date: 06/23/2010
 Scale: 1" = 20'

Drawn By: HGG
 Checked By: JDW

Project Number:
 10-0001-388

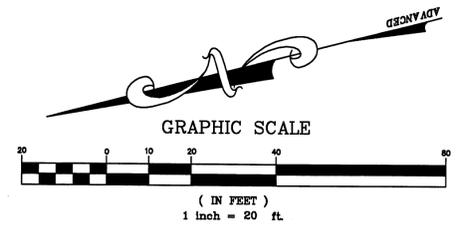
Drawing Number:
 2 / 5

Z:\10-0001-388\dwg\0001-388_223.dwg SHEET 1 Jun 22, 2010 - 3:54:18pm hgucker



NOTE - *CAUTION*
 Existing irrigation system and hardscape (fencing and bikepath), owned and operated by Grove City, located along buckeye parkway. Any damage to these items will be repaired and replaced to the City's specifications at the site owner's/ contractor's expense.

- LEGEND**
- - - - - 740 - - - - - EXISTING CONTOUR
 - - - - - 783 - - - - - PROPOSED CONTOUR
 - 740.0 + - - - - - PROPOSED SPOT ELEVATION
 - - - - - 12" ST - - - - - PROPOSED STORM SEWER
 - ⊕ - - - - - EXISTING UTILITY POLE
 - ⊕ - - - - - EX. ST - - - - - EXISTING STORM SEWER
 - ↗ - - - - - SURFACE FLOW ARROW
 - ➔ - - - - - FLOOD ROUTING PATH



PLAN PREPARED BY:
 422 Beecher Road
 Columbus, Ohio 43230
 PH 614.428.7750
 FAX 614.428.7755
ADVANCED CIVIL DESIGN
 ENGINEERS & SURVEYORS



PLAN PREPARED FOR:
 CITY OF GROVE CITY/FRANKLIN COUNTY
TELHIO CREDIT UNION - PARKWAY CENTRE EAST
 FINAL DEVELOPMENT PLAN
 FOR
TELHIO CREDIT UNION
 GRADING & UTILITY PLAN

Issue Dates:

06/04/10: Development Plan Submittal	
06/23/10: Development Plan Submittal	

Date: 06/23/2010
 Scale: 1" = 20'

Drawn By: HGG
 Checked By: JOW

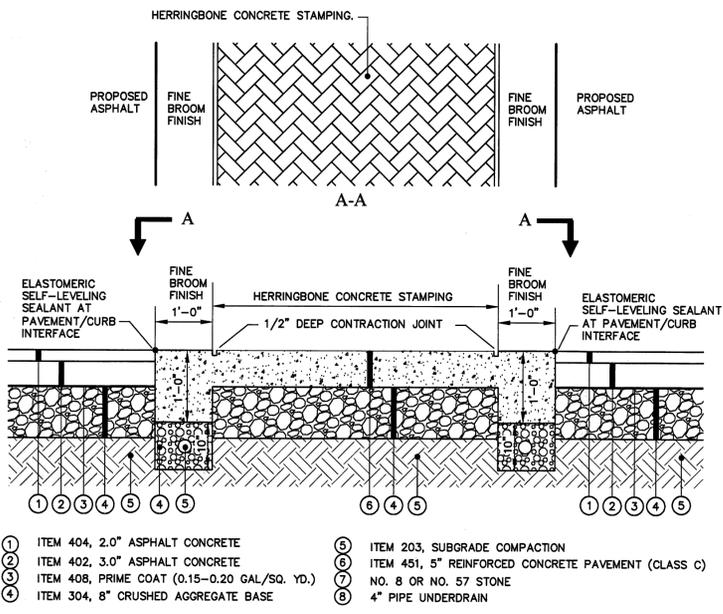
Project Number:
10-0001-388

Drawing Number:
3 / 5

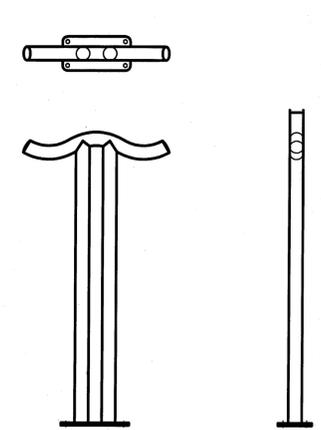
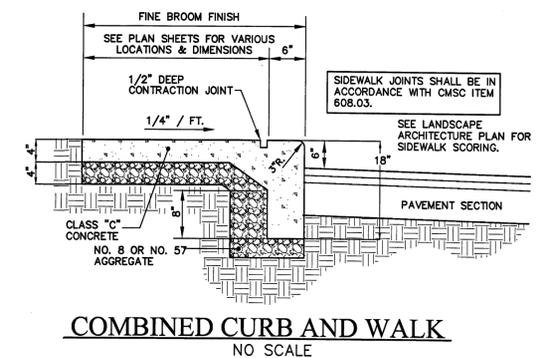
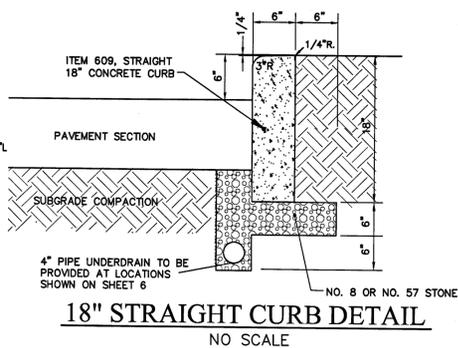
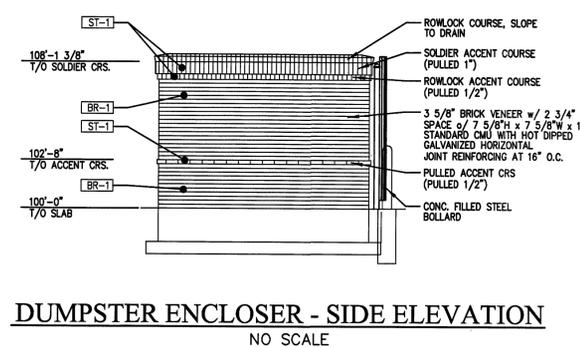
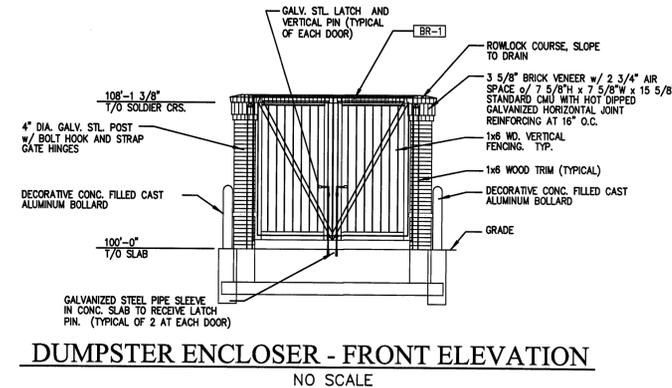


TYPICAL BENCH
(OR SIMILAR)

REFERENCE LANDSCAPE PLAN FOR LOCATIONS



CONCRETE WALKWAY PAVEMENT SECTION
NO SCALE



landscape forms
431 LAVINDALE AVE. PHONE: 800-521-2546
KALAMAZOO, MI 49048 FAX: 269-381-3455

FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC.

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TYPICAL BIKE RACK (PAINTED BLACK)
(OR SIMILAR)

REFERENCE LANDSCAPE PLAN FOR LOCATIONS



TITLE: 21-1/2' W X 43"H - PI RACK - SURFACE MOUNT
DESIGN: PI RACK
PATENT: D374,849
FILE: P19501
DATE: 08-26-02
AUTHOR: LAD

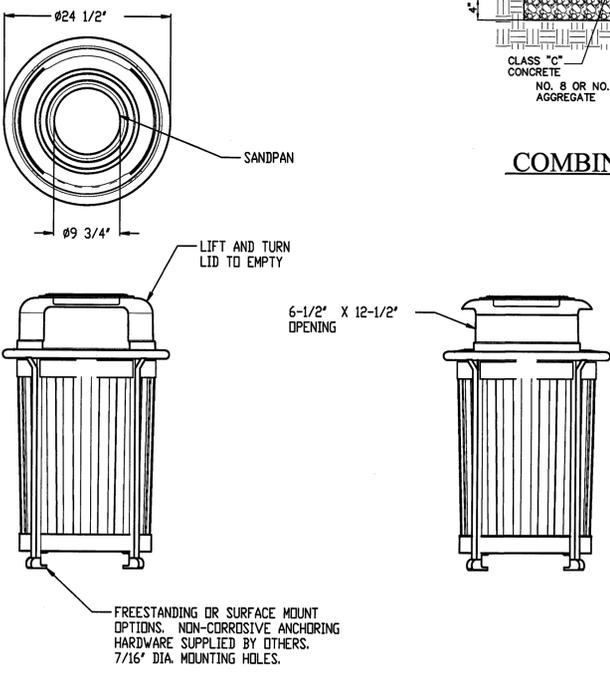
landscape forms
431 LAVINDALE AVE. PHONE: 800-521-2546
KALAMAZOO, MI 49048 FAX: 269-381-3455

CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC.

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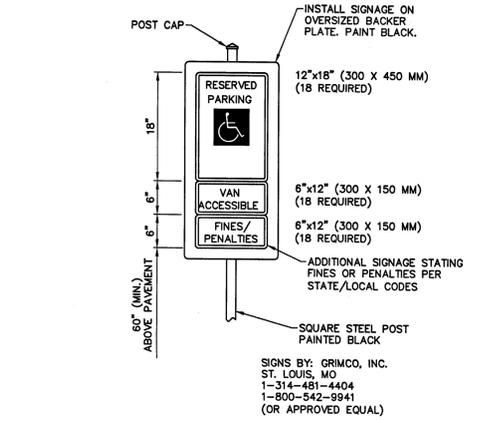
TYPICAL TRASH RECEPTACLE (BLACK)
(OR SIMILAR)

REFERENCE LANDSCAPE PLAN FOR LOCATIONS



TITLE: SCARBOROUGH LITTER RECEPTACLE - 25' W X 40"H - SIDE-OPENING-SANDPAN-VERTICAL STRAP DETAIL - 30 GALLON - FREESTANDING OR SURFACE MOUNT

DESIGN: SCARBOROUGH
PATENT: FILE: SCS220
DATE: 09-01-94
AUTHOR: LAD



CITY OF GROVE CITY TRAFFIC CONTROL SIGNAGE DETAIL
SCALE: NONE

*THIS DETAIL SHALL BE FOLLOWED FOR ALL TRAFFIC CONTROL SIGNS ON SITE

Issue Dates:

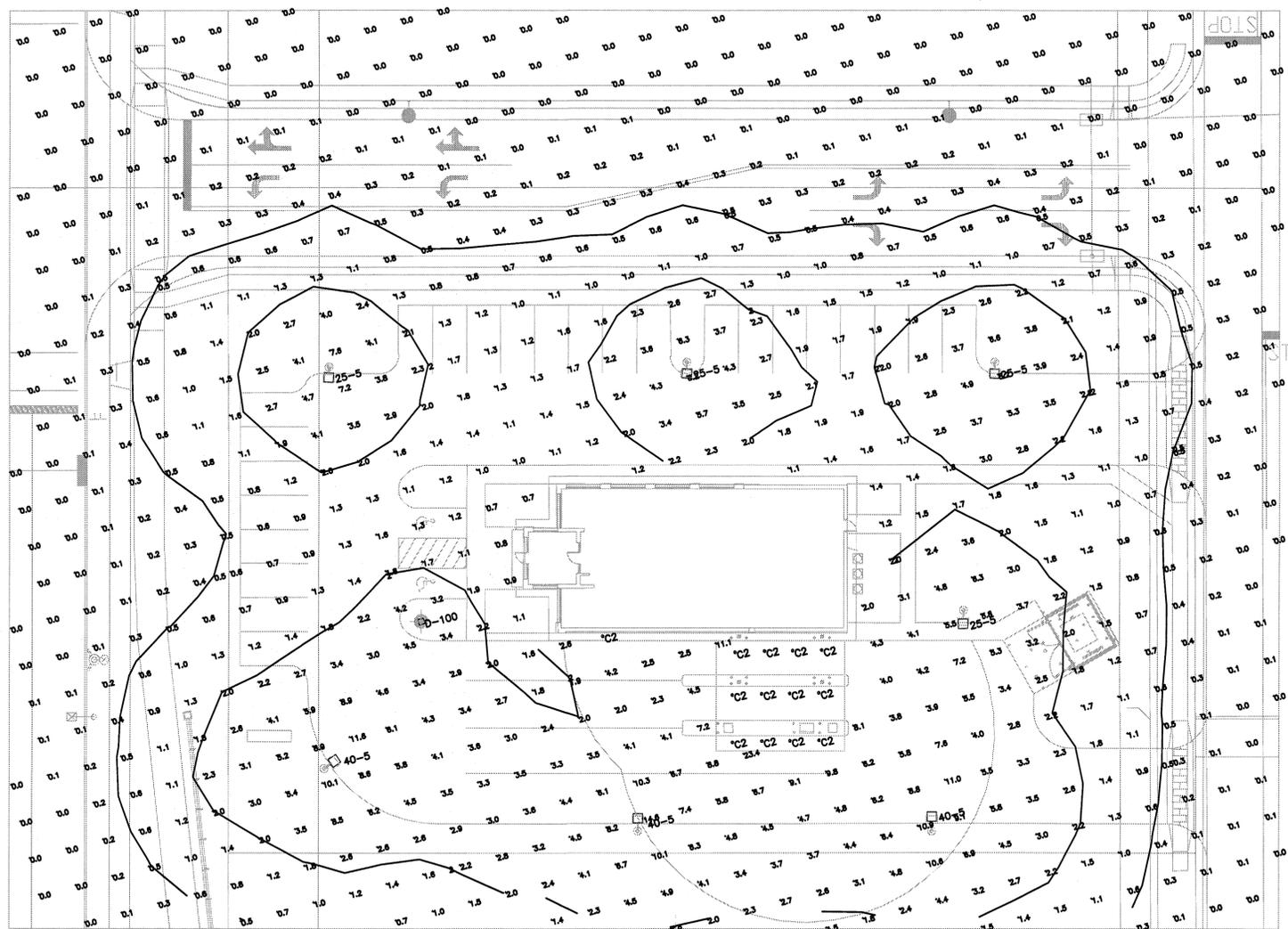
06/04/10: Development Plan, Submittal	
06/23/10: Development Plan, Submittal	

Date: 06/23/2010	Scale: NONE
Drawn By: HGG	Checked By: JOW

Project Number:
10-0001-388

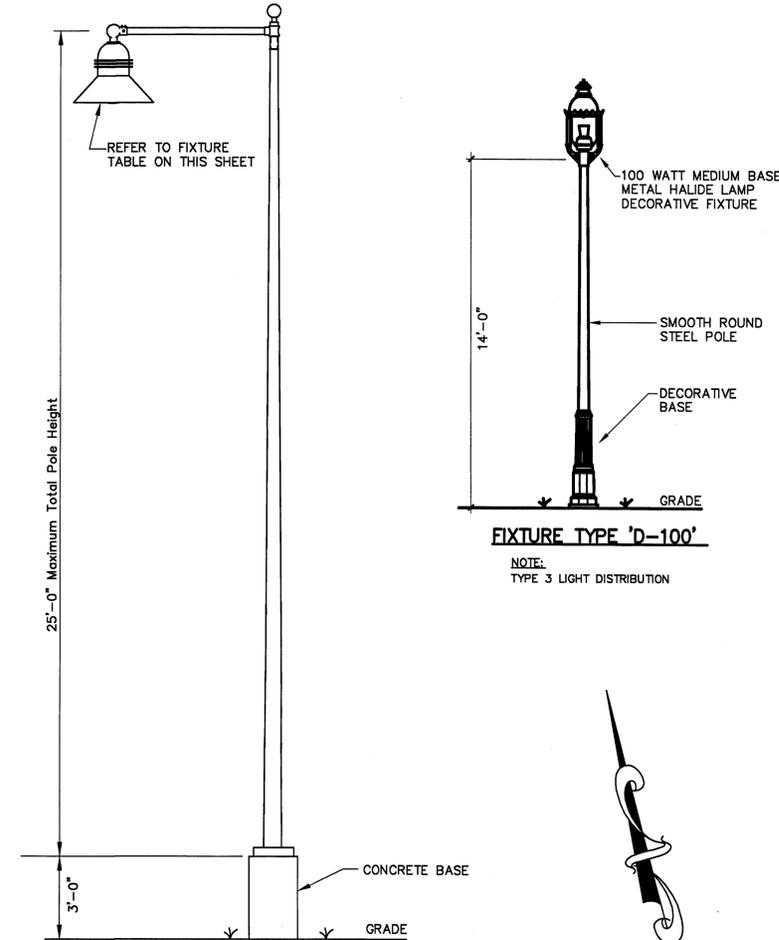
Z:\10-0001-388\dwg\0001-388_ZCS.dwg SHEET 1 Jun 22, 2010 - 3:27:54pm hgckler

NOTE:
 ADVANCED CIVIL DESIGN, INC. IS SHOWING THIS SITE
 PHOTOMETRIC PLAN AS REFERENCE ONLY. ADVANCED
 CIVIL DESIGN DID NOT PREPARE THIS PLAN AND TAKES
 NO RESPONSIBILITY FOR THE ACCURATENESS OF THE
 INFORMATION PRESENTED HEREIN.

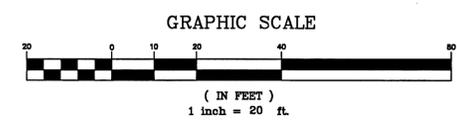


Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
⊗	C2	13	LGH 100M BRW T73	8" VERTICAL DOWNLIGHT, WHITE PAINTED REFLECTOR, 100W METAL HALIDE LAMP-MEDIUM BASE, WITH FLAT PRISMATIC GLASS LENS AND WHITE RECESSED DOOR.	ONE 100-WATT COATED ED17 METAL HALIDE VERTICAL BASE UP POS.	LGH_100M_BRW_T73.ies	8500	0.70	127
□	25-5	4	MRDS30-FGC-MH25-G-SR5	MARITAS DS 30, CAST DOME, FLAT GLASS CLEAR LENS, TYPE V SEGMENTED REFLECTOR, SPUN ALUMINUM SHADE	CLEAR 250-WATT MH, RATED 22000 LUMENS	MRDS30-FGC-MH25-SR5.IES	22000	1.00	275
□	40-5	3	MRDS30-FGC-MH40-SR5	MARITAS DS 30, CAST DOME, FLAT GLASS CLEAR LENS, TYPE V SEGMENTED REFLECTOR, SPUN ALUMINUM SHADE	CLEAR 400-WATT MH, RATED 36000 LUMENS	MRDS30-FGC-MH40-SR5.ies	36000	1.00	440
□	D-100	1	T1-PC-C1-H1-MH17-SR5	MEDITERRANEAN 34, MULTI-FACETED SPECULAR ALUM REFLECTOR, BcRefT5	100 WATT Metal Halide, 14000 LUMENS RATED	T1-PC-C1-H1-MH17-SR5.IES	5800	1.00	115

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.6 fc	23.4 fc	0.0 fc	N / A	N / A



LIGHT POLE DETAIL
 NO SCALE
 NOTE: POLES AND LUMINAIRES SHALL BE APPROVED BY THE ADMINISTRATION.



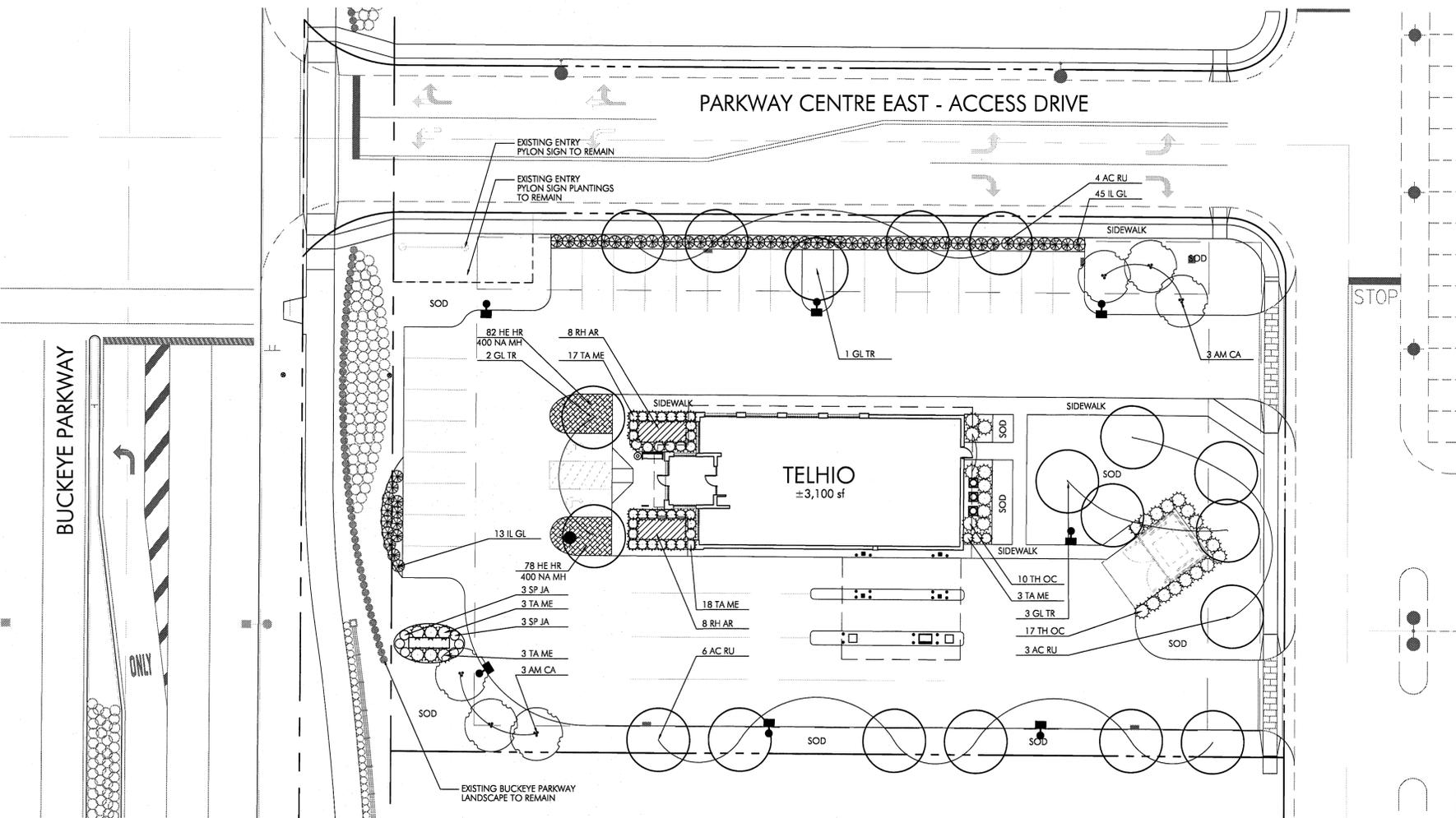
PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 422 Beecher Road
 Gahanna, Ohio 43230
 ph 614.428.7790
 fax 614.428.7755

PLAN PREPARED FOR: **Telhio** Credit Union

CITY OF GROVE CITY/FRANKLIN COUNTY
TELHIO CREDIT UNION - PARKWAY CENTRE EAST
 FINAL DEVELOPMENT PLAN
 FOR
TELHIO CREDIT UNION
SITE PHOTOMETRIC PLAN

Issue Dates	06/04/10: Development Plan Submittal
	06/23/10: Development Plan Submittal

Date: 06/23/2010
 Scale: 1" = 20'
 Drawn By: HGG
 Checked By: JDW
 Project Number:
10-0001-388
 Drawing Number:
5 / 5



Overall Landscape Plan
1"=20'

MASTER PLANT LIST

SYMBOL	BOTANICAL / COMMON NAME	COMMON NAME	SIZE	COND.	SPACING
TREES					
AC RU	Acer rubrum 'Red Sunset'	Red Sunset Maple	2' cal.	B&B	As Shown
AM CA	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	48" ht.	B&B	Multi-Stem
GL TR	Gleditsia t. var. i. 'Skyline'	Skyline Honeylocust	2' cal.	B&B	As Shown
SHRUBS					
IL GL	Ilex glabra 'Shamrock'	Shamrock Inkberry	36" ht.	B&B	As Shown
RH AR	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	cont.	
SP JA	Spiraea japonica 'Little Princess'	Little Princess Spiraea	3 gal.	cont.	As Shown
TA ME	Taxus media 'Everlow'	Everlow Yew	15'-18" ht.	B&B	As Shown
TH OC	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	4'-5" ht.	B&B	As Shown
PERENNIALS					
HE HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.	cont.	18" o.c.
NA MH	Narcissus 'Mount Hood'	Mount Hood Daffodil	bulb	cont.	8" o.c.

**LANDSCAPE REQUIREMENTS:
CHAPTER 1136 LANDSCAPING**

- BUILDING**
257 LF OF BUILDING, (1 TREE/50 LF OF BLDG)
6 TREES REQUIRED, 6 TREES PROVIDED
- SIDE YARDS**
470 LF OF PARKING, (1 TREE, 2 SHRUBS / 40 LF)
12 TREES REQUIRED, 13 TREES PROVIDED
24 SHRUBS REQUIRED, 45 SHRUBS PROVIDED
- FRONT YARD**
72 LF OF PARKING, (1 TREE/ 40 LF W/ CONT. EV HEDGE)
2 TREES REQUIRED, 3 TREES PROVIDED
CONTINUOUS EVERGREEN HEDGE (N/A WITH BUCKEYE PARKWAY LANDSCAPE EXCEPT THREE SOUTHERN PARKING SPACES)
3' EVERGREEN HEDGE PROVIDED
- PARKING LOT LANDSCAPE**
ALL ISLANDS MUST HAVE AT LEAST (1) 2' CAL TREE
3 TREES REQUIRED, 3 TREES PROVIDED
- FRONTAGE ALONG ACCESS DRIVE**
3' CONTINUOUS EVERGREEN HEDGE
3' CONTINUOUS EVERGREEN PROVIDED
153 LF OF FRONTAGE, (1 TREE/ 35 LF)
4 TREES REQUIRED, 4 TREES PROVIDED

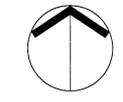
IRRIGATION NOTES

- ALL LAWN AND LANDSCAPED AREAS TO BE IRRIGATED
- MINIMUM REQUIREMENTS:**
PIPE: CLASS 200
SLEEVE: SCHEDULE 40
BACKFLOW PREVENTER: PER LOCAL CODE
WIRING: PER LOCAL CODE
RAIN SENSOR: RAIN SENSOR
CONTROLLER: 8 STATION COMMERCIAL GRADE, MIN.
- ACCEPTABLE MANUFACTURERS: HUNTER, RAINBIRD, TORO
- IRRIGATION DESIGN-BUILD CONTRACTOR SHALL PROVIDE DESIGN AS PART OF BID FOR OWNER REPRESENTATIVE REVIEW AND APPROVAL

LANDSCAPE SPECIFICATION NOTES

- CONTRACTOR TO VERIFY WITH THE OWNER AND TENANTS CONSTRUCTION REPRESENTATIVE AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO START. CALL OHIO UTILITIES PROTECTION SERVICES AT 1-800-362-2764. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC., RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
- PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL SITE ELEMENTS AND IMMEDIATELY INFORM THE OWNER AND TENANTS CONSTRUCTION REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNER AND TENANTS CONSTRUCTION REPRESENTATIVE APPROVAL.
- BASE INFORMATION PROVIDED BY ADVANCED CIVIL DESIGN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER SEED AND PLANTING BED.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SOIL AMENDMENTS:
SOIL AMENDMENT: 'COM-TIL' ORGANIC COMPOST (OR EQUAL) 7000 ST. RT. 104 SOUTH LOCKBOURNE, OHIO 43137 (614) 645-3152
TURF & SHRUB BED AREAS: SPREAD 3" OF 'COM-TIL' OVER NEW LANDSCAPE AREAS AND INCORPORATE INTO THE TOP 8" OF THE SOIL BY MECHANICAL TILLER.
TREES AND SHRUBS: MIX 30% 'COM-TIL' TO 70% EXISTING SOIL FROM PLANT PIT EXCAVATION. IF EXCAVATED SOIL IS NOT SUITABLE, SUPPLEMENT WITH IMPORTED TOPSOIL.
- ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SUBJECT TO INSPECTION PRIOR, DURING AND AFTER INSTALLATION. ANY PLANT NOT MEETING THE REQUIREMENTS WILL BE CAUSE FOR REJECTION BY THE OWNER'S REPRESENTATIVE OR CITY OFFICIAL. ALL REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF BY THE CONTRACTOR AND THE REPLACEMENT MATERIAL SHALL BE PROVIDED.
- ALL SUBSTITUTIONS AND PLAN CHANGES MUST BE APPROVED BY OWNER'S REPRESENTATIVE OR CITY OFFICIAL PRIOR TO ANY ACTION TAKEN. TREES SHALL BE PROTECTED AND HANDLED CAREFULLY AT ALL TIMES DURING TRANSPORT & HANDLING TO PREVENT DRYING OF TREE OR ROOT BALL BY WINDS, AND TO PREVENT ANY DAMAGE OR BREAKAGE OF THE ROOT BALL. BARK SHALL BE PROTECTED FROM BRUISING OR ABRASION.
- WATER TREES IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT INSTALLATION.
- BED LINE TO BE 18" FROM BASE OF PLANT MATERIAL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL SHRUB AND BED AREAS TO BE MULCHED WITH TWO INCHES (2") DEPTH MIN. SHREDDED HARDWOOD MULCH. SUBMIT SAMPLE TO OWNER FOR APPROVAL.
- ALL AREAS OUTSIDE OF PLANTING BEDS SHALL BE SODDED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE PLANT BED OR TURF.
- FINISHED TURF (SOD) TO BE FLUSH WITH TOP OF ADJACENT CURB OR WALK. COORDINATE WITH OWNER'S REPRESENTATIVE IN FIELD AS REQUIRED.
- THE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS AND GROUND COVERS FOR A PERIOD OF ONE YEAR (1) FROM DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL WITHIN SEVEN (7) DAYS OF NOTIFICATION OF THE OWNER OR HIS REPRESENTATIVE.
- PERFORM CLEANING DURING INSTALLATION OF LANDSCAPING WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS LANDSCAPE RELATED MATERIAL, SOIL DEBRIS AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM LANDSCAPING OPERATIONS. SWEEP AND HOSE DOWN PAVED SURFACES AFFECTED BY LANDSCAPING OPERATIONS. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER CONTRACTORS FOR FINAL CLEANUP PRIOR TO CLEANING.
- MAINTENANCE: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE COMPLETED LANDSCAPE AND IRRIGATION SYSTEMS UNTIL THE DATE OF FINAL ACCEPTANCE.
A. MOWING: MINIMUM ONCE PER WEEK
B. TRIMMING: SHRUBS, TREES, GROUND COVERS, PERENNIALS, AND ANNUALS, MINIMUM 2 TIMES PER YEAR OR AS REQUIRED.
C. FERTILIZING: APPLY FERTILIZER AT A RATE EQUAL TO 1 LB. OF ACTUAL NITROGEN PER 1000 SF IN THE SPRING AND FALL TO ALL TURF AND PLANTINGS
D. BED EDGING: EDGE ALL BEDS BY HAND, SPADE AT LEAST 2 TIMES PER YEAR AND TOP MULCHING - DRESS WOOD MULCH IN FALL AND SPRING.
- ALL EXISTING TREES, SHRUBS, AND OTHER PLANT MATERIAL REMOVED FROM THE BUCKEYE PARKWAY AREA SHALL BE RELOCATED ELSEWHERE WITHIN THE CITY FROM OCTOBER 15 - NOVEMBER 22, 2006 OR MARCH 15 - APRIL 20, 2007.
- ANY PORTION OF THE IRRIGATION SYSTEM ALONG THE EAST SIDE OF BUCKEYE PARKWAY (WEST PROPERTY LINE) THAT REQUIRES REMOVAL, RELOCATION OR MODIFICATION SHALL BE COORDINATED THROUGH THE CITY OF GROVE CITY. ANY REQUESTS TO MODIFY THE IRRIGATION SYSTEM SHALL REQUIRE A 14-DAY NOTICE, AND ALL COSTS WILL BE INCURRED BY THE DEVELOPER AND ALL REPAIRS SHALL BE MADE WITHIN 24 HOURS TO THE SATISFACTION OF THE CITY OF GROVE CITY.
- ANY DAMAGES THAT MAY OCCUR TO THE EXISTING LANDSCAPE, HARDSCAPE AND IRRIGATION ALONG BUCKEYE PARKWAY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SERVICE STRUCTURES WILL BE SCREENED ACCORDING TO 1136.08 CITY OF GROVE CITY LANDSCAPE CODE.

2 WORKING DAYS BEFORE YOU DIG
OHIO UTILITIES PROTECTION SERVICE
CALL TOLL FREE 800-362-2764



Columbus
330 West Spring Street, Suite 300
Columbus, Ohio 43215
p 614.255.3399
f 614.255.3999

Raleigh
51 Kilmayne Drive, Suite 203
Cary, North Carolina 27511
p 919.853.7788
f 704.625.1343

PODdesign.net

Project Name
Telhio Credit Union - Parkway Centre East
Buckeye Parkway
Grove City, Ohio



Prepared For
Advanced Civil Design
422 Beecher Road
Gahanna, Ohio 43230



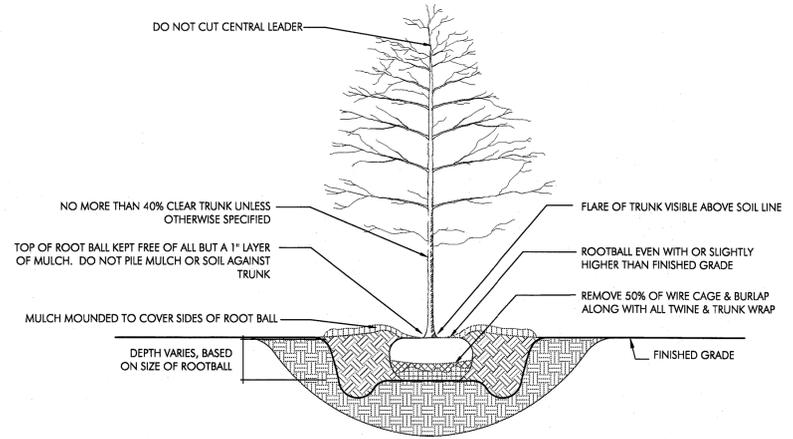
PRELIMINARY NOT FOR CONSTRUCTION

Project Info
Project # 10018
Date 06/23/10
By JH
Scale 1"=20'-0"

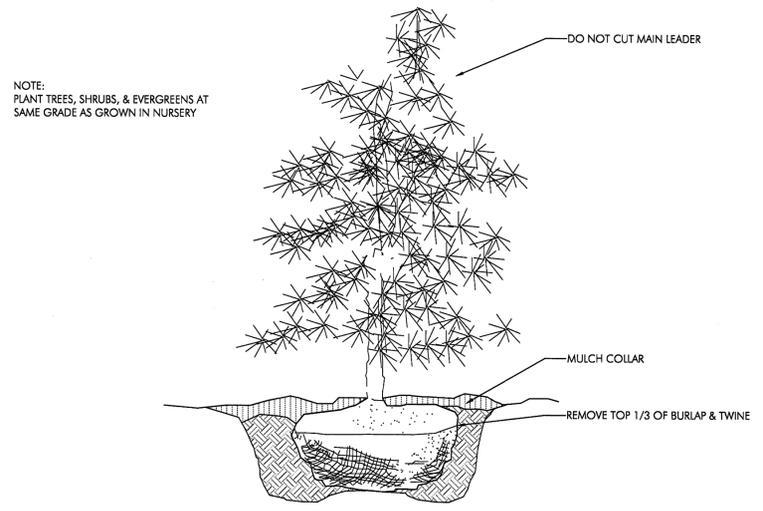
Revisions

Sheet Title
Overall Landscape Plan

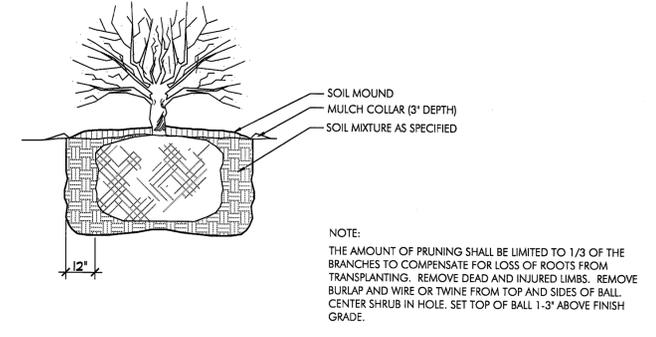
Sheet #
LA 1.0



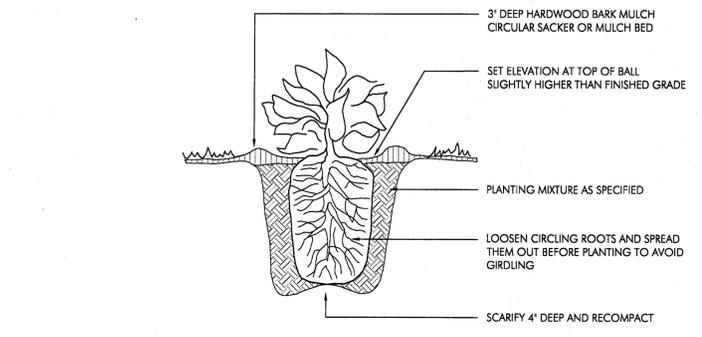
A1 Tree Planting
N.T.S.



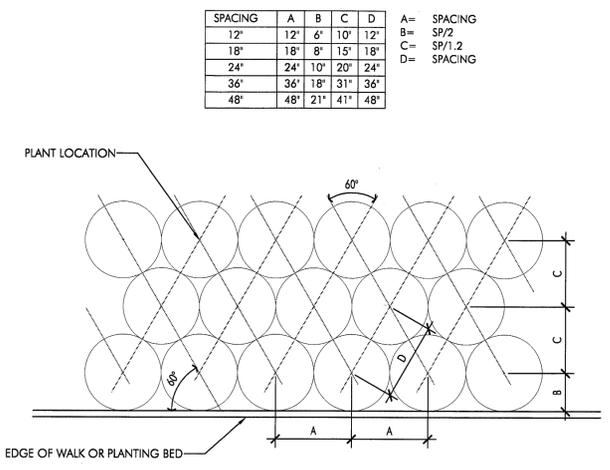
A2 Evergreen Planting
N.T.S.



A3 Shrub Planting
N.T.S.



B1 Perennial Planting
N.T.S.



B2 Perennial Spacing
N.T.S.



NEWGROUND
breakthrough
IDEAS | SPACE | GROWTH™

CONSULTANT
NewGround
15400 South Outer Perry Drive
Suite 300
Cheslerdell, MO 63017
Area Code 636 596-8100

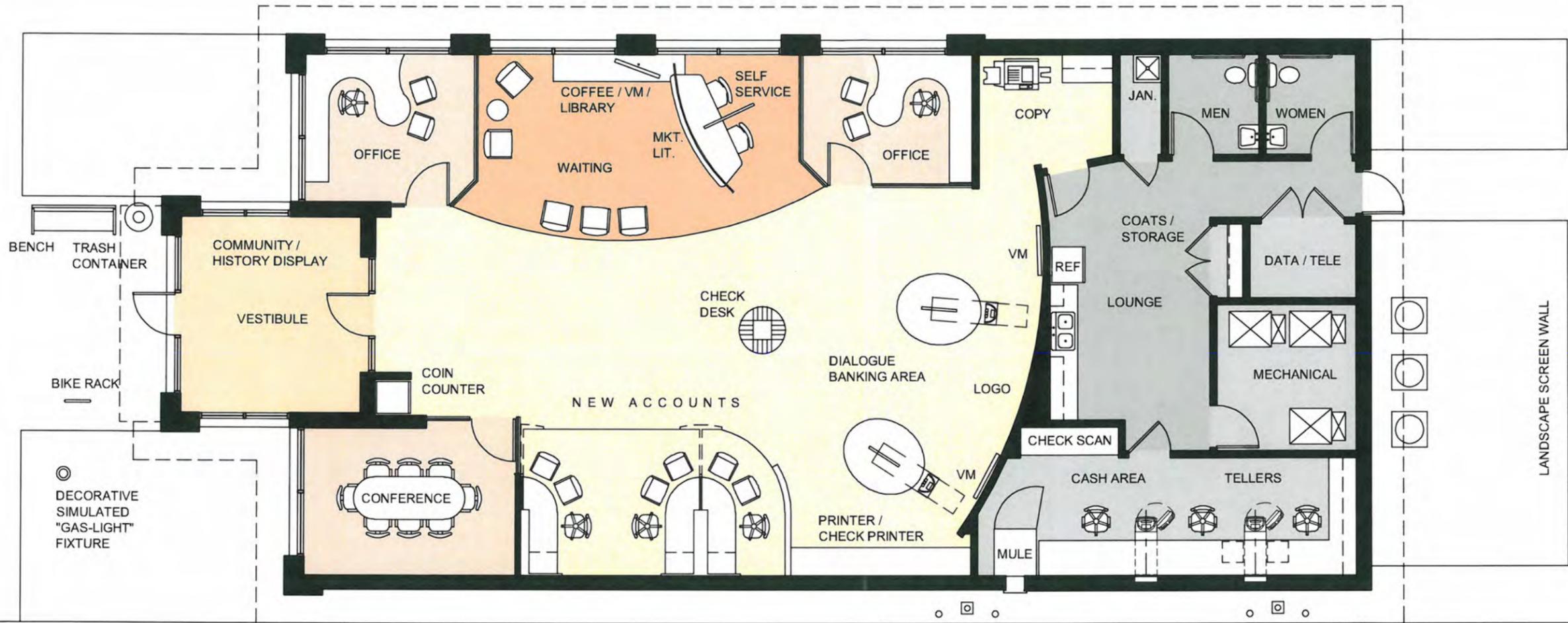
TELHIO CREDIT UNION
PARKWAY CENTRE EAST
GROVE CITY, OH

DATE
06/07/10

JOB NO.
29022

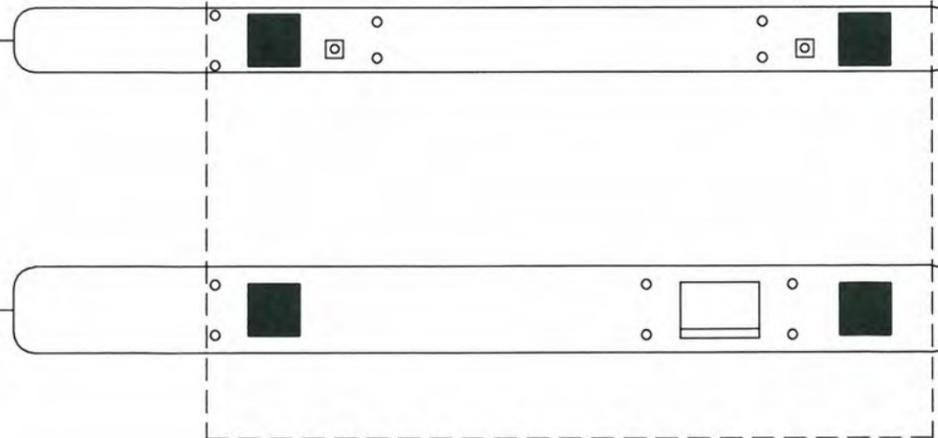
SHEET

A-1



FLOOR PLAN

1/8" = 1'-0"





WEST ELEVATION - BUCKEYE PARKWAY

1/8" = 1'-0"

PROPOSED EXTERIOR FINISH SPECIFICATIONS:

FS-1: LANDMARK 30 (CERTAINTED) DIMENSIONAL FIBERGLASS SHINGLE; COLOR: DRIFTWOOD; W/ BRONZED METAL EDG.E

BR-1: MANUFACTURER: REDLAND BRICK, INC.; CUSHWA 103 GEORGIAN; MODULAR SIZE.

ST-1: MANUFACTURER: READING ROCK; ROCKCAST STONE; COLOR: BUFFSTONE; CHISLED FACE WATER TABLE AND FRIEZE WITH SMOOTH FACE TRIM PIECES AND ACCENT BANDS.

EIFS-1: EXTERIOR INSULATION AND FINISH SYSTEM TO MATCH ST-1.

SF-1: TUBELITE INC. ALUMINUM STOREFRONT SYSTEM; CLASS 1 DARK BRONZE FINISH ACID ETCHED.

M-1: PREFINISHED ALUMINUM GUTTERS, DOWNSPOUTS, FASCIA AND SOFFITS TO MATCH ST-1.

ELEVATION KEY NOTES:

1. CONTINUOUS BRICK SOLDIER COURSE.
2. DECORATIVE CANOPY SUSPENSION HARDWARE; DARK BRONZE FINISH TO MATCH SF-1.
3. ST-1, 1" RECESSED SIGNAGE AREA.
4. ST-1, 4" RECESSED SIGNAGE AREA.



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Area Code 616 938-8100



NORTH ELEVATION - PRIVATE ACCESS DRIVE

1/8" = 1'-0"

**TELHIO CREDIT UNION
PARKWAY CENTRE EAST
GROVE CITY, OH**

DATE
06/07/10

JOB NO.
29022

SHEET

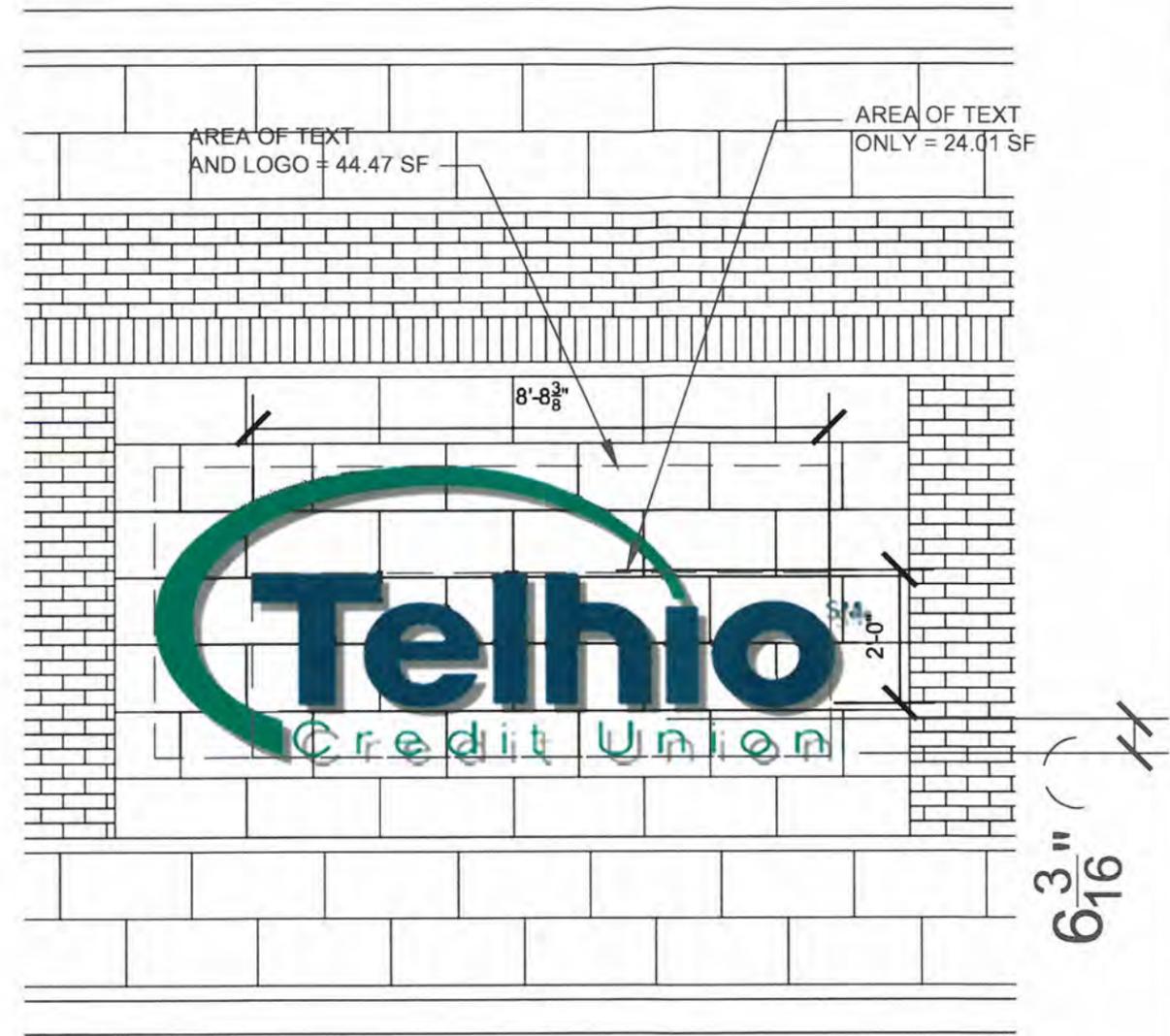
A-2



**WEST ELEVATION
PROPOSED BUILDING SIGNAGE LAYOUT**

3/8" = 1'-0"

NOTE: ALL EXTERIOR SIGN TO BE WALL MOUNTED INTERNALLY ILLUMINATED INDIVIDUAL CHANNEL LETTERS WITH REMOTE CONCEALED TRANSFORMER AND NO EXPOSED RACEWAYS. CHANNEL METAL PAINTED TO MATCH ST-1 (BRONZE STOREFRONT COLOR). MAXIMUM LETTER HEIGHT TO BE 2'-0". LOGO PMS COLORS: BLUE #281, GREEN #347



**NORTH ELEVATION
PROPOSED BUILDING SIGNAGE LAYOUT**

3/8" = 1'-0"

SIGNAGE SUMMARY

MONUMENT SIGN	31.22 TOTAL SF PER SIDE	62.44 SF
NORTH BUILDING SIGN	44.47 TOTAL SF	44.47 SF
WEST BUILDING SIGN	44.47 TOTAL SF	44.47 SF
TOTAL SIGNAGE		151.38 SF



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CONSULTANT
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Chesterfield, MO 63017
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S-1

PARKWAY CENTRE EAST THEMED MONUMENT SIGN

PROPOSED MONUMENT SIGN LAYOUT

3/8" = 1'-0"

INTERNALLY ILLUMINATED WHITE ACRYLIC BOX SIGN WITH LOGO PMS COLORS: BLUE #281, GREEN #347

31.22 SQUARE FEET = SIGNAGE AREA, PER SIDE, INCLUSIVE OF LOGO MARK

16.88 SQUARE FEET = SIGNAGE AREA, PER SIDE, TEXT AREA ONLY

GENERAL NOTES:

THE BASIC WIND SPEED USED FOR DESIGN IS 90 MILES PER HOUR.

EXPOSURE B: URBAN AND SUBURBAN AREAS OR OTHER TERRAIN WITH NUMEROUS CLOSE SPACED OBSTRUCTIONS HAVING THE SIZE OF SINGLE FAMILY DWELLINGS OR LARGER. A USE OF THIS EXPOSURE CATEGORY SHALL BE LIMITED TO THOSE AREAS FOR WHICH TERRAIN REPRESENTATIVE OF EXPOSURE B PREVAILS IN THE UP WIND DIRECTION FOR A DISTANCE OF AT LEAST 1,500 FEET OR 10 TIMES THE HEIGHT OF THE STRUCTURE, WHICHEVER IS GREATER.

STEEL PIPE SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF ASTM A501 OR ASTM A53. TYPE E OR S, GRADE B.

CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI.

SIGNS SHALL BE SHORED UNTIL CONCRETE STRENGTH REACHES 4,500 PSI. FOUNDATION CONCRETE SHALL BE PLACED AGAINST UNCOMPACTED FILL OR LOOSE EARTH CUTS.

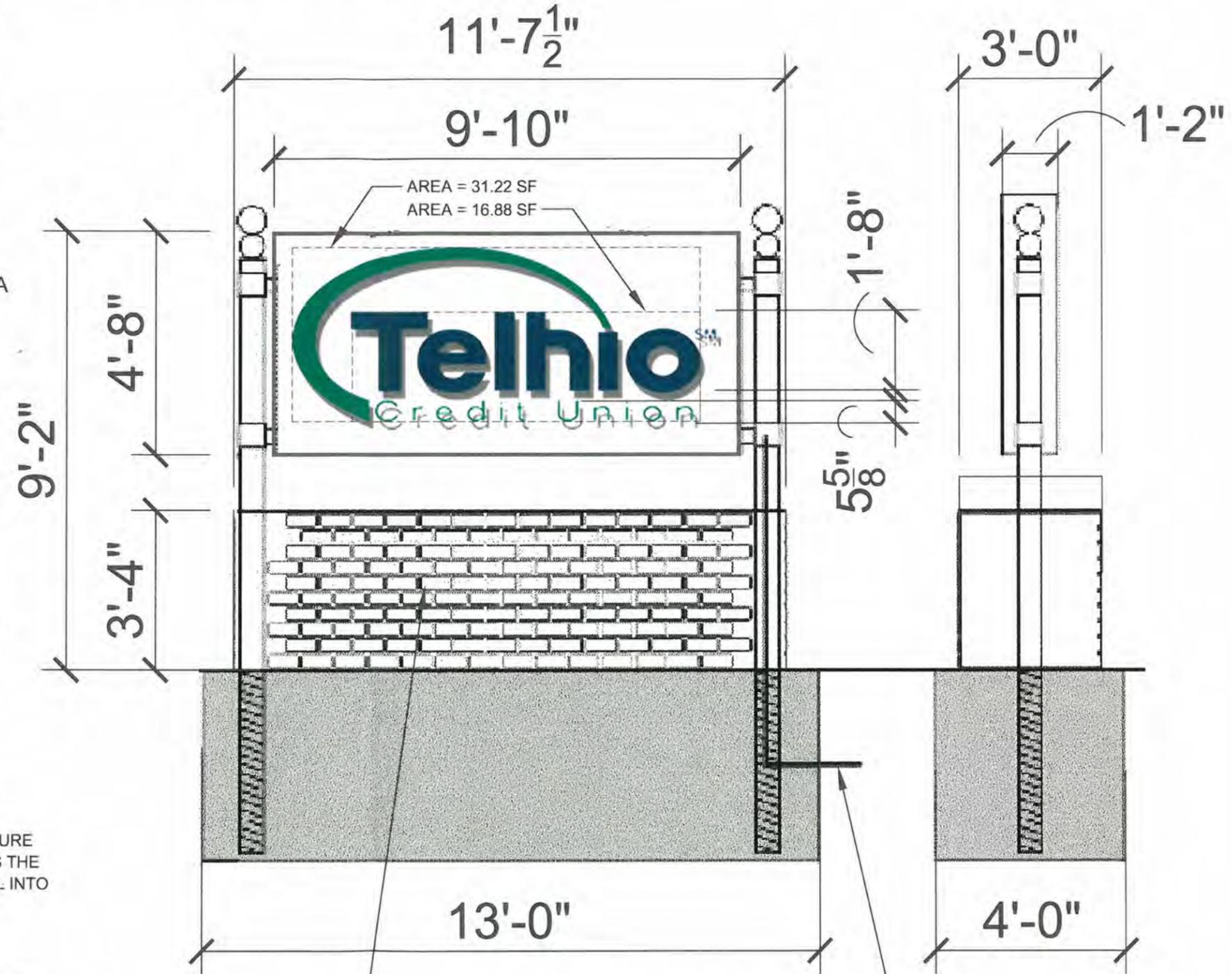
FOUNDATIONS HAVE BEEN DESIGNED ASSUMING A SAFE SOIL BEARING PRESSURE OF 2000 PSF WHICH IS EQUAL TO "LOOSE MEDIUM SAND AND STIFF CLAY". IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THAT THIS IS THE TYPE OF SOIL INTO WHICH THE FOUNDATION WILL BE CONSTRUCTED.

THE BURIED ELECTRICAL CONDUCTORS SHALL COMPLY WITH NEC 300-5.

THE SIGN ELECTRICAL DISCONNECT SHALL COMPLY WITH NEC 600-6, GROUNDING PER NEC 600-7.

BR-1: BRICK TO MATCH BUILDING BODY; MANUFACTURED BY REDLAND BRICK COMPANY, CUSHWA PLANT, 103 GEORGIAN, MODULAR SIZE

1" PVC ELECTRIC CONDUIT; 24" BELOW GRADE; PRIMARY BY OTHERS; (3) - #10 COPPER WIRE (GREEN, WHITE AND BLACK) OR BETTER TO COMPLY WITH NATIONAL ELECTRIC CODE - UL LABELS



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S-2